



Township of McKellar

701 Hwy #124, P.O. Box 69, McKellar, Ontario POG 1C0

Phone: (705) 389-2842

Fax: (705) 389-1244

Committee of Adjustment - Public Meeting Agenda November 21, 2023 – 5:00 p.m.

1. Call to Order – Res. No. 23-39

- Introductions are made: Members of the Committee and Staff

2. Disclosure of Pecuniary Interest and General Nature Thereof

3. Meeting Protocol

- The Chairperson takes a roll call of guests and visitors who are in attendance.
- The Chairperson asks that all comments be addressed through the Chairperson and that the person making comments should state his/her name before speaking.

4. Appointments

5. Minutes

- November 7, 2023 Meeting – **Res. No. 23-40**

6. Discussion:

6.1 Emmons, Erin – Application No. A/11/2023 Proposed construction of an accessory building (garage, private) to exceed the permitted maximum height

- The Chairperson will ask the Secretary/Treasurer if any letters or related correspondence have been received and, if so, the nature thereof.
- The Applicant will make their presentation and comments, if in attendance
- Questions or comments from Committee of Adjustment members and the public



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**6.2 Slama, Ohad – Application No. A/12/2023
Proposed construction of six (6) rental cottages to exceed the
maximum gross floor area of 100 square metres (ZBLA)**

- The Chairperson will ask the Secretary/Treasurer if any letters or related correspondence have been received and, if so, the nature thereof.
- The Applicant will make their presentation and comments, if in attendance
- Questions or comments from Committee of Adjustment members and the public

7. Decision of Committee of Adjustment

7.1 Emmons Decision – **Res. No. 23-41**

7.2 Slama Decision – **Res. No. 23-42**

8. Adjournment - Res. No. 23-43



CORPORATION OF THE TOWNSHIP OF MCKELLAR

Committee of Adjustment Minutes

November 7, 2023

Chair, David Moore called the meeting to order at 5:00 p.m.

INTRODUCTIONS

Chair, David Moore took Roll Call.

Present: Chair, David Moore, Morley Haskim, Mike Kekkonen, Reg Moore, Nick Ryeland, Debbie Zulak

Staff: Secretary/Treasurer, Karlee Britton
Chief Building Official, Chris Bordeleau

DECLARATIONS OF PECUNIARY AND/OR PERSONAL INTEREST AND GENERAL NATURE THEREOF

There were no conflicts of interest declared.

Moved by: Debbie Zulak
Seconded by: Mike Kekkonen

23-35 That the Committee of Adjustment meeting agenda is accepted, as presented.

Carried

Moved by: Debbie Zulak
Seconded by: Mike Kekkonen

23-36 That the Committee of Adjustment Minutes from the October 3, 2023 meeting are accepted, as circulated.

Carried

6.1 Discussion – Goldshmidt, Zalman & Ludmila Application No. A/10/2023

Chair, David Moore asked if any letters or related correspondence were received. Secretary-Treasurer, Karlee Britton replied no letters or related correspondence were received.

Chair, David Moore asked if the applicant would like to speak to the application. The applicant was not present.

Chair, David Moore asked if there were any questions or comments from members and the public, there were no questions.

Chief Building Official, Chris Bordeleau answered questions from the Committee.



CORPORATION OF THE TOWNSHIP OF MCKELLAR

Committee of Adjustment Minutes

November 7, 2023

Moved by: Reg Moore

Seconded by: Morley Haskim

23-37 **That** the Committee of Adjustment does hereby grant the Minor Variance Application A/10/2023 - Goldshmidt to permit relief of the maximum lot coverage for the construction of one accessory open-air building to exceed the allowable lot coverage. The maximum lot coverage is increased from 15 percent as regulated in Schedule 'B' of By-Law 95-12, as amended, to 18 percent having 3 percent relief from the maximum lot coverage; and

Further to permit relief of the maximum floor area for the construction of the above mentioned accessory open-air building to exceed the maximum floor area, as defined in Section 2.72 of By-law 95-12, as amended. The maximum floor area is increased from 15 square metres to 48.6 square metres, having 33.6 square metres relief from the maximum floor area. All other applicable Sections of By-Law 95-12, as amended, are to be complied with.

Carried

Moved by: Nick Ryeland

Seconded by: Reg Moore

23-38 **That** the Committee of Adjustment does now adjourn.

Carried

The meeting adjourned at 5:47 p.m.

David Moore, Chair

Karlee Britton, Secretary/Treasurer



Township of McKellar

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Phone: (705) 389-2842

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APPLICATION NO: A-11-2023

APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

The undersigned hereby applies to the Committee of Adjustment for the Township of McKellar under Section 45 of the *Planning Act* R.S.O. 1990, c.P.13, as amended, for relief, as described in this application, from the Township's Comprehensive Zoning By-law. **FAILURE TO PROVIDE ALL OF THE INFORMATION REQUIRED BY THIS APPLICATION MAY CAUSE DELAYS OR DISQUALIFY THE APPLICATION UNTIL FURTHER OR MORE ACCURATE INFORMATION IS OBTAINED.**

Date Received: <u>OCT 26 2023</u>	OFFICE USE ONLY
Date Accepted: <u>OCT 27 2023</u>	Complete Application: <input type="checkbox"/> Yes <input type="checkbox"/> No Application No. <u>A-11</u>
Date Stamp: <u>OCT 27 2023</u>	Application Fee + Deposit Received <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

A. APPLICANT/AGENT INFORMATION

- Name of Owner: Erin Emmoms
- Address: Street and Number 2409 First Street
City Burlington Province/State ON. Postal/Zip Code L7R 1C3
Home Phone No. (416) 529-4186 Business Phone No. _____
Email emmons.chrisj@gmail.com
- Name of Agent (if any): AJM Designs Inc . Attn: Anthony (Jarret) McNamee
- Address: 5171 Reeves Road mcnamee@ajmdesigns.ca
Burlington Ontario L7L 3J8 (905) 815-7075
Note: Unless otherwise requested, all communications will be sent to the agent, if any.
- Names and Addresses of any mortgagors, holders of charges or other encumbrances:
None

B. PURPOSE AND TYPE OF APPLICATION

6. Minor Variance from Comprehensive Zoning By-law Permission to extend a legal non-conforming use

From what section of the Zoning By-law is relief being sought?

7.02 (WF2) schedule B

7. Nature and Extent of Relief Applied for:

Building Height of 5.80m to the mid-point of roof.

8. Why is it not possible to comply with the provisions of the Zoning By-Law?
Require increase in main floor height to accommodate proper storage of a vessel that requires 120" clearance for overhead door considerations. Loft space above for adequate storage of equipment to maintain 8'-0" ceiling clearance.

C. DESCRIPTION OF PROPERTY

9. Legal description of subject land (registered plan number and lot number or other legal description and, where applicable, street and street number):

14 Meharg Drive

Lot 12 - Reg. Plan 302

10. Dimensions of land affected:

Frontage (metres): 39.80 Depth (metres): +86.00

Area (hectares): 0.46h (4625m2) Width of Street: 20.0m

11. Access to subject land is by:

- Provincial Highway year-round municipal road seasonal municipal road
 other public road private right of way water access

12. If access to the subject land is by private road, or if "other public road" or "private right of way" was indicated in Section 11, indicate who owns the land or road, who is responsible for its maintenance and whether it is maintained seasonally or all year:

N/A

13. If access to the subject land is by water only, describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land and the nearest public road:

N/A

D. LAND USE AND ZONING

14. Date of Acquisition of Subject Lands:

Aug 1st. 2006

15. Date of Construction of all Buildings and Structures on Subject Land:

1989

16. Existing Uses of the Subject Lands:

Water front Cottage - single family dwelling

17. Length of time the existing uses of the subject property have continued:

+40 years

18. Existing Uses of Abutting Lands:

Water front Cottage - single family dwelling

19. Services (Check appropriate box):

Water: Dug Well Drilled Well Lake Other _____
Sewage Disposal: Septic Privy Other _____

20. Storm Drainage is provided by (Check appropriate box):

sewers open ditches swales other (please specify) _____

21. Present Official Plan provisions applying to the land:

N/A

22. Present Zoning By-law provisions applying to the land:

N/A

23. Are there any easements or rights-of-way affecting the subject lands?

Yes No

If Yes, indicate and describe the purpose of the easement or rights-of-way:

E. BUILDINGS AND STRUCTURES (on or proposed for the subject land)

EXISTING – List all existing buildings and structures					DISTANCE FROM LOT LINES (metres)			
Building/ Structure Type	Date of Construction	# of Storeys / Height	Ground Floor Area (m2)	Total Floor Area (m2)	Front	Rear	Side	Side
Cottage	1989	1		205.73m2	10.5 (Lake)	*50.0	10.41	19.72

PROPOSED – List all buildings and structures					DISTANCE FROM LOT LINES (metres)			
Building/ Structure Type	Date of Construction	# of Storeys / Height	Ground Floor Area (m2)	Total Floor Area (m2)	Front	Rear	Side	Side
Garage	2023	1 1/2		93.65m2	+50.0 (Lake)	6.90	13.89	20.92

F. HISTORY

24. Has the owner previously applied for relief in respect of the subject property?

Yes No If YES, please provide Application Number, if known: _____

25. Is the subject land currently the subject of an application for a consent or approval of a plan of subdivision?

Yes No Unknown If YES and if KNOWN, specify the appropriate file number and status of the application:

26. Has the subject land ever been the subject of a minor variance application?

Yes No Unknown

G. PLANS

27. Every application shall be accompanied by a sketch [SAMPLE on page 9] (based on a boundary survey plan of the subject land) drawn to an appropriate scale, properly dimensioned and showing thereon:

- The boundaries and dimensions of the subject land
- The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings and structures from the front, rear and side lot lines
- The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks
- The current uses on land that is adjacent to the subject land
- The location, width and name of any roads within or abutting the subject land indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way
- If access to the subject land is by water only, the location of the parking and docking facilities to be used
- The location and nature of any easement affecting the subject land

H. AFFIDAVIT OR SWORN DECLARATION

The content of the application and appendices shall be validated by the Applicant (or authorized agent) in the form of the following Affidavit/Sworn Declaration before a Commissioner or other person empowered to take Affidavits.

Dated at the CITY of Burlington this 26 day of OCT, 2023.
I, A. JAMES MCWANNICE, of the CITY of Burlington in the PROVINCE of ONTARIO solemnly declare that all the statements contained in this application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

A. James McWannice
Signature of Applicant or Authorized Agent

Declared before me at the CITY of BURLINGTON in the PROVINCE of ONTARIO this 26 day of OCTOBER, 2023.

Signature of Commissioner of Oaths: [Signature]

Michael De Fabricio
Barrister & Solicitor
Notary Public and Commissioner of Oaths
in and for the Province of Ontario.
My commission is of unlimited duration.
No legal advice given.

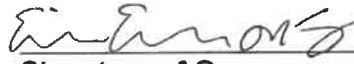
Walk-In Notary
200-4145 North Service Road
Burlington, ON., L7L 6A3
905-336-6972
www.walkinnotary.com

I. CONSENT OF THE OWNER TO THE USE AND DISCLOSURE OF PERSONAL INFORMATION

Complete the consent of the owner concerning personal information set out below.

I, Erin Emmons, am the owner of the land that is the subject of this application and for the purposes of the *Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M.56, I authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the *Planning Act* R.S.O. 1990, c.P.13, as amended, for the purpose of processing this application. The applicant acknowledges that the Township considers the application forms and all supporting materials, including studies and drawings, filed with this application to be public information and to form part of the public record. With the filing of an application, the applicant consents to the Township photocopying and releasing the application and any supporting material either for its own use in processing the application or at the request of a third party, without further notification to or permission from the applicant. The applicant also hereby states that it has authority to bind its consultants to the terms of this acknowledgement. Questions about this collection of personal information should be directed to the Township Clerk.

October 25, 2023
Date


Signature of Owner

J. CONSENT OF THE OWNER TO THE PAYMENT OF REQUIRED FEES AND POTENTIAL FEES

I, Erin Emmons, acknowledge and agree that applicants must submit the required fee of \$750.00, as well as a Security Deposit of \$500.00 when filing the application. Further, I agree that any costs beyond regular processing costs relating to this application, including but not limited to engineering studies, legal opinions, planning consultant fees, and Ontario Land Tribunal hearing costs, will be the responsibility of the applicant and will submit the balance due upon receipt of an invoice for same.

October 25, 2023
Date


Signature of Owner

K. AUTHORIZATIONS

If the applicant is not the owner of the land that is the subject of this application, the written consent of the owner, authorizing the applicant to make the application, must be included with this form or the authorizations set out below must be completed. Please note: If the Owner is an incorporated company, authorization of the appropriate signing officer(s) is required in accordance with the company's by-laws.

Authorization of Owner for Agent to Make the Application

I, Erin Emmons, am the owner of the land that is the subject of this application for a Minor Variance and I authorize Jarret McNamee of AJM Designs Inc. to make this application on my behalf.

October 25, 2023
Date


Signature of Owner

If the applicant is not the owner of the land that is the subject of this application, complete the authorization of the owner concerning personal information set out below.

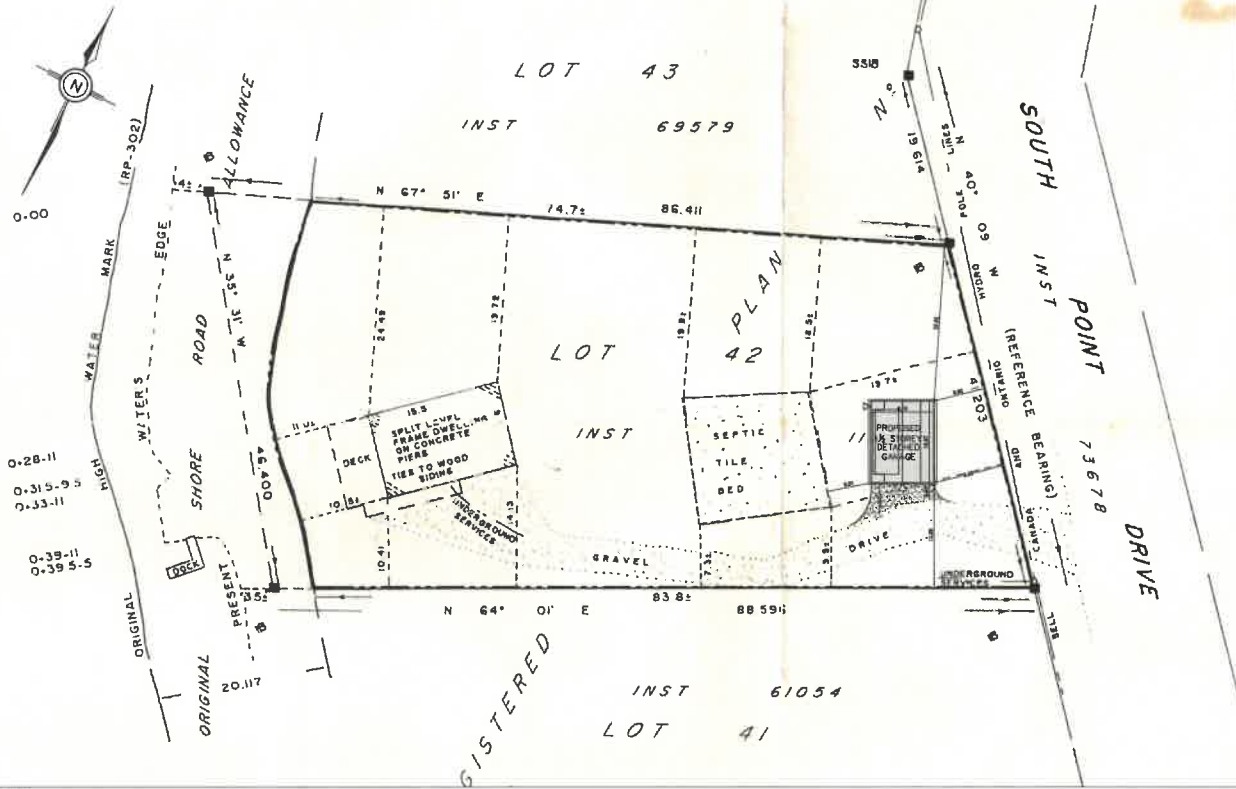
Authorization of the Owner for Agent to Provide Personal Information

I, Erin Emmons, am the owner of the land that is the subject of this application for a Minor Variance and for the purposes of the *Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M.56, I authorize Jarret McNamee of AJM Designs Inc., as my agent for this application, to provide any of my personal information that will be included in this application or collected during the processing of the application. The applicant acknowledges that the Township considers the application forms and all supporting materials, including studies and drawings, filed with this application to be public information and to form part of the public record. With the filing of an application, the applicant consents to the Township photocopying and releasing the application and any supporting material either for its own use in processing the application or at the request of a third party, without further notification to or permission from the applicant. The applicant also hereby states that it has authority to bind its consultants to the terms of this acknowledgement.

October 25, 2023
Date


Signature of Owner

MANITOUWABIN LAKE



3 SITE PLAN
A10 SCALE: 1:300

INFORMATION TAKEN FROM:
BUILDING LOCATION SURVEY OF
NO. 14 MEHARG DRIVE
LOT 12,
REGISTERED PLAN NO. 302
TOWNSHIP OF MCKELLER
DISTRICT OF PARRY SOUND

NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF SOUTH POINT DRIVE AS SHOWN ON REGISTERED PLAN N° 302 HAVING A BEARING OF N 40° 09' W

LEGEND
■ DENOTES FOUND SURVEY MONUMENT BEARING IDENTIFICATION J.W.
SSIB DENOTES SHORT STANDARD IRON BAR
IB DENOTES IRON BAR
JW DENOTES J.K. WHITE O.L.S.

LEGAL DESCRIPTION

CLIENT:
CHRIS EMMONS
14 MEHARG DR.
MCKELLER, ON.
(416) 529-4184

DESIGNER:
AJM DESIGNS INC.
83 - 2526 SPEERS ROAD
CARVILLE, ONTARIO L1E 2B2
ATTENTION: JARRET MCKENNA
PH: 905-425-8433

SITE STATISTICS
ADDRESS: 14 MEHARG DR. MCKELLER, ON

LEGAL DESCRIPTION: LOT 12 REG. PLAN 302

ZONING: WF2

LOT AREA:	%	METRIC	IMPERIAL
		4,525.86	48,795.97

FLOOR AREA:	%	METRIC	IMPERIAL
EXISTING COTTAGE		205.73	2,214.53
PROPOSED DETACHED GARAGE		93.64	1,008.09
TOTAL PROPOSED		299.37	3,222.63

LOT COVERAGE:	%	METRIC	IMPERIAL
PERMITTED	15%	693.88	7469.10
EXISTING COTTAGE	4.48	205.74	2,214.53
PROPOSED DETACHED GARAGE	2.02	93.65	1008.09
PROPOSED TOTAL	6.47	299.39	3,222.63

2 SITE STATISTICS
A10 SCALE: N.T.S.

PROPOSED SETBACKS: (TO PROPOSED GARAGE)			
PROPOSED NORTH SETBACK	=	20.62	68.64
PROPOSED EAST SETBACK	=	8.80	22.94
PROPOSED SOUTH SETBACK	=	13.90	45.27
PROPOSED WEST SETBACK	=	N/A	N/A

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the Designer prior to proceeding with any of the work.

This professional has prepared and taken responsibility for this design, and has made the representations set out in the Ontario Statutory Code to the satisfaction of the REGISTRATOR AND QUALIFICATION REGULATOR. Required copies shall be stored under A10/A1 and/or ETT/A10 of the owner's Building Code.

FIRM B.C.R.N.: 311373
INDIVIDUAL B.C.R.N.: 3628

Drawn by: JAMES MCKENNA
Site Inspection must be signed above by the field. Representations above not to be construed.

REF.	DATE	DESCRIPTION
3	23/10/23	REVD HEIGHT/CGA APPLICATION
2	23/05/23	ISSUED FOR BUILDING PERMIT
1	23/04/23	ISSUED FOR REVIEW

REVISIONS / ISSUANCE:

AJM DESIGNS INC
110 Bayview Dr., Suite 101, Markham, ON L3R 0Y1
P: 905-475-8433 F: 905-475-8434

CLIENT:
EMMONS DETACHED GARAGE

ADDRESS: 14 MEHARG DR.
CITY: MCKELLER, ON.

DRAWING TITLE:
SITE PLAN

DRAWN: J.M.C.
DATE: 01.01.22
JOB NUMBER: 466-22

SCALE: 1:300
SHEET NUMBER: **A10**

WINDOW & EXTERIOR DOOR SCHEDULE:

MARK	ROUGH OPENING	MODEL NUMBER, DESCRIPTION
A	18'-1" x 10'-4"	BETWEEN SECTIONS, GANCE DOOR & SECTION, C/W GLAZING PANELS AS PER ELEVATION AND AUTOMATIC OPERATOR.
B	1'-0" x 7'-0"	TRANSOM WINDOW 1-807111 FINISH, OPENING DIRECTION AND HARDWARE AS PER CLIENT SELECTION.
C	3'-1" x 7'-8"	ENTRY DOOR, 1-307011 HINGED, WOOD, C/W GLAZING PANEL DETAIL, AS PER ELEVATION.
D	5'-1" x 5'-1"	OSCEOLA WINDOW 1-207407 FINISH, OPENING DIRECTION AND HARDWARE AS PER CLIENT SELECTION.
E	5'-1" x 4'-1"	OSCEOLA WINDOW 1-207407 FINISH, OPENING DIRECTION AND HARDWARE AS PER CLIENT SELECTION.

NOTE: WINDOWS & DOORS TO MEET FOLLOWING SPECIFICATIONS:

- CONTRACTOR TO VERIFY QUANTITY OF ALL WINDOWS AND DOORS ARE WILL BE RESPONSIBLE FOR ALL ORDERING.
- PROVIDE SHOP DRAWINGS FOR VERIFICATION WITH GENERAL CONTRACTOR & DESIGNER.
- VERIFY SIZE & WEIGHT NUMBER PROVIDED BASED ON FIELD MEASUREMENTS. VERIFY WINDOW & DOOR ANY VARIATION OF PRODUCTS AND OR SIZES SHALL BE APPROVED BY THE CLIENT & DESIGNER.
- CONFORM TO ALL LOCAL, STATE & FEDERAL REQUIREMENTS.
- UNFINISHED & READY FOR PAINT OR STAIN.
- FRAMES TO BE SOLID OAK VENEER FINISH WITH NO TRUSS JOINS.
- JAMBS TO EXTEND FULL WIDTH OF WALL DIMENSION. BRICK MOULDINGS PROVIDED TO BE 3/4" HIGH.
- GLASS TO BE DOUBLE-GLAZED THERMALLY BROKEN UNITS WITH LOW E+ AND ARGON GAS FILLED.
- GLAZING TO BE COMPLETED WITH WINDOW FRAME - BEYOND COMPANION PRODUCT.
- ALL WINDOW GLAZING WITHIN ROOM FROM FINISHED FLOOR TO BE TYPICAL GLAZING OR AS PER WINDOW SUPPLIER'S SPECIFICATIONS.
- ALL WINDOW GLAZING THICKNESS AS PER WINDOW SUPPLIER'S SPECIFICATIONS.
- ALL DOUBLE GLAZING SHALL NOT HAVE CRYSTAL BALLON. ALL DOORS SHALL BE COMPLETE WITH WINDOW & SILL.
- ALL WINDOW UNITS TO BE COMPLETE WITH GLASS TO MATCH CASSETTE WINDOWS.
- ALL WINDOW DOORS SHALL BE COMPLETE WITH HINGE SCREWS.
- HEAVY HINGE: INSULATING GLASS TO EXTEND FROM HINGE AND BETWEEN TWO PAGES OF GLASS. FROM ONE IS TO BE ADHERED TO THE GLASS. HEAVY HINGE SHALL BE ADHERED TO BOTH SIDES OF THE INSULATING GLASS WITH AN ACETIC ADHESIVE TAPE AND ADHESIVE WITH THE FRAME SIDE.

① EXTERIOR WINDOW TYPE
② EXTERIOR WINDOW NUMBER

ABBREVIATIONS

OSCEOLA WINDOW	SC	SORENSEN	F.S.I.	FIXED GLASS TRANSOM	
DOUBLE HING WINDOW	SL	SHOGLANT	F.S.I.	FIXED SCREEN TRANSOM	
WOOD DOOR	TR	TRAVENCO	M.D.	MARSHY OPENING	
FR. DR.	FRENCH DOOR	F.A.	FIXED GLASS	R.D.	ROUGH OPENING (DIM)

NOTE SCHEDULE:

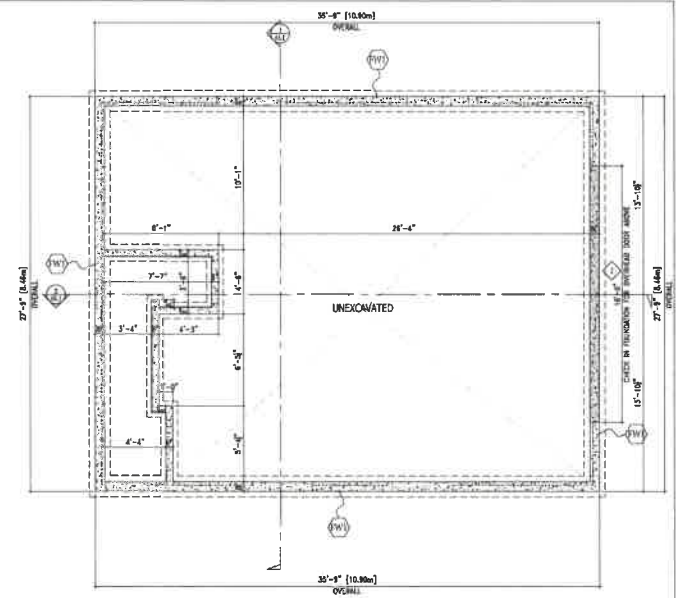
- ALL INTERIOR FINISHES TO BE SPECIFIED BY OWNER, UNLESS NOTED ON DRAWINGS.
- FOUNDATION:** FOUNDATION WALLS TO BE CUT OUT FOR OVERHEAD DOOR, OR MAIN DOOR ABOVE.
- STAIRS:** STAIRS C/W HANDRAIL, REFER TO SPECIFICATION FOR MATERIAL, REFER TO CONSTRUCTION NOTES FOR CONSTRUCTION DETAILS.
- INTERIOR FINISH:** SLOPE CONCRETE FLOOR TO OVERHEAD DOOR WITH MINIMUM 1% SLOPE.
- DOORS/WINDOWS:** OVERHEAD DOOR, AS PER WINDOW/DOOR SCHEDULE.
- DOORS/WINDOWS:** 2" x 4" HINGED WINDOW AS APPROVED BY OWNER.
- DOORS/WINDOWS:** DOOR FROM GARAGE TO LOFT TO BE INSULATED STEEL DOOR, HEAVY-DUTY STRIPPED AND SHALL BE FITTED WITH A SELF CLOSING DEVICE.
- DOOR & WINDOW:** JAMB TRIM, 2" x 4" PAINTED WOOD.
- DOOR & WINDOW:** LEADER TRIM, 2" x 4" PAINTED WOOD, BY 2" PAINTED WOOD CORNICE, C/W FLASHING AND DRIP EDGE.
- DOOR & WINDOW:** SILL TRIM, 2" x 4" PAINTED WOOD, C/W FLASHING AND DRIP EDGE.
- DOORS/WINDOWS:** GARAGE GAS PROOFING DETAIL: GARAGE MUST BE COMPLETELY SEALED TO PREVENT INFILTRATION OF GASES INTO LOFT ABOVE.
 - PROVIDE 3" CORNICE BOND WITH MINIMUM 2 COATS OF ADHESIVE COMPOUND AT ALL WALLS ADJACENT TO OPENING.
 - PAINT CORNICE BOND WITH SPECIAL BOND & OTHER SURFACES WITH ACRYLIC SOLUBLE.
 - CHALK ALL PENETRATIONS SUCH AS HOLE BORES WITH ACRYLIC SOLUBLE SEALANT.
 - DOORS BY TRIMMER CORNER & LOFT SHALL BE TIGHT FITTING AND WEATHER-STRIPPED AND PROVIDED WITH A SELF CLOSING DEVICE. DOOR MUST NOT OPEN DIRECTLY INTO A ROOM INTENDED FOR RESIDENCE.
 - GARAGE SEAL SHALL BE SLOPED TO DRAIN TO OUTDOORS.
 - WHERE AN ATTACHED GARAGE IS ADJACENT TO AN ATTIC SPACE & DRAIN WITH ACRYLIC SOLUBLE.
- VENTILATION:** ROOF VENTILATION: INSTALL 1" COLOURED PARTICLE MESH ROOM TYPE VENTS TO PROVIDE VENT AREA OF 1/30M OF THE INSULATED CEILING AREA OR VENT AREA OF 1/150 WHERE THE ROOF VENTILATION (LUM) ROOF VENTILATION (LUM) INSTALL 1" CONTINUOUS CORNICE VENT BETWEEN CORNICE MOLDING AND EXTERIOR WALL.
- EXTERIOR FINISH:** HORIZONTAL WOOD SHINGLES, PAINT ALL SIDES, PROVIDE 2" x 4" PAINTED WOOD CORNICE BETWEEN SHINGLES OPENINGS SHINGLES.
- EXTERIOR FINISH:** 30 YEAR 3 BAR ASPHALT SHINGLES, COLOUR AND TEXTURE AS APPROVED BY OWNER AND DESIGNER (WESTERN RED CEDAR SHINGLES @ GRADE-18 PERFECTION SHINGLES).
- EXTERIOR FINISH:** BRICKMUD 1/2" FINISH ON ALL EXPOSED FOUNDATION WALLS ABOVE GRADE, C/W BRICK MUD FINISH.
- EXTERIOR TRIM:** 1" x 4" BRICKMUD & GROUND WOOD SORT/C/W CORNICE VENT STRIP.
- EXTERIOR TRIM:** CORNER BATTENS: 2" x 4" PAINTED WOOD, ON BOTH INSIDE AND OUTSIDE CORNERS.
- ROOF FINISH:** PROVIDE ICE AND WATER SHIELD PROTECTIVE MEMBRANE BY "W, DENCE & CO." OR APPROVED EQUAL, APPLY MEMBRANE OVER PLYWOOD SHEATHING MEMBRANE EXTEND FROM EDGE OF ROOF FINISHING (AT LEAST) TO A POINT MINIMUM 3'-0" BEYOND INSIDE FACE OF EXTERIOR WALLS. ALSO INSTALL MEMBRANE UP VALLEY MINIMUM 1'-0" UP SLOPE EACH SIDE TYPE.
- ROOF FINISH:** ALL EXISTING LOGS AND CORNERS TO BE PRESERVED ALUMINUM AND CORNER FROM ROOF. PROVIDE TO BE APPROVED BY OWNER AND DESIGNER.
- ROOF FINISH:** DRAINAGE CONSTRUCTION - 1/2" SHINGLE MOULD ON "1510" WOOD PANEL WITH 1" x 4" TRIM STRIP.
- FLASHING:** ROOF TO WALL FLASHING: ALL FLASHING TO BE PRESERVED ALUMINUM.
- FLASHING:** ROOF VALLEY FLASHING: ALL FLASHING TO BE PRESERVED ALUMINUM.

GENERAL NOTES:

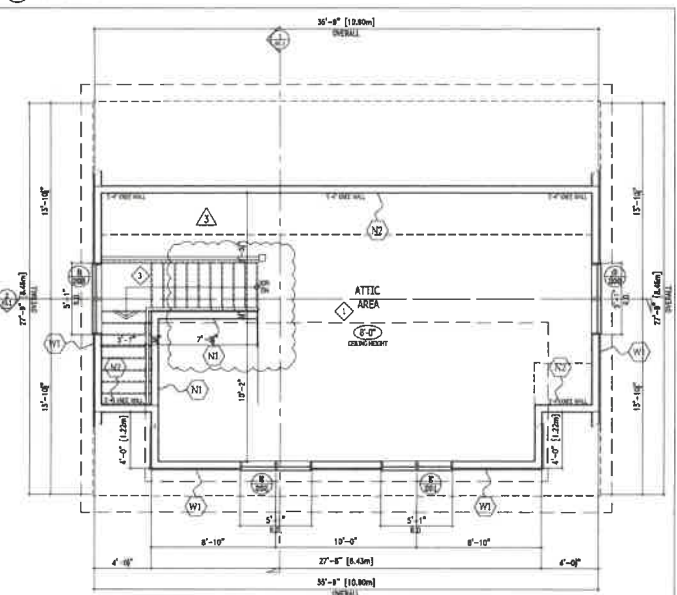
- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.
- ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND TO CONFORM TO THE OVERHEAD BUILDING CODE OR OTHER GOVT. HAVING JURISDICTION.
- GENERAL CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF (TWO) YEAR FOLLOWING SUBMITTAL COMPLETION. ALL SPECIFICATIONS GUARANTEED TO APPLY.
- GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS EXCEPT FOR THE BUILDING PERMIT, WHICH WILL BE OBTAINED BY THE OWNER.
- PROVIDE NECESSARY TEMPORARY SHORING AS REQUIRED DURING CONSTRUCTION OF STRUCTURAL WALLS AND COMPONENTS, AND ALL RESIDUAL SHORING SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE.

GENERAL NOTES & SCHEDULES

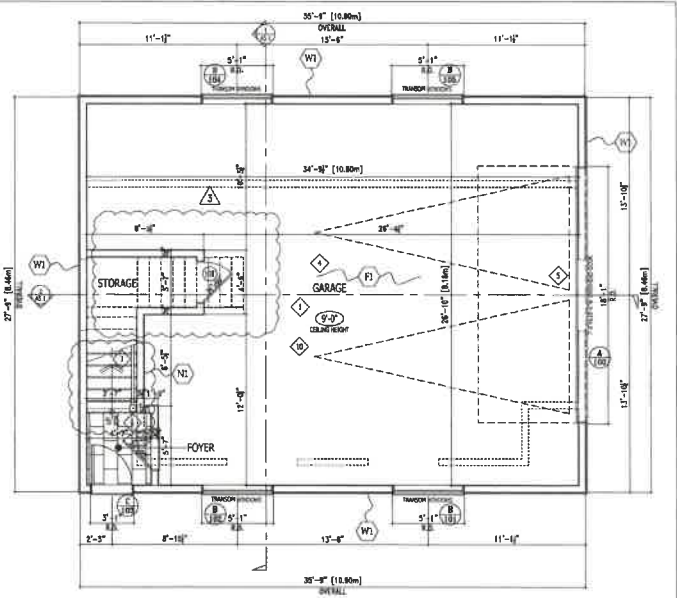
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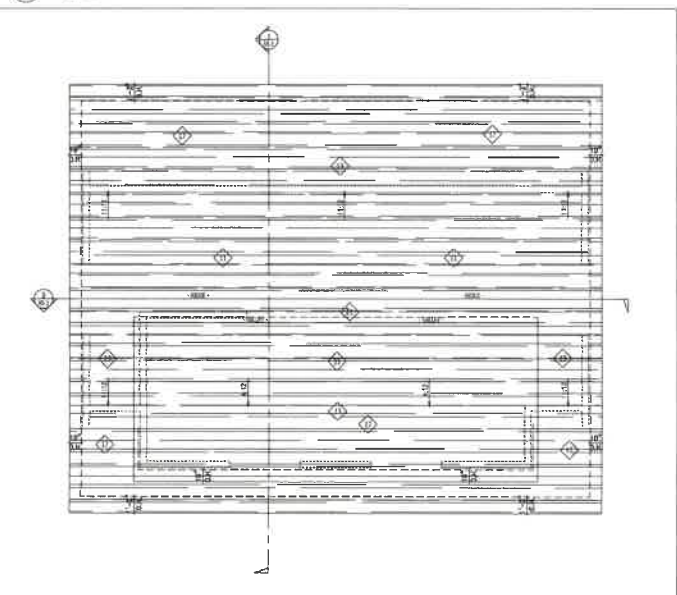
FOUNDATION PLAN
SCALE: 1/4"=1'-0"



LOFT FLOOR PLAN
SCALE: 1/4"=1'-0"



GROUND FLOOR PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the Designer prior to proceeding with any of the work.

DESIGNER: AJM DESIGNS INC.
PROJECT: 23061010
SHEET: 1 OF 3
DATE: 2024/01/22

CONSTRUCTION SCHEDULE:

FOUNDATION WALL CONSTRUCTION

EXTERIOR WALL CONSTRUCTION

INTERIOR WALL CONSTRUCTION

FLOOR CONSTRUCTION

WOOD FLOOR CONSTRUCTION

ROOF CONSTRUCTION

ASPHALT SHINGLE ROOF

REVISIONS / ISSUANCE:

23/10/25 REV'D HEIGHT/CGM APPLICATION
23/06/10 ISSUED FOR BUILDING PERMIT
1 23/04/19 ISSUED FOR REVIEW

REP: DATE: DESCRIPTION
REVISIONS / ISSUANCE:

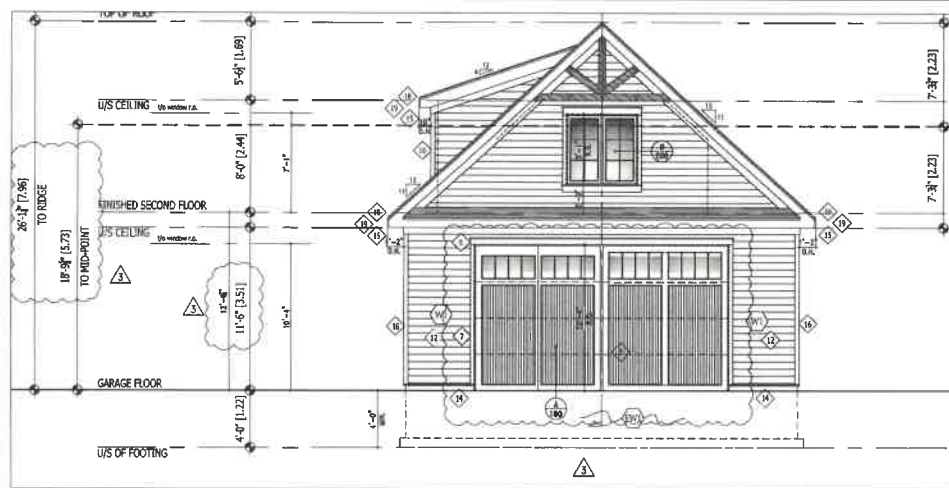
AJM DESIGNS INC.
PO Box 20711, Burlington, ON, L7R 4B1
905.624.0433 info@ajmdesigns.com

CLIENT:
EMMONS DETACHED GARAGE

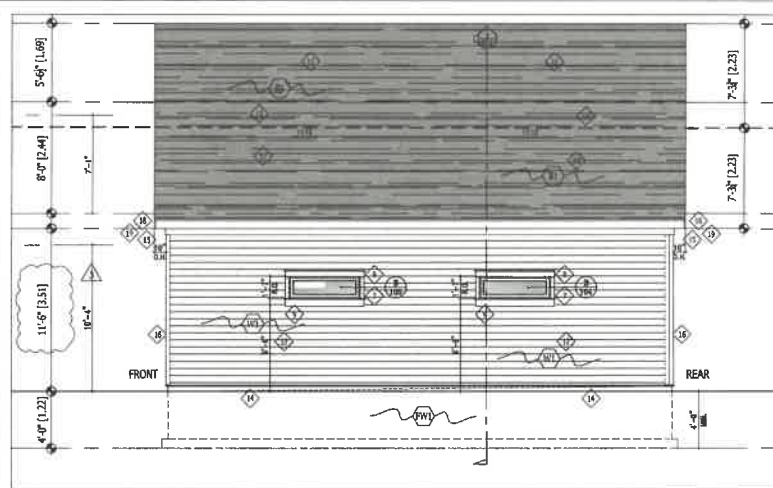
ADDRESS: 14 MARG RD.
CITY: MIDDELLER, ON.
DRAWING TITLE:

FLOOR PLANS, GENERAL NOTES & SCHEDULES

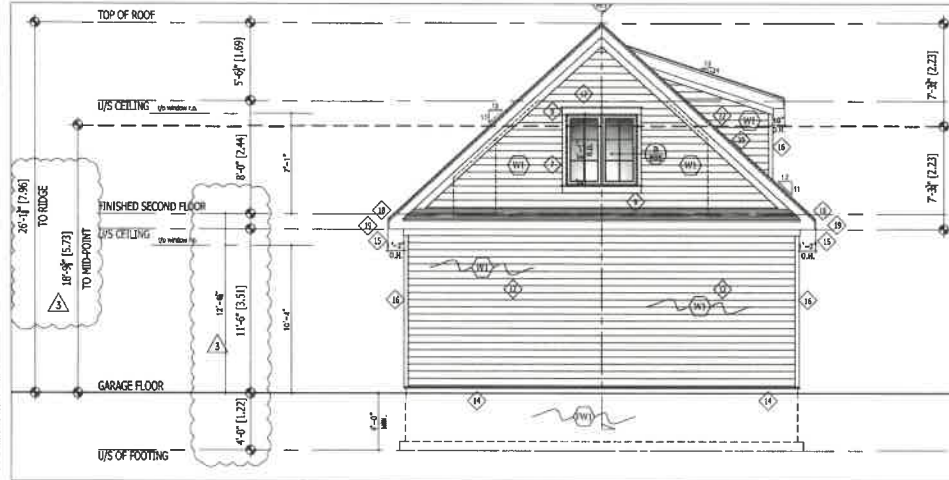
DRAWN: J.M.C.
DATE: D1.01.22 SCALE: 1/4"=1'-0"
JOB NUMBER: SHEET NUMBER:
466-22 A3.1



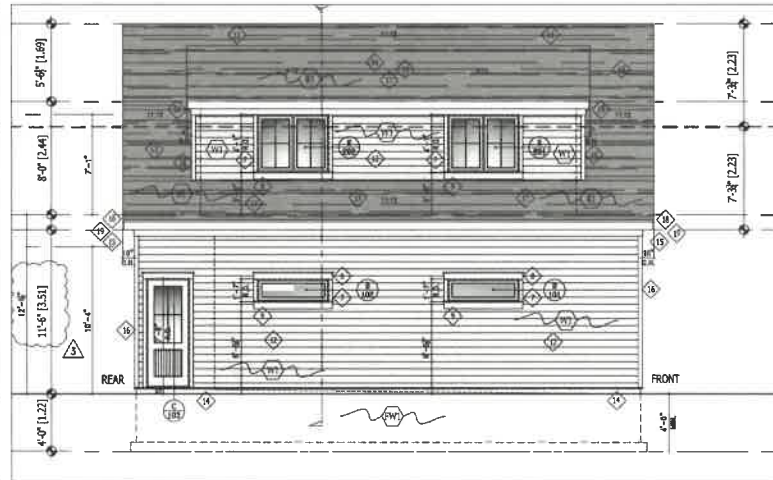
1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the Designer prior to proceeding with any of the work.

The undersigned hereby certifies that he/she is a duly Licensed Professional Engineer in the State of Ohio, and is duly qualified to design and prepare the drawings and specifications for the construction of the building shown on these drawings. The undersigned hereby certifies that he/she is duly qualified to design and prepare the drawings and specifications for the construction of the building shown on these drawings.

REGISTRATION AND QUALIFICATION INFORMATION
Professional Engineer License No. 21741 of the State of Ohio
Individual License No. 11111

Use of AIA/CES Learning Units
This document must be signed close to be valid.
Reproduction should not be accepted.

- 3 23/005 REVD HEIGHT/GMA APPLICATION
 - 2 2305/10 ISSUED FOR BUILDING PERMIT
 - 1 2304/16 ISSUED FOR REVIEW
- REF. DATE: DESCRIPTION:
REVISIONS / ISSUANCE:

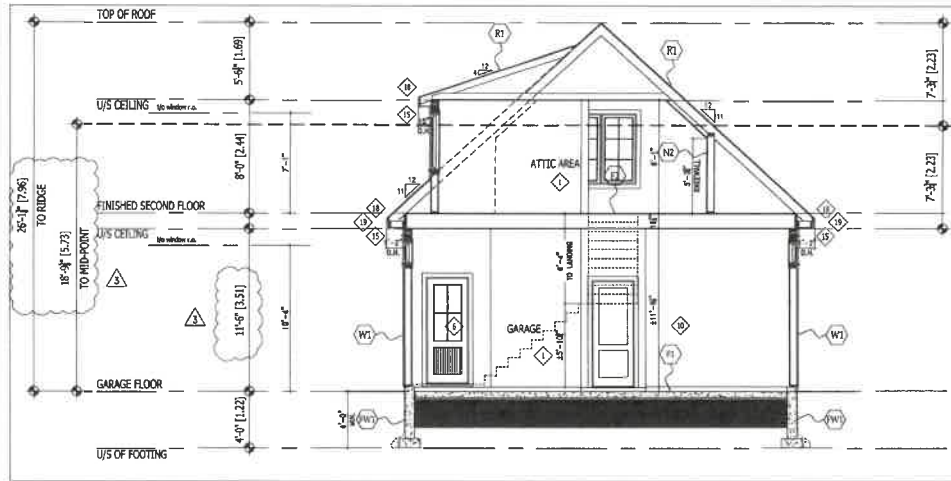
AJM DESIGNS INC.
PO Box 40111 Buxington, OH 471 681
936 853 0423 info@ajm-inc.com

CLIENT:
EMMONS DETACHED GARAGE

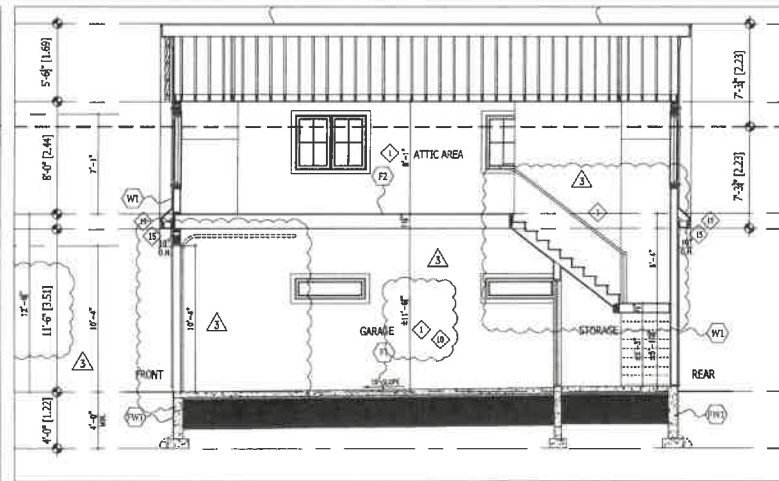
ADDRESS: 14 MEHARG DR.
CITY: MCKELLER, OH.

DRAWING TITLE:
ELEVATIONS

DRAWN: J.Mc.
DATE: 01.01.22 SCALE: 1/4"=1'-0"
JOB NUMBER: SHEET NUMBER:
466-22 A4.1



SECTION 1
AS 1/7 SCALE: 1/4"=1'-0"



SECTION 2
AS 1/7 SCALE: 1/4"=1'-0"

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the Designer prior to proceeding with any of the work.

The contractor has reviewed the design information for this design, has the qualifications and meets the requirements set out in the Ontario Building Code to be an architect. REGISTRATION AND QUALIFICATION INFORMATION provided above design is correct under the O.A.C. rules for O.A.C. 1990, 1997, 2006, 2009, 2012, 2015, 2018, 2021, 2024.

FIRM BCN: 31312
INDIVIDUAL BCN: 31312

and S. Brent Eckhardt architect
This document must be signed direct to be valid.
Reproduction should not be permitted.

3	23/10/25	REV'D HEIGHT/AA APPLICATION
2	23/05/10	ISSUED FOR BUILDING PERMIT
1	23/04/19	ISSUED FOR REVIEW
REF.	DATE:	DESCRIPTION:
REVISIONS / ISSUANCE:		

AJM DESIGNS INC.
 PO Box #20111, Burlington ON L7L 4B1
 1-516-625-0433 F: 905-434-0433

CLIENT:
EMMONS DETACHED GARAGE

ADDRESS: 14 MEHARG DR.
CITY: MCKELLER, ON.

DRAWING TITLE:
SECTIONS

DRAWN: J.Mc.
DATE: 01.01.22 **SCALE:** 1/4"=1'-0"
JOB NUMBER: **SHEET NUMBER:**
 466-22 **A5.1**



AJM Designs Inc
PO Box 80011
Burlington, ON L7L 6B1
T: 905 825 0433
F: 905 825 0327
E: info@ajmdesigns.ca

**NO OBJECTIONS
(LETTER OF SUPPORT)**

Oct 06, 2023

Attn: Committee of Adjustment
Township of McKellar
PO Box 68, 701 Highway 124
McKellar, ON P0G 1C0

Re: No Objections (Letter of Support) – 14 Meharg Dr, Parry Sound ON, P2A 2W7

We the neighbours have reviewed the drawings with the owners of 14 Meharg Dr, for the proposed height adjustment to 5.75m to accommodate the increase for the Garage Overhead door.
We have no objections and are in support of the homeowners minor variance application.

Irene Slavson
Name

Name

Irene Slavson
Signature

Signature

10 MEHARG DR, MCKELLAR, ONT P2A 0B5
Address



AJM Designs Inc
PO Box 80011
Burlington, ON L7R 8B1
T: 905 825 0433
F: 905 825 0327
E: info@ajmdesigns.ca

**NO OBJECTIONS
(LETTER OF SUPPORT)**

Oct 03, 2023

Attn: Committee of Adjustment
Township of McKellar
PO Box 69, 701 Highway 124
McKellar, ON P0G 1C0

Re: No Objections (Letter of Support) – 14 Meharg Dr. Parry Sound ON, P2A 2W7

We the neighbours have reviewed the drawings with the owners of 14 Meharg Dr. for the proposed height adjustment to 5.75m to accommodate the increase for the Garage Overhead door. We have no objections and are in support of the homeowners minor variance application.

James Sutton
Name

Kathleen Sutton
Name

[Handwritten Signature]
Signature

K Sutton
Signature

18 Meharg Dr. McKellar ON
Address



AJM Designs Inc
PO Box 80011
Burlington, ON L7L 6B1
T: 905.825.0433
F: 905.825.0327
E: info@ajmdesigns.ca

NO OBJECTIONS
(LETTER OF SUPPORT)

Oct 06, 2023

Attn: Committee of Adjustment
Township of McKellar
PO Box 89, 701 Highway 124
McKellar, ON P0G 1C0

Re: No Objections (Letter of Support) - 14 Meharg Dr. Parry Sound ON. P2A 2W7

We the neighbours have reviewed the drawings with the owners of 14 Meharg Dr. for the proposed height adjustment to 5.75m to accommodate the increase for the Garage Overhead door. We have no objections and are in support of the homeowners minor variance application.

MARIANNE ZADEL
Name

Name

M. Zadel
Signature

Signature

12 MEHARG DRIVE, MCKELLAR TOWNSHIP
Address



AJM Designs Inc
PO Box 80011
Burlington, ON L7L 6B1
T: 905.825.0433
F: 905.825.0327
E: info@ajmdesigns.ca

**NO OBJECTIONS
(LETTER OF SUPPORT)**

Oct 06, 2023

Attn: Committee of Adjustment
Township of McKellar
PO Box 69, 701 Highway 124
McKellar, ON P0G 1C0

Re: No Objections (Letter of Support) – 14 Meharg Dr. Parry Sound ON. P2A 2W7

I/we the neighbours have reviewed the drawings with the owners of 14 Meharg Dr. for the proposed height adjustment to 5.75m to accommodate the increase for the Garage Overhead door.
I/we have no objections and are in support of the homeowners minor variance application.

CHRIS EMMONS
Name

Name


Signature

Signature

16 MEHARG DR.
Address



Township of McKellar

701 Hwy #124, P.O. Box 69, McKellar, Ontario POG 1C0

Phone: (705) 389-2842

Fax: (705) 389-1244

APPLICATION NO: A-12-2023

APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

The undersigned hereby applies to the Committee of Adjustment for the Township of McKellar under Section 45 of the *Planning Act* R.S.O. 1990, c.P.13, as amended, for relief, as described in this application, from the Township's Comprehensive Zoning By-law. **FAILURE TO PROVIDE ALL OF THE INFORMATION REQUIRED BY THIS APPLICATION MAY CAUSE DELAYS OR DISQUALIFY THE APPLICATION UNTIL FURTHER OR MORE ACCURATE INFORMATION IS OBTAINED.**

Date Received:	<u>NOV 07 2023</u>	OFFICE USE ONLY
Date Accepted:	<u>NOV 07 2023</u>	Complete Application: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Application No. <u>A-12</u>
Date Stamp:	<u>NOV 07 2023</u>	Application Fee + Deposit Received <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

A. APPLICANT/AGENT INFORMATION

1. Name of Owner: Ohad Slama

2. Address: Street and Number 154 Centre Road

City McKellar

Province/State ON

Postal/Zip Code P2A 0B4

Home Phone No. 647-667-5745

Business Phone No. N/A

Email oslama@gmail.com

3. Name of Agent (if any): N/A

4. Address: N/A

Note: Unless otherwise requested, all communications will be sent to the agent, if any.

5. Names and Addresses of any mortgagors, holders of charges or other encumbrances:

CIBC

B. PURPOSE AND TYPE OF APPLICATION

6. Minor Variance from Comprehensive Zoning By-law Permission to extend a legal non-conforming use

From what section of the Zoning By-law is relief being sought?

By-law No. 2022-52 | Appendix "A" | Section 2.B and Section 16.43 of By-law 95-12, as amended by By-law 2022-52

7. Nature and Extent of Relief Applied for:

The maximum size of a rental cottage shall not exceed 150 square metres of gross floor area

8. Why is it not possible to comply with the provisions of the Zoning By-Law?

The size of the A-frame building within the exterior walls is under 100 square meters which is the current size limit but since the CBO is counting the footings / footprint of the main floor as part of the gross floor area which also includes an attic space then we are asking to increase the size limit

C. DESCRIPTION OF PROPERTY

9. Legal description of subject land (registered plan number and lot number or other legal description and, where applicable, street and street number):

PIN 52127-0215 Part Lots 22 and 23, Concession 11, McKellar as in RO136097; Save and except Parts 1 & 2 Plan 42R-1351; Township of McKellar
Roll Numbers: 4928 000 002 46000 and 4928 000 002 46100

10. Dimensions of land affected:

Frontage (metres): 290

Depth (metres): 860

Area (hectares): 48

Width of Street: 20m (Road Allowance)

11. Access to subject land is by:

Provincial Highway
other public road

year-round municipal road
 private right of way

seasonal municipal road
 water access

12. If access to the subject land is by private road, or if "other public road" or "right of way" was indicated in Section 10, indicate who owns the land or road, who is responsible for its maintenance and whether it is maintained seasonally or all year:

N/A

13. If access to the subject land is by water only, describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land and the nearest public road:

N/A

D. LAND USE AND ZONING

14. Date of Acquisition of Subject Lands:

May 17, 2019

15. Date of Construction of all Buildings and Structures on Subject Land:

The house at 1994 and the rest of the building and structures are unknown

16. Existing Uses of the Subject Lands:

Residential (Tourist Commercial)

17. Length of time the existing uses of the subject property have continued:

Unknown

18. Existing Uses of Abutting Lands:

Residential and Rural

19. Services (Check appropriate box):

Water: Dug Well Drilled Well Lake Other Pond
Sewage Disposal: Septic Privy Other _____

20. Storm Drainage is provided by (Check appropriate box):

sewers open ditches swales other (please specify) Surface

21. Present Official Plan provisions applying to the land:

N/A

22. Present Zoning By-law provisions applying to the land:

Special Provision 16.43

23. Are there any easements or rights-of-way affecting the subject lands?

Yes No

If Yes, indicate and describe the purpose of the easement or rights-of-way:
N/A

E. BUILDINGS AND STRUCTURES (on or proposed for the subject land)

EXISTING – List all existing buildings and structures					DISTANCE FROM LOT LINES (metres)			
Building/ Structure Type	Date of Construction	# of Storeys / Height	Ground Floor Area (m2)	Total Floor Area (m2)	Front	Rear	Side	Side
House	1994	2 Storeys	118.451	181.347	61+	756+	127+	164+
Workshop	Unknown	1 Storey	153.847	153.847	58+	738+	179+	116+
Stables 1 (South)	Unknown	1 Storey	97.548	97.548	38+	763+	159+	126+
Stables 2 (North)	Unknown	1 Storey	118.451	118.451	49+	749+	169+	122+
Greenhouse	Unknown	1 Storey	23.783	23.783	84+	724+	153+	154+
Shed 1	Unknown	1 Storey	20.717	20.717	32+	772+	154+	129+
Shed 2	Unknown	1 Storey	5.110	5.110	124+	702+	136+	181+
Bunkie	Unknown	1 Storey	9.290	9.290	116+	701+	153+	156+
Outdoor Boiler	Unknown	1 Storey	9.383	9.383	61+	741+	159+	134+

PROPOSED – List all buildings and structures					DISTANCE FROM LOT LINES (metres)			
Building/ Structure Type	Date of Construction	# of Storeys / Height	Ground Floor Area (m2)	Total Floor Area (m2)	Front	Rear	Side	Side
Rental cottage #1	2024	2 Storeys	150	150	118+	676+	264+	78+
Rental cottage #2	TBD	TBD *	Up to 150	Up to 150	118+	699+	192+	154+
Rental cottage #3	TBD	TBD *	Up to 150	Up to 150	199+	602+	41+	309+
Rental cottage #4	TBD	TBD *	Up to 150	Up to 150	47+	604+	466+	49+
Rental cottage #5	TBD	TBD *	Up to 150	Up to 150	109+	499+	543+	31+
Rental cottage #6	TBD	TBD *	Up to 150	Up to 150	273+	382+	576+	39+

* In accordance with By-law 95-12

F. HISTORY

24. Has the owner previously applied for relief in respect of the subject property?

Yes No If YES, please provide Application Number, if known: N/A

25. Is the subject land currently the subject of an application for a consent or approval of a plan of subdivision?

Yes No Unknown If YES and if KNOWN, specify the appropriate file number and status of the application:
N/A

26. Has the subject land ever been the subject of a minor variance application?

Yes No Unknown

G. PLANS

27. Every application shall be accompanied by a sketch [SAMPLE on page 9] (based on a boundary survey plan of the subject land) drawn to an appropriate scale, properly dimensioned and showing thereon:

- The boundaries and dimensions of the subject land
- The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings and structures from the front, rear and side lot lines
- The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks
- The current uses on land that is adjacent to the subject land
- The location, width and name of any roads within or abutting the subject land indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way
- If access to the subject land is by water only, the location of the parking and docking facilities to be used
- The location and nature of any easement affecting the subject land

H. AFFIDAVIT OR SWORN DECLARATION

The content of the application and appendices shall be validated by the Applicant (or authorized agent) in the form of the following Affidavit/Sworn Declaration before a Commissioner or other person empowered to take Affidavits.

Dated at the Township of McKellar this 7th day of November, 2023.
I, Ohad Slama, of the Township of McKellar
in the District of Parry Sound solemnly declare that all
the statements contained in this application are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of
the Canada Evidence Act.

[Signature]
Signature of Applicant or Authorized Agent

Declared before me at the Township of McKellar in the District
of Parry Sound this 7th day of November, 2023

Signature of Commissioner of Oaths: [Signature]

KARLEE HELAINA BRITTON,
a Commissioner, etc., Province of Ontario,
for the Corporation of the Township of McKellar.
Expires September 6, 2025.

I. CONSENT OF THE OWNER TO THE USE AND DISCLOSURE OF PERSONAL INFORMATION

Complete the consent of the owner concerning personal information set out below.

I, Ohad Slama, am the owner of the land that is the subject of this application and for the purposes of the *Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M.56, I authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the *Planning Act* R.S.O. 1990, c.P.13, as amended, for the purpose of processing this application. The applicant acknowledges that the Township considers the application forms and all supporting materials, including studies and drawings, filed with this application to be public information and to form part of the public record. With the filing of an application, the applicant consents to the Township photocopying and releasing the application and any supporting material either for its own use in processing the application or at the request of a third party, without further notification to or permission from the applicant. The applicant also hereby states that it has authority to bind its consultants to the terms of this acknowledgement. Questions about this collection of personal information should be directed to the Township Clerk.

Nov 7, 2023
Date

[Signature]
Signature of Owner

J. CONSENT OF THE OWNER TO THE PAYMENT OF REQUIRED FEES AND POTENTIAL FEES

I, Ohad Slama, acknowledge and agree that applicants must submit the required fee of \$750.00, as well as a Security Deposit of \$500.00 when filing the application. Further, I agree that any costs beyond regular processing costs relating to this application, including but not limited to engineering studies, legal opinions, planning consultant fees, and Ontario Land Tribunal hearing costs, will be the responsibility of the applicant and will submit the balance due upon receipt of an invoice for same.

Nov 7, 2023
Date

[Signature]
Signature of Owner

K. AUTHORIZATIONS

If the applicant is not the owner of the land that is the subject of this application, the written consent of the owner, authorizing the applicant to make the application, must be included with this form or the authorizations set out below must be completed. Please note: If the Owner is an incorporated company, authorization of the appropriate signing officer(s) is required in accordance with the company's by-laws.

Authorization of Owner for Agent to Make the Application

I, _____, am the owner of the land that is the subject of this application for a Minor Variance and I authorize _____ to make this application on my behalf.

_____ **Date**

_____ **Signature of Owner**

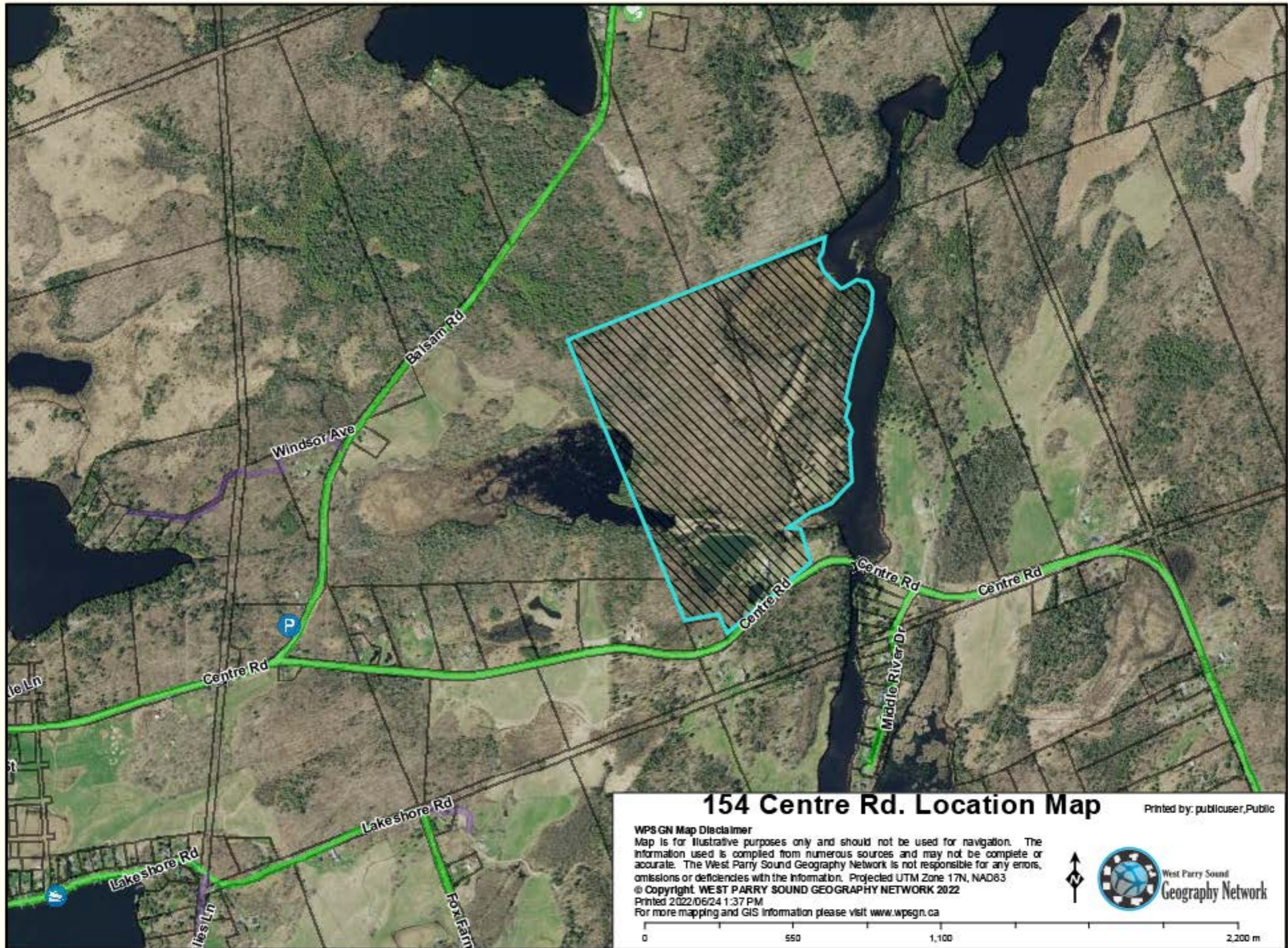
If the applicant is not the owner of the land that is the subject of this application, complete the authorization of the owner concerning personal information set out below.

Authorization of the Owner for Agent to Provide Personal Information

I, _____, am the owner of the land that is the subject of this application for a Minor Variance and for the purposes of the *Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M.56, I authorize _____, as my agent for this application, to provide any of my personal information that will be included in this application or collected during the processing of the application. The applicant acknowledges that the Township considers the application forms and all supporting materials, including studies and drawings, filed with this application to be public information and to form part of the public record. With the filing of an application, the applicant consents to the Township photocopying and releasing the application and any supporting material either for its own use in processing the application or at the request of a third party, without further notification to or permission from the applicant. The applicant also hereby states that it has authority to bind its consultants to the terms of this acknowledgement.

_____ **Date**

_____ **Signature of Owner**



154 Centre Rd. Location Map

Printed by: pubHouser,Public

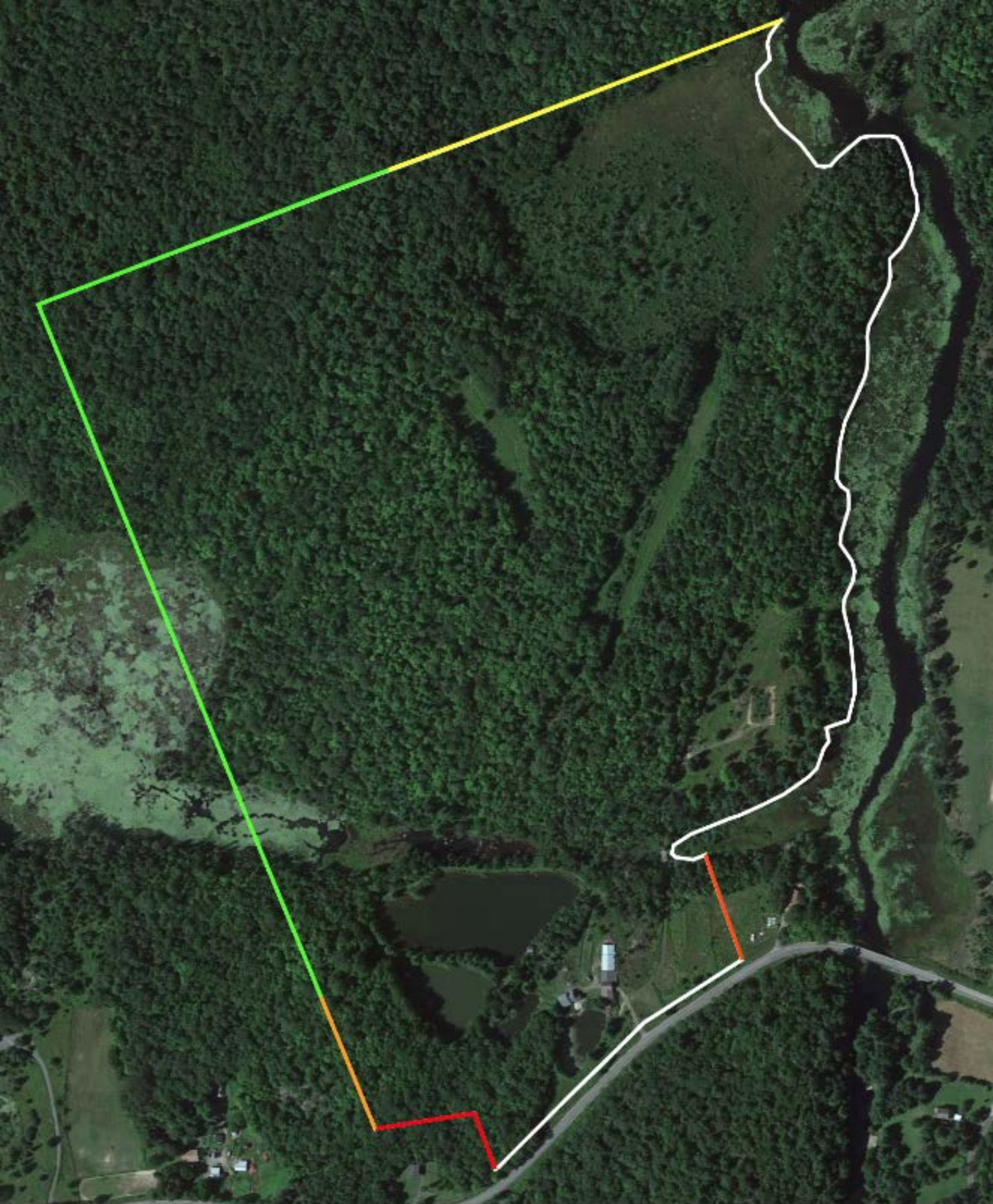
WPSGN Map Disclaimer

Map is for illustrative purposes only and should not be used for navigation. The information used is compiled from numerous sources and may not be complete or accurate. The West Parry Sound Geography Network is not responsible for any errors, omissions or deficiencies with the information. Projected UTM Zone 17N, NAD83
© Copyright WEST PARRY SOUND GEOGRAPHY NETWORK 2022
Printed 2022/06/24 1:37 PM
For more mapping and GIS information please visit www.wpsgn.ca



West Parry Sound
Geography Network

0 550 1,100 2,200 m



200 m



Bunkie

Shed 2

Greenhouse

Outdoor Boiler

Workshop

Stables 2 (North)

Stables 1 (South)

Shed 1

House (Primary Residence)

20 m



Location #6

Location #5

Location #4

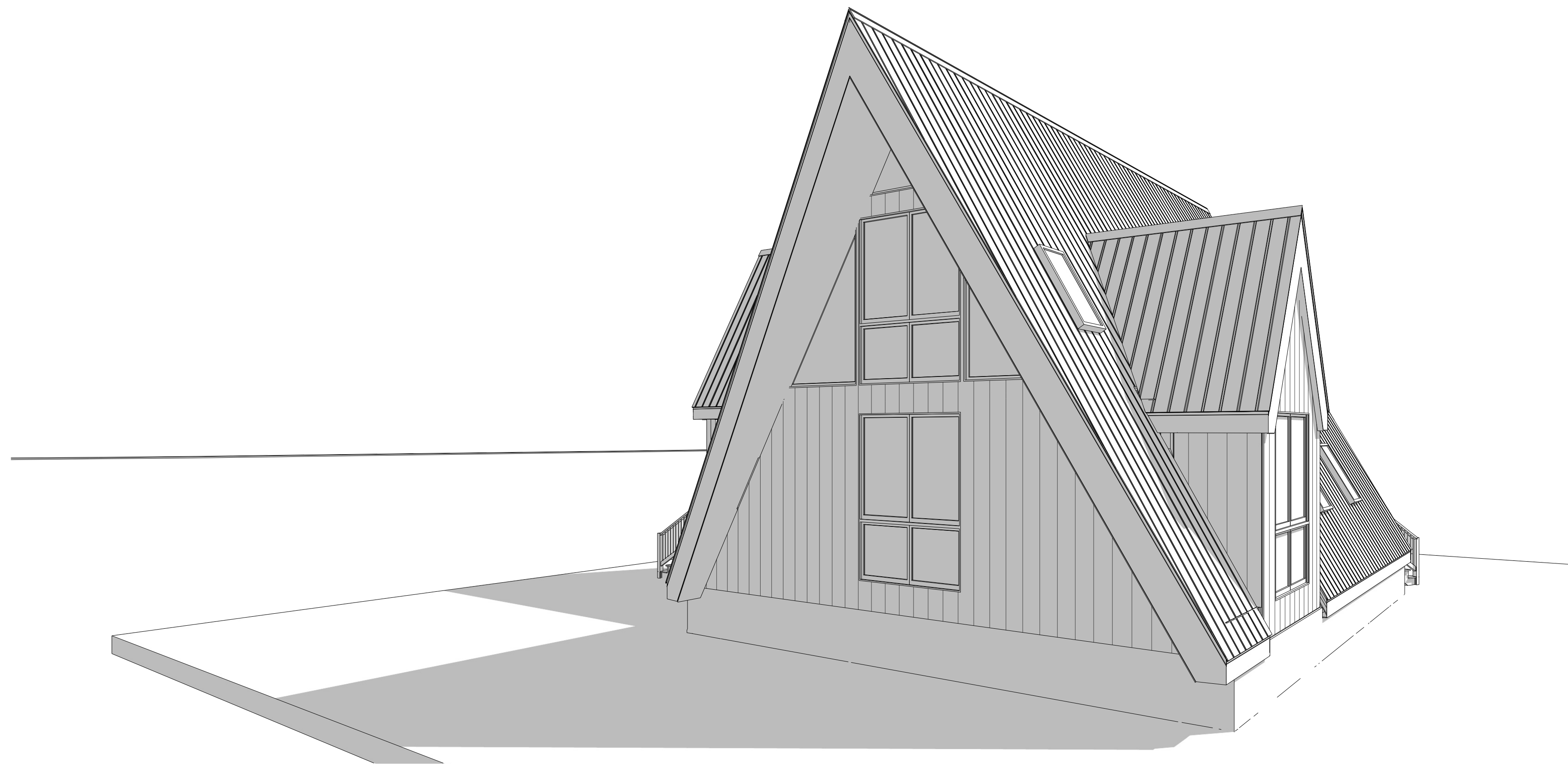
Location #1

Location #2

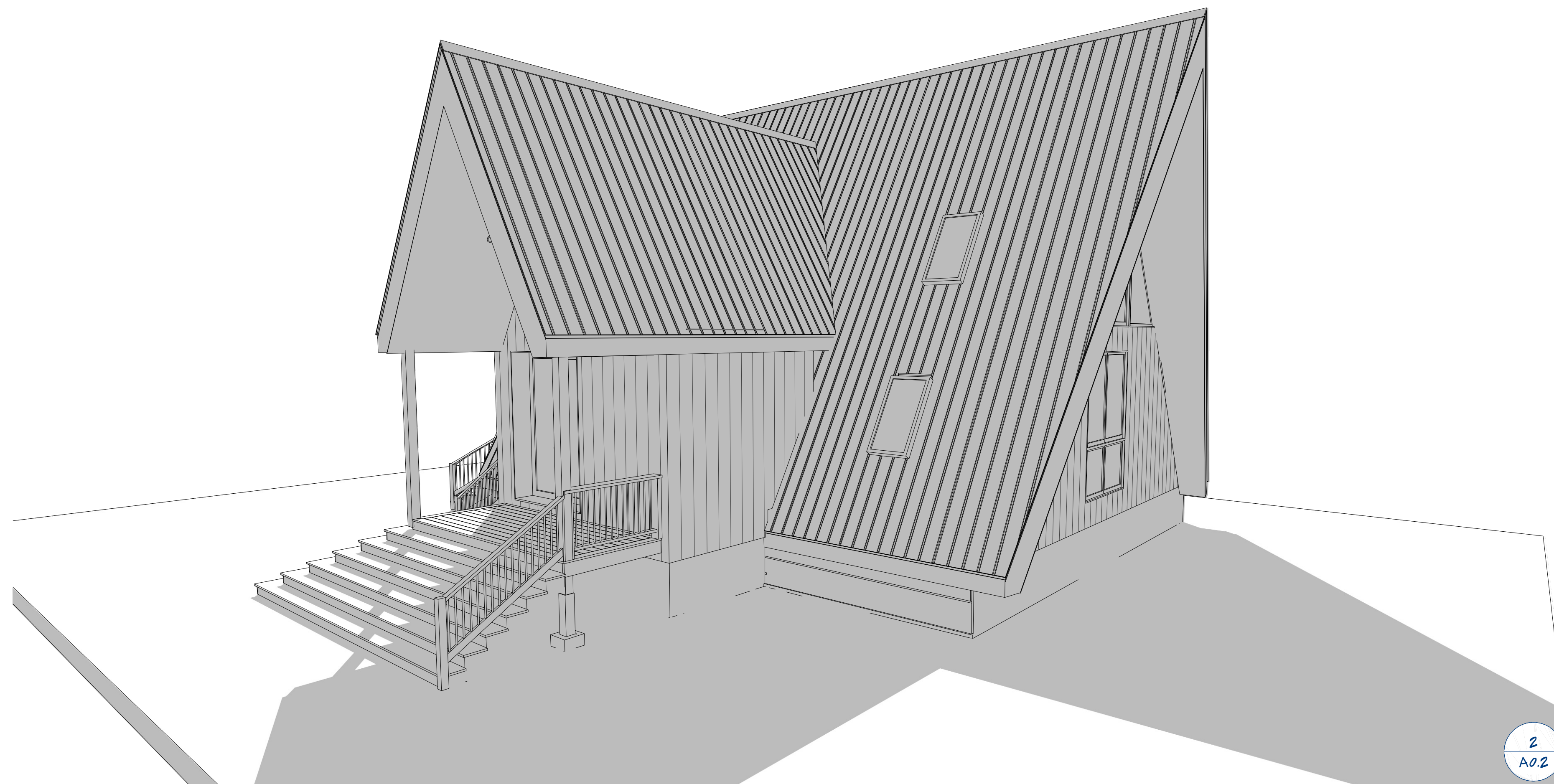
Location #3

363 ft

Rd



1 NORTH PERSPECTIVE
A0.2 NTS



2 EAST PERSPECTIVE
A0.2 NTS

DO NOT SCALE DRAWINGS. CHECK & VERIFY ALL DIMENSIONS.



HARMONY
Design and Renovation

THESE DRAWINGS MUST
BE SIGNED TO BE VALID
FOR PERMIT.

THEY ARE ONLY VALID
FOR THE ORIGINAL
ADDRESS IN THE TITLE
BLOCK.

CLIENT INFORMATION:
OHAD SLAMA
194 CENTRE RD
MCKELLAR ON
647-667-8745
OSLANIA@GMAIL.COM

EXTERIOR PERSPECTIVES

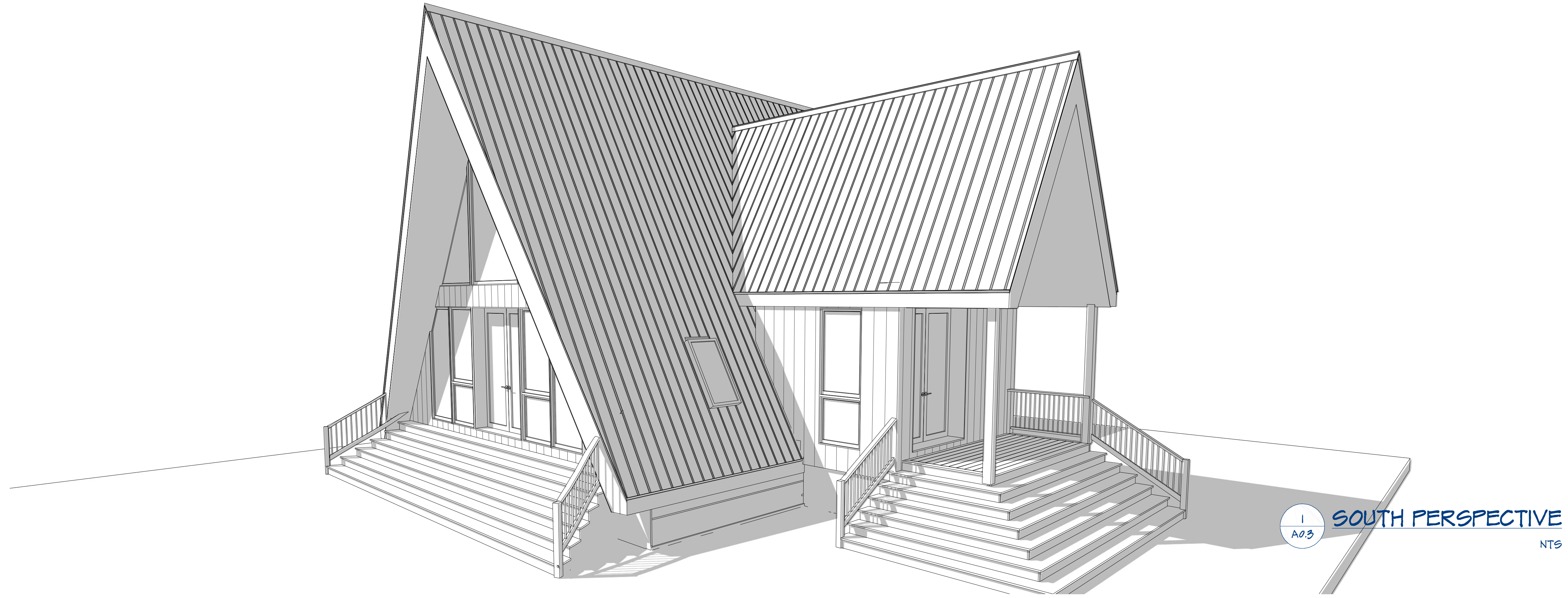
DRAWINGS PROVIDED BY:
Harmony Design
THE ARCHITECTS
000-2RENOVATE (800-275-6682)
BRAD@HARMONYDESIGN.CA

DATE:

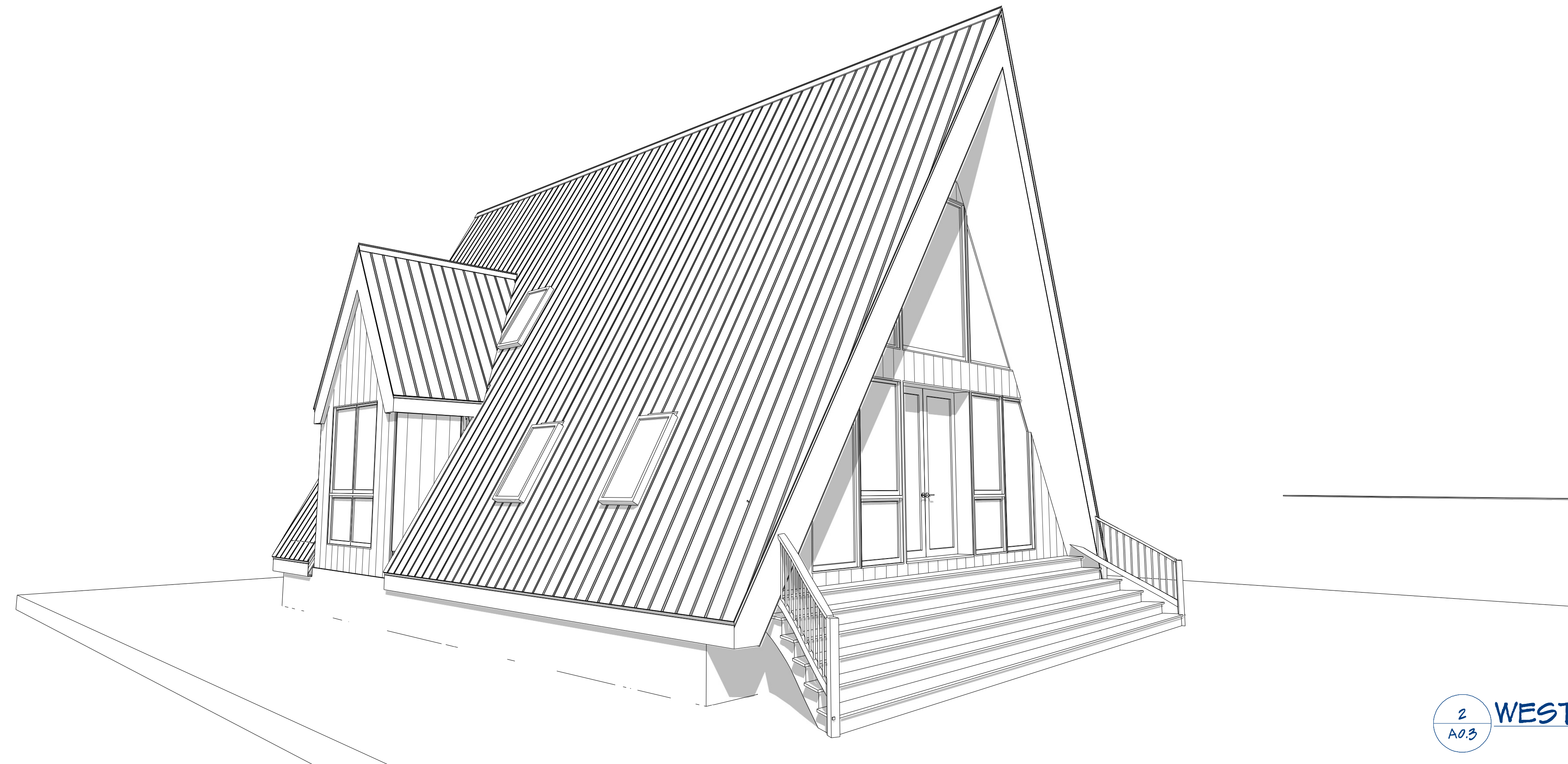
2023-10-24

SHEET:

A0.2



1 SOUTH PERSPECTIVE
A0.3 NTS



2 WEST PERSPECTIVE
A0.3 NTS

DO NOT SCALE DRAWINGS. CHECK & VERIFY ALL DIMENSIONS.



HARMONY
Design and Renovation

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CLIENT INFORMATION:
CHAD SLAMA
194 CENTRE RD
MCKELLAR ON
647-667-8745
OSLANIA@GMAIL.COM

EXTERIOR PERSPECTIVES

DRAWINGS PROVIDED BY:
Harmony Design
THE ARCHITECTS
000-2RENOVATE (800-275-6682)
BRAD@HARMONYDESIGN.CA

DATE:

2023-10-24

SHEET:

A0.3



THESE DRAWINGS MUST BE SIGNED TO BE VALID FOR PERMIT.
THEY ARE ONLY VALID FOR THE ORIGINAL ADDRESS IN THE TITLE BLOCK.

CLIENT INFORMATION:
CHAD SLAMA
194 CENTRE RD
MCKELLAR ON
647-667-8748
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FOUNDATION PLAN

DRAWINGS PROVIDED BY:
Harmony Design
THE ARCHITECTS
888-RENOVATE (888-273-6682)
BRAD@HARMONYDESIGN.CA

DATE:

2023-10-24

SHEET:

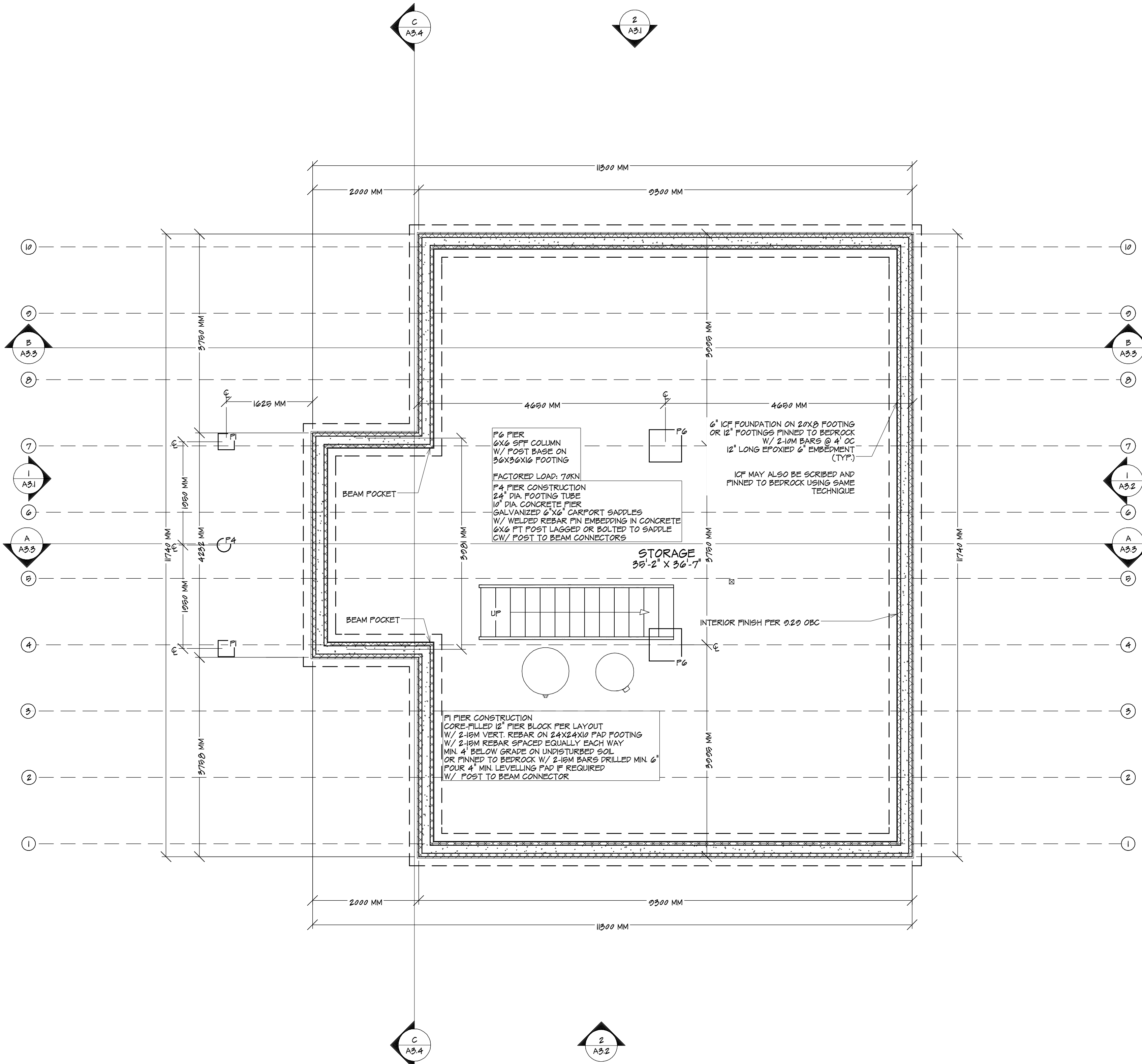
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FOUNDATION NOTES:

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL.
STEP FOOTINGS (MAX. 600mm RISE, MIN. 600mm RUN) AS REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.
MINIMUM SOIL BEARING CAPACITY - 75kPa (10.9psi)

CONCRETE STRENGTH
32MPa CW/ 6-8% AIR ENTRAINMENT FOR GARAGE FLOORS,
CARPORT FLOORS AND ALL EXTERIOR FLATWORK
20MPa FOR INTERIOR FLOORS OTHER THAN THOSE FOR GARAGES AND CARPORTS
15MPa FOR ALL OTHER APPLICATIONS

GARAGE FLOORS SHALL HAVE 2% SLOPE TOWARD DOORS OR DRAINS
CAULK ALL SLAB PENETRATIONS ABOVE SLAB AND PERIMETER OF SLAB



FOUNDATION WALL CONSTRUCTION:
6" ICF FOUNDATION WALL (INSTALLED PER MFR SPECS)
ON CONCRETE STRIP FOOTING PER PLAN
W/ 3 ROWS - 15M REBAR, CENTRED
PROVIDE TAPER TOP FORM FOR TOP COURSE OF ICF WALL
2X2 FT SILL PLATE
CONTINUOUS AIR BARRIER UNDER PLATE
ANCHOR BOLTS @ 6" OC MAX.
PROVIDE WATERPROOFING MEMBRANE BELOW GRADE AND FARGING COAT ABOVE GRADE
PROVIDE 4" PERFORATED "BIG-O" W/ FILTER FABRIC AROUND PERIMETER
W/ 6" CLEAR STONE COVER AND FREE DRAINING BACKFILL

ICF BELOW GRADE WALL REINFORCEMENT
HORIZONTAL REINFORCEMENT
-10M BARS SPACED NOT MORE THAN 23 5/8" OC ON THE INSIDE HALF OF THE WALL SECTION, WITH MIN. COVER OF 1-1/4" (30MM) FROM THE INSIDE FACE OF THE CONCRETE
VERTICAL REINFORCEMENT
-10 @ 16" OC ON THE INSIDE HALF OF THE WALL SECTION WITH MIN COVER OF 1-1/4" (30MM) FROM THE INSIDE FACE OF THE CONCRETE

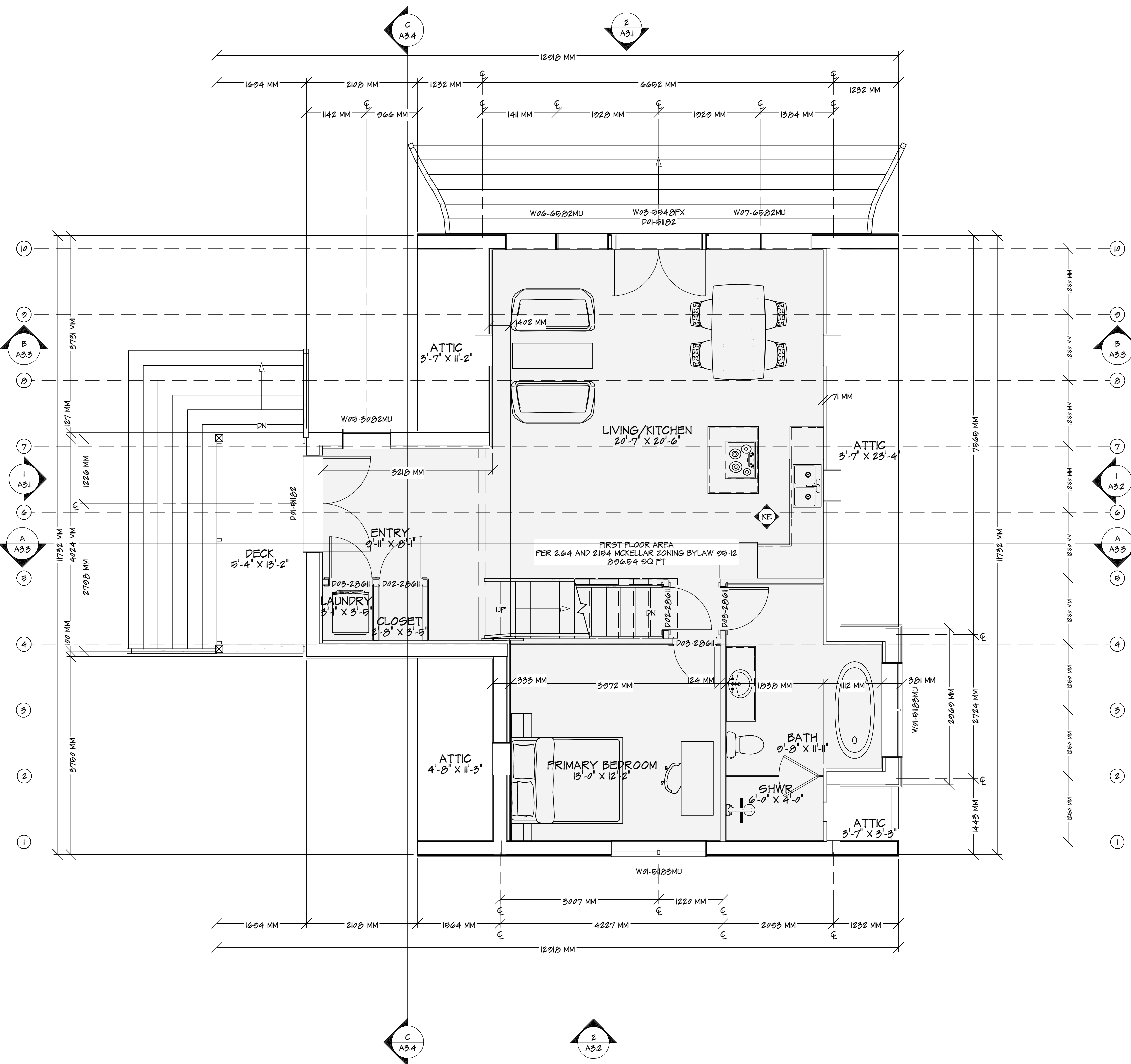
DO NOT SCALE DRAWINGS. CHECK & VERIFY ALL DIMENSIONS.



FOUNDATION PLAN

1/4" Scale

BATHROOM BLOCKING
REQUIRED - SEE 2.2.3 OBC
(ALSO ON NOTES PAGE)



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A2.2 MAIN FLOOR PLAN

1/4" Scale

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VENTILATION NOTES:

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY. ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION. EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS. UNHEATED CRAWL SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

BUILDING NOTES:

ALL WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE. CONTRACTOR SHALL VERIFY THAT THE SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL WOOD SHALL BE NO.2 OR BETTER S/P/F KILN DRIED. ALL FOOTINGS SHALL BE CARRIED DOWN TO NATURAL UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 3000PSF. ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 20MPA TYP. FOR WALLS AND FOOTINGS BASEMENT SLAB; 25MPA/28 DAYS. GARAGE FLOOR SLAB & EXTERIOR CONCRETE 32MPA/28 DAYS C/W 6-8% AIR ENTRAINMENT. PROVIDE COMBUSTION AIR INLETS FOR ALL FIREPLACES AS REQUIRED. PROVIDE REQUIRED MECHANICAL VENTILATION SYSTEM TO MEET THE OBC REQUIREMENTS FOR PRINCIPAL AND SUPPLEMENTARY EXHAUSTING. STEEL BEAMS SHALL CONFIRM TO CSA G40.21-50W. HSS COLUMNS CALL CONFIRM TO CSA G40.21-50W. STEEL BEAMS SHALL HAVE A MINIMUM 3-1/2" BEARING ON CONCRETE. STEEL BEAMS ON WOOD SHALL BE ANCHORED WITH 2-1/2" DIAMETER LAG BOLTS AT EACH END. ALL STEEL BEAMS SHALL BE BRACED BY WOOD FRAMING USING 2"x6" CONTINUOUS PLATE LAGGED TO BEAM AT 24" O.C. WITH 1/2" DIAMETER BOLTS. BOLTED STEEL CONNECTORS SHALL CONFORM TO CSA-S 161. ALL DIMENSIONS ARE TO FACE OF DRYWALL/FOUNDATION/FRAMING AS NOTED. ALL PLANS AND DESIGNS ARE THE PROPERTY OF HARMONY DESIGN AND RENOVATION AND MAY NOT BE COPIED OR DUPLICATED IN ANY MANNER WITHOUT THE EXPRESS PERMISSION OF HARMONY DESIGN AND RENOVATION.

DECK NOTES:

THE MINIMUM GRADE OF SOFTWOOD DIMENSIONAL LUMBER FOR POST, RAILS AND JOISTS SHALL BE NORTHERN SPECIES, NO. 2. THE MINIMUM GRADE OF SOFTWOOD DIMENSIONAL LUMBER FOR PICKETS SHALL BE NORTHERN SPECIES, NO. 2, PICKET GRADE. WOOD PICKETS SHALL BE FREE OF LOOSE KNOTS. LUMBER FOR GUARD AND FLOOR SYSTEMS MUST BE RESISTANT TO DECAY. END CUTS OF PRESERVATIVE OR PRESSURE TREATED LUMBER SHALL BE SITE TREATED TO PREVENT DECAY. NAILS, SCREWS, LAG BOLTS AND MACHINE BOLTS SHALL NOT CAUSE SPLITTING OF WOOD OR ELEMENTS. FASTENERS SHALL BE RESISTANT TO CORROSION AND NAILS SHALL BE COMMON SPIRAL. DECK MUST BE ATTACHED TO THE HOUSE FOUNDATION OR STRUCTURAL FRAMING (NOT BRICK VENEER) WITH MINIMUM 1/2" DIAMETER LAG BOLTS AT MAXIMUM 16" ON CENTRE. PILOT HOLES SHALL BE PRE-DRILLED WITH A 1/2" DIAMETER HOLE IN THE LEDGER BOARD AND A 5/16" DIAMETER HOLE IN THE BAND BOARD OF THE EXISTING HOUSE. MAXIMUM CANTILEVER FOR JOISTS AND BEAMS BEYOND SUPPORT IS 24". A GUARD CONSTRUCTED ACCORDING TO SUPPLEMENTARY STANDARD SB-7 MUST BE PROVIDED IF DECK TOP IS GREATER THAN 24" ABOVE GRADE. WIDEN (BELL) BOTTOM OF PIER WHERE PIER SPACING EXCEEDS 8 FEET. IN COURSE GRAINED SOILS (SANDS AND GRAVELS) IT MAY BE NECESSARY TO USE A 10 OR 12 INCH AUGER, POUR A CONCRETE BASE AND THEN PLACE THE 8" SONOTUBE ON TOP. WHERE NOT POSSIBLE TO INSTALL FOOTINGS BELOW THE FROST LINE DUE TO SURFACE BEDROCK, CONSTRUCT FORMS ON SURFACE AND PIN FOOTINGS TO BEDROCK USING MINIMUM OF TWO 10M PINS EPOXIED INTO MIN. 6" DEEP HOLES DRILLED IN BEDROCK. DECK LEDGER SHALL BE MINIMUM 2X8 PRESSURE TREATED NO2 GRADE LUMBER OR OTHER APPROVED MATERIALS AS DETERMINED BY GOOD ENGINEERING PRACTICES. PROVIDE A HANDRAIL 34" TO 38" HIGH ON STAIRS IF MORE THAN THREE RISERS. PROVIDE A GUARD ON BOTH SIDES OF STAIR WHERE THE STAIR EXCEEDS 600MM BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE. ALL STEPS TO BE EQUAL RISE AND RUN BETWEEN LANDINGS.



THESE DRAWINGS MUST BE SIGNED TO BE VALID FOR PERMIT. THEY ARE ONLY VALID FOR THE ORIGINAL ADDRESS IN THE TITLE BLOCK.

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FIRST FLOOR PLAN

DRAWINGS PROVIDED BY:
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BRAD@HARMONYDESIGN.CA

DATE:
2023-10-24

SHEET:
A2.2



HARMONY
Design and Renovation

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SECOND FLOOR PLAN

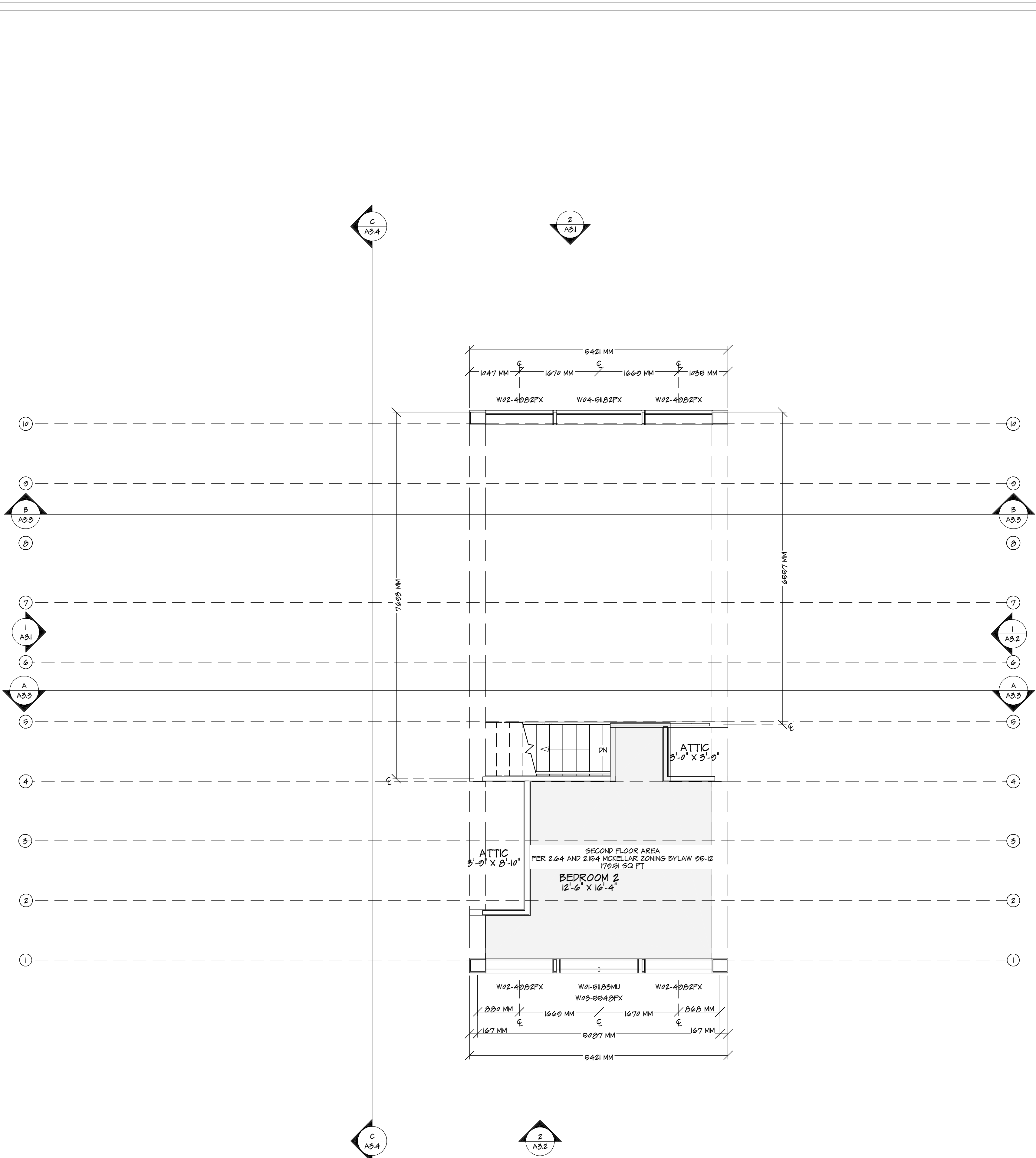
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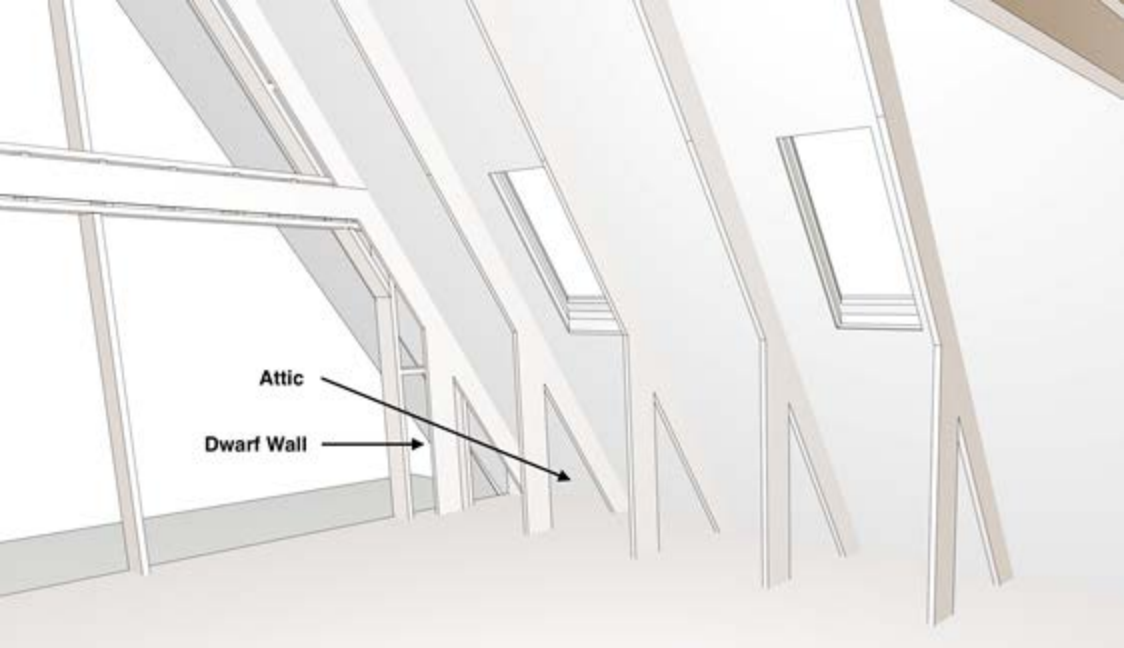


WINDOW SCHEDULE				
NO.	QTY	LABEL	DESCRIPTION	AREA, ACTUAL (SQ FT)
W01	3	W01-51183MU	MULLED UNIT-LHL/RHL	48.48
W02	4	W02-4282FX	FIXED GLASS	10.20
W03	2	W03-5548FX	FIXED GLASS	12.80
W04	1	W04-51182FX	FIXED GLASS	48.44
W05	1	W05-3082MU	MULLED UNIT-LHL/RHL	24.60
W06	1	W06-6582MU	MULLED UNIT-LHL/RHL	51.78
W07	1	W07-6582MU	MULLED UNIT-LHL/RHL	51.78
W08	6	2040FS	RECT. SKYLIGHT	0

DOOR SCHEDULE				
NO.	QTY	SIZE	DESCRIPTION	
D01	2	51182 L/R EX	EXT. DOUBLE HINGED-GLASS PANEL	
D02	2	28611 R IN	HINGED-DOOR P04	
D03	3	28611 L IN	HINGED-DOOR P04	

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A2.3 **SECOND FLOOR PLAN**
1/4" Scale

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Attic

Dwarf Wall