

CORPORATION OF THE TOWNSHIP OF MCKELLAR

September 13, 2022 – 6:30 p.m.

AGENDA

Topic: Regular Council Meeting
Time: September 13, 2022 6:30 P.M.

Join Zoom Meeting

<https://us06web.zoom.us/j/86040341346>

Dial by your location

+1 647 374 4685 Canada

+1 647 558 0588 Canada

22-330 1st resolution
2022-46 1st by-law

1. CALL TO ORDER
2. RESPECT AND ACKNOWLEDGMENT DECLARATION

We would like to begin by acknowledging that the land on which we gather is the traditional territory of the Anishnaabe and the Mississauga People

3. ROLL CALL
4. DECLARATIONS OF CONFLICT OF INTEREST
5. ADOPTION OF AGENDA
- 5A. PUBLIC MEETING
 - 5A.1 Ohad Rezoning and Site Plan Application
6. DELEGATIONS AND PRESENTATIONS
7. MOTION TO REVIEW A PREVIOUS MOTION
8. ADOPTION OF MINUTES OF PREVIOUS MEETING(S)
 - 8.1 Minutes of the August 9, 2022 Regular Meeting of Council
 - 8.2 Minutes of the August 30, 2022 Special Meeting of Council
9. PLANNING MATTERS
 - 9.1 Consent Application B42/2022 – Hardie
 - (i) Application
 - (ii) Planning Report of John Jackson Planner Inc.

- 9.2 Consent Application B33/2022 - LeBlanc
 - (i) Application
 - (ii) Planning Report of John Jackson Planner Inc.

10. COMMITTEE/BOARD MINUTES WITH RECOMMENDATIONS FOR APPROVAL

- 10.1 Sesquicentennial Ad Hoc Committee Draft Minutes of August 10, 2022 Meeting
- 10.2 Township of McKellar Recreation Committee Minutes of May 26, 2022
- 10.3 McKellar Historical Committee Minutes of May 4, 2022
- 10.4 Lake Stewardship & Environmental Standing Committee of McKellar Township Draft Minutes of July 14, 2022 Meeting

11. STAFF REPORTS WITH RECOMMENDATIONS FOR APPROVAL

- 11.1 Summer 2022 Swimming Lesson Report – Evelyn Brewster
- 11.2 Accounts Payable Cheque Run Report for August 2022
- 11.3 PW-2022-04 Boat Launches
- 11.4 PW-2022-05 Speed Limit Extension
- 11.5 PW-2022-06 Zulak, Harris, McKellar Property Exchange
- 11.6 PW-2022-07 Brownley Road Parking
- 11.7 PW 2022-08 - Contract Snowplowing, Lawson Landscapes Inc.
- 11.8 T-2022-Insurance - Renewal of 2022-2023 Municipal Insurance Policy
- 11.9 FD-2022-03 – Status Update for August 2022

12. MAYOR'S REPORT

13. CORRESPONDENCE FOR CONSIDERATION

- 13.1 Agreement with Cogeco Cable Canada LP
- 13.2 Support Resolution Coleman Township 22-08-31-02 Federal Electoral Districts Redistribution

14. MOTION AND NOTICE OF MOTION

- 14.1 West Parry Sound Joint Election Audit Committee Appointments
- 14.2 St. Stephen's Church Renovation - Project Funding Resolution
- 14.3 Short Term Rental Committee – Terms of Reference

15. BY-LAWS

- 15.1 By-law No. 2022-46 being a By-law to Appoint a Deputy Clerk

16. UNFINISHED BUSINESS

17. NEW BUSINESS

18. PUBLIC NOTICES, ANNOUNCEMENTS, INQUIRIES AND REPORTS BY COUNCIL MEMBERS

- 18.1 West Parry Sound Heads of Council Report – Mayor Hopkins

19. CONSENT AGENDA – CORRESPONDENCE

- 19.1 Municipality of Shuniah – Letter of Support Town of Aurora Bill C “Keira’s Law”
- 19.2 Ontario Sheep Farmers – Proposed definition of Livestock Guard Dogs and Herding Dogs added to By-laws
- 19.3 Infrastructure Ontario – Accelerated High-Speed Internet Program (AHSIP) Stakeholder Onboarding Information
- 19.4 Ministry of Municipal Affairs & Housing – Proposed Strong Mayors, Building Homes Act
- 19.6 Mayor George Comrie – Life Lease, Belvedere Heights Proposed Update

20. QUESTION/COMMENT PERIOD (RELATED TO ITEMS ON AGENDA)

21. CLOSED SESSION

- 21.1 Minutes of the Closed Sessions of Council
- 21.2 Personal matters about an identifiable individual, including Municipal or local board employees – 239(2)(b) – staffing matters
- 21.3 Litigation on potential litigation including matters before administrative tribunals, affecting the Municipality or local board 239(2)(e) - update on legal matters

22. CONFIRMING BY-LAW

- 22.1 By-law No. 2022-47 - Confirming the Proceedings of Council

23. ADJOURNMENT

Instructions for Joining the Council Meeting

1. Please try to sign in between 6:20 to 6:30 if possible; you are still welcome to sign in after 6:30 if necessary
2. Please wait to be let in the 'meeting room'; this won't take long
3. Please have your mic and video on mute unless you are speaking; this ensures there are no distractions or background noise to disrupt the meeting
4. When you sign in please sign in with your full name (first and last), not a company name
5. A question and answer opportunity will be available at the end of the meeting as per normal protocol or during the Public Meeting
6. If you have permission to speak please identify yourself (first and last name).
7. Please respect meeting protocol and do not interrupt the meeting. The Municipality reserves the right to remove attendees who are disruptive or disrespect meeting protocol.



Hugh McKenzie, Indigenous Artist, Temagami ON

Clearwater Planning Inc.

Karen Beauchamp, MCIP, RPP,
123 East Waseosa Lake Road
Huntsville ON P1H 2J4
Email: karen@clearwaterplanning.ca
Phone: 705 358 9941 (c)

July 11, 2022

Ina Watkinson, Clerk
Township of McKellar
Email: clerk@mckellar.ca

Dear Ina Watkinson:

Please find attached an Application for a Zoning By-law Amendment and an Application for a Site Plan Approval for 154 Centre Road, McKellar on behalf of the owners, Ohad Slama and Eran Gurvich.

The Owners are applying to re-zone their property from WF2 – Waterfront 2 to C2-E# - Tourist Commercial Exception to permit a Tourist Establishment with 6 Rental Cottages each with a maximum gross floor area of 100 square metres.

The Application Package contains the following documents:

1. Completed Application to Amend the Zoning By-law
2. Completed Application for Site Plan Approval with a Site Plan Sketch

3. Planning Rationale Report with the following Appendices:

Appendix 1 – Parcel Register and Appointment Letter

Appendix 2 – Property Maps and Imagery

Appendix 3 – Email Correspondence with NBMCA – Grey Water Pits

Appendix 4 – Email Correspondence with McKellar Director of Operations

Appendix 5 – Preliminary Natural Heritage Screening and Impact Assessment

Appendix 6 – Official Plan Schedule A – Sheet 1

Appendix 7 - The Federal Department of Fisheries and Oceans Operational Statement for Constructing Boathouses and Docks

Appendix 8 – Zoning By-law Sheet 1 and Excerpts

Ohad Slama, Owner will call you to arrange a time to sign the applications and the affidavit, and to pay the application fees and deposits as follows:

Zoning By-law Amendment – Fee \$1500 + Deposit \$1000 = \$2500.00

Site Plan Approval – Commercial - Fee \$750 + Deposit \$500 = \$1250.00

Please let me know if you have any questions or require additional information.

We look forward to receiving confirmation that the applications have been deemed complete.

Kind regards,
Karen Beauchamp, MCIP, RPP

APPLICATION TO AMEND

OFFICIAL PLAN

ZONING BY-LAW

1. Applicant Information		
1.1 Name of Applicant: Ohad Slama Address: 154 Centre Road McKellar, ON P2A 0B4	Telephone Number: N/A	Cell Phone: (647) 667-5745
	Fax: N/A	Business Phone: N/A
1.2 Name of Owner(s) (if different from the applicant) Address: Ohad Slama, Eran Gurvich	Telephone Number: N/A	Cell Phone: (647) 667-5745
	Fax: N/A	Business Phone: N/A
1.3 Name of the person who is to be contacted about the application (if different from the applicant) Address: N/A	Telephone Number: N/A	Cell Phone: N/A
	Fax: N/A	Business Phone: N/A
2. Purpose of this Application (check appropriate box and complete applicable sections)		
2.1 Application is hereby made for a(n): <input checked="" type="checkbox"/> OFFICIAL PLAN AMENDMENT <input checked="" type="checkbox"/> ZONING BY-LAW AMENDMENT For the lands hereinafter described and shown on the attached sketch		
What is the existing official plan designation(s) of the subject land? Waterfront, Flood Plain, Environmentally Sensitive, Type 1 Fish Habitat, Deer Wintering Area	What is the existing zoning of the subject land? WF2 – Waterfront 2 EP – Environmental Protection FP – Flood Plain	
What is the proposed amendment to the official plan?	What is the proposed zoning of the subject land? C2 – E(#), Tourist Commercial Exception (#).	
What are the reasons for the proposed change? N/A	What are the reasons for the proposed change? To permit a Tourist Establishment with a maximum of 6 Rental Cottages that have a gross floor area of 100m each.	

3. Location of the Subject Land (complete applicable boxes in 3.1)

3.1 Road: Centre Road
 Address: 154
 Concession Number: 11 Lot Number: 22, 23 (Part) Registered Plan Number:
 Lot(s)/Block(s): ~~62427~~ Reference Plan Number: C-192
 Part Number(s): ~~1,2~~ Island Number: Parcel: ~~0246~~ PIN 52127-0215 LT

3.2 Are there any easements or restrictive covenants affecting the subject land?
 No Yes If YES, describe the easement or covenant and its effect:

4. Description of Subject Land and Servicing Information (Complete each subsection)

4.1	Description	Frontage (m.) 290m+- on Centre Road	Depth (m.) 778m +-	Area (ha.) 48.36 ha (Geowarehouse)
4.2	Buildings or Structure	Type	Existing Size	Proposed Size
(Attach Separate list if necessary) *see last page		House (primary residence)	1275 sqft land / 1952 sqft property tax	N/A
		Barn/Workshop	1656 sqft	N/A
		Stables 1 (South)	1050 sqft	N/A
		Stables 2 (North)	1275 sqft	N/A
4.3	Access	Provincial Highway	Existing	Proposed
(check appropriate space)		Municipal road, maintained all year	✓	N/A
		Other public road	✗	N/A
		Right of way	✗	N/A
		Water access (if so, describe below)	✗	N/A
	Describe in section 7.2, the parking and docking facilities to be used and the approximate distance of these facilities from the subject land and the nearest public road.			
4.4	Water Supply	Publicly owned and operated piped water system	✗	N/A
(check appropriate space)		Privately owned and operated individual well	✗	N/A
		Privately owned and operated communal well	✗	N/A
		Lake or other waterbody	✓	N/A
	4.5	Sewage Disposal	Publicly owned and operated sanitary sewage system	✗
(check appropriate space)		Privately owned and operated individual sewage tank (1)	✓	N/A
		Privately owned and	✗	N/A

	operated communal septic system		
	Privy	x	N/A
	Other means	x	N/A
	A certificate of approval from the Director having jurisdiction under Part VII of the E.P.A. submitted with this application will facilitate the review.		
4.6 Storm Drainage (check appropriate space)	Method of Drainage:		
	Surface	✓	N/A
	Ditching	x	N/A
	Piping	x	N/A
4.7 Other Services (check appropriate space)	Electricity	✓	N/A
	School Busing	x	N/A
	Garage Collection	x	N/A
4.8	If access to the subject land is by private road, or if "other public road" or "right-of-way" was indicated in section 4.3, indicate who owns the land or road, who is responsible for its maintenance and whether it is maintained seasonally or all year.		
	N/A		
5. Lands			
5.1	What are the existing uses on the subject land? Residential	Date use Established: Unknown	
	What are the proposed uses on the subject land? Residential, Tourist Establishment, 6 Rental Cottages	Proposed Commencement Date: Summer 2022	
5.2	Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.		
	Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (include approx.. distance)
	An agricultural operation, including livestock facility or stockyard	x	x
	A landfill	x	x
	A sewage treatment plant or waste stabilization plant	x	x
	A Provincially significant wetland (Class 1, 2 or 3 wetland)	x	x
	A Provincially significant wetland within 120 metres of subject land	x	x
	Flood plain	✓	x
	A rehabilitated mine site	x	x
	A non-operating mine site within 1 km of the subject land	x	x
	An active mine site	x	x
	An industrial or commercial use, and specify the use(s)	x	x
	An active railway line	x	x
	A Municipal or Federal airport	x	x
	6. Current Applications		

APPLICATION FOR ZONING AMENDMENT

6.1	<p>Is the subject land currently the subject of an application for a minor variance, consent or approval of a plan of subdivision?</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown If YES and if KNOWN, specify the appropriate file number and status of the application.</p>
6.2	<p>Has the land ever been the subject of an Official Plan Amendment or Zoning By-Law Amendment?</p> <p><input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown, if YES and if KNOWN, specify the number for the amendment.</p>
7. Other Information	
7.1	<p>When was the subject land acquired by the current owners?</p> <p>May 17, 2019</p>
7.2	<p>If there is any other information that you think maybe useful to the Township or other agencies in reviewing this application? If so, explain below or attach a separate page.</p> <p>Please see Planning Rationale Report</p>
8. Plans	
8.1	<p>Key Plan</p> <p>Every application shall be accompanied by a key plan, drawn to an appropriate scale, properly dimensioned and showing thereon:</p> <ul style="list-style-type: none"> • The boundaries and dimensions of the parcel of land that is the subject of the application, the part of the parcel that is the subject of this application, the location of all adjacent properties and/or islands, transportation routes, etc; • The distance between the subject land and the nearest township lot line or landmark, such as a railway crossing or bridge; • All lands within 120 metres (400 feet) of subject lands; • The nearest highway or township road
8.2	<p>Property Sketch</p> <p>Every application shall be accompanied by a sketch (based on a boundary survey plan of the subject land prepared by an Ontario Land Surveyor) drawn to an appropriate scale, properly dimensioned and showing thereon;</p> <ul style="list-style-type: none"> • The boundaries and dimensions of the subject land and the part that is the subject of this application; • The boundaries and dimensions of any land owned by the owner of the subject land and that abuts the subject land; • The location and dimensions of existing and proposed buildings and structures and their distance from lot lines; • The location of land previously severed from the parcel originally acquired by the current owner of the subject land; • The approximate location of all natural and artificial features on the subject land and adjacent lands that in the opinion of the applicant may affect the application, such as railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks, landscaped open spaces, planting strips, parking areas, loading areas, driveways and walkways; • The existing use(s);

Section 4.2 Continued

Full list of existing buildings and structures on lots:

4.2 Buildings or Structure	Type Ohad Slama	Existing Size	Proposed Size
	House (primary residence)	1275 sqft land / 1952 sqft property tax	N/A
	Barn/Workshop	1656 sqft	N/A
	Stables 1 (South)	1050 sqft	N/A
	Stables 2 (North)	1275 sqft	N/A
	Greenhouse	256 sqft	N/A
	Chicken Coop	223 sqft	N/A
	Pumphouse	55 sqft	N/A
	Bunkie	100 sqft	N/A
	Furnace	101 sqft	N/A

- Use on adjacent lands
- The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a publicly travelled road, a private road right-of-way;
- If access to the subject land is by water only, the location of the parking and boat docking facilities uses;
- The location and nature of any easement affecting the subject land

Additional Information, including architectural drawings and elevations, shall be furnished by the applicant at the request of the Township.

9. Affidavit/Sworn Declaration

9.1 The contents of the application and appendices shall be validated by the Applicant (or authorized agent) in the form of the following Affidavit/Sworn Declaration before a Commissioner or other person empowered to take Affidavits.

Dated at the Township of McKellar this _____ day of June 20 22

I, Ohad Slama of the Township of McKellar in the County/District/Regional Municipality of Parry Sound solemnly declare that all the statements contained in this application are true, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the **CANADA EVIDENCE ACT**,
 DECLARED BEFORE ME at the Township of McKellar in the District of Parry Sound this _____ day of June 20 22.

A Commissioner of Oaths

Signature of Applicant or Agent

10. Authorizations

10.1 If the Applicant is not the owner of the land that is the subject of this application, the written authorization of the owner that the applicant is authorized to make the application must be included with this form or authorization set out below must be completed.

Authorization of Owner for Agent to Make the Application

I, _____, am the owner of the land that is the subject of this application for an Official plan Amendment and/or Zoning By-law Amendment and I authorize _____ to make this application on my behalf.

Date: _____ **Signature of Owner:** _____

10.2 If the applicant is not the owner of the land that is the subject of this application, complete the authorization of the owner concerning personal information set out below.

Authorization of Owner for Agent to Provide Personal Information

I, _____, am the owner of the land that is the subject of this application for an Official Plan Amendment and/or Zoning By-law Amendment and for the purposes of the Freedom of Information Act, I authorize _____, as my agent for this application, to provide any of my personal information that will be included in this application or collected during the processing of the application.

Date: _____ Signature of Owner: _____

11. Consent of the Owner (this section must be completed for the application to be processed)

11.1 Complete the consent of the owner concerning personal information set out below.

Consent of the Owner to the Use and Disclosure of Personal Information

I, Ohad Slama, am the owner of the land that is the subject of this application and for the purpose of the Freedom of Information and Protection of Privacy Act, I authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the Planning Act for the purposes of processing this application.

Questions about this collection of personal information should be directed to the Township Clerk.

Date: _____ Signature of Owner: _____

12. Payment of Fees (this section must be completed for the application to be processed)

12.1 Complete the consent of the owner concerning payment of fees set out below.

As of the date of this application, I hereby agree to pay for and bear the entire cost and expense for any engineering, legal, landscape architectural and/or external planning consulting expenses incurred by the Township of McKellar during the processing of this application, in addition to any application fee set by the Township of McKellar.

Date: _____ Signature of Owner: _____

13. Ontario Municipal Board Hearing Costs (this section must be completed for the application to be processed)

13.1 Complete the consent of the owner concerning Ontario Municipal Board Hearing costs set out below.

The registered owner hereby acknowledges and agrees to pay all costs incurred by the Township of McKellar related to an appeal in the event that this application is approved and the matter comes before the Ontario Municipal Board.

Date: _____ Signature of Owner: _____

Updated January 10, 2022



Township of McKellar

701 Hwy #124, P.O. Box 69, McKellar, Ontario POG 1C0

Phone: (705) 389-2842

Fax: (705) 389-1244

APPLICATION FOR SITE PLAN APPROVAL

1. Registered Owner(s)

- a. Name: Ohad Slama and Eran Gurvich
- b. Address: 154 Centre Road, McKellar ON P2A 0B4
- c. Telephone: 647 667 5745

2. Agent (if applicable)

- a. Name: Karen Beauchamp, MCIP, RPP Clearwater Planning Inc.
- b. Address: 123 East Waseosa Lake Road, Huntsville ON P1H 2J4
- c. Telephone: 705 358 9941

Please specify to whom all correspondence should be sent:

Owner

Agent

3. Legal description of Property:

Lot Number Part 22 and 23 Concession 11 Civic Address 154 Centre Road
Registered Plan Number (in any) _____ Lot Number _____
Reference Plan Number (if any) _____ Part Number _____

4. Land Use

Existing Residential
Proposed Tourist Commercial Exception (#)

5. Property Characteristics

Lot Frontage: Water 860m +- Road 285m +-
Lot Area: 48.36 ha Average Depth _____

6. Description of Proposal (site plan to be prepared in duplicate)

To outline a building envelope for development of a Tourist Establishment with 6 rental cottages.

7. Dimensions of proposed structure(s) (including height)

Maximum 6 rental cottages with maximum 100 square metres of gross floor area and maximum 12m height.

8. I hereby apply for Approval of the Attached Site Plan and declare that the statements made in the application and the information contained in the accompanying plans are true.

Date

Owner's/Agent's Signature

Fees: **Residential \$300.00**
 Commercial \$750.00
 Deposit \$500.00

Deposit to be placed with the municipality from which planning, legal, professional and other administrative costs may be deducted and the balance of the deposit refunded, or, if the costs exceed the deposit, a further deposit shall be required. (Personal information contained on this form is collected under the authority of the Planning Act, Section 40, and will be used to determine the eligibility of the proposed site plan.)

FOR OFFICE USE ONLY

SITE PLAN APPLICATION #: _____ ROLL NUMBER: _____

DEPOSIT RECEIVED: _____ APPROVED: _____

AGREEMENT EXECUTED: _____ DATE: _____



7.5m Rear Yard Setback



Building Envelope

3m Side Yard Setback



10m Front Yard Setback



Building Envelope

3m Side Yard Setback



Centre Rd

Centre Rd

Middle River

Centre Rd



Artist: Hugh McKenzie, Temagami

**Planning Rationale Report
Zoning By-law Amendment
154 Centre Road, McKellar Township
June 25, 2022**

A. Introduction

Karen Beauchamp, Clearwater Planning Inc. has been retained by the owners, Ohad Slama and Eran Gurvich, to apply for a Zoning By-law Amendment for their property at 154 Centre Road, McKellar Township.

(Parcel Register and Appointment Letter are attached as **Appendix 1**).

An application to re-zone the property from WF-2 (Waterfront 2) to Tourist Commercial Exception (#) (C2-E (#)) was submitted with this Report. An application for a Site Plan Control Agreement was also submitted concurrently with the Zoning By-law Amendment application.

On May 29, 2022, an Early Consultation Meeting was held on site at 154 Centre Road. Ohad Slama and Karen Beauchamp met with the Township's Planning Consultant, Ted Davidson to discuss the proposal and how it relates to the Township's Official Plan and Zoning By-law.

The purpose of this report is to demonstrate how this proposal to re-zone the property

1. Does not conflict with the Growth Plan for Northern Ontario
2. Is consistent with the Provincial Policy Statement
3. Meets the general intent and purpose of the Official Plan.
4. Is appropriate for the development of this property
5. Represents good planning

The report will provide information for Council to make an informed decision regarding the Zoning By-law Amendment.

B. Site Context

Legal Description: PIN 52127-0215 Part Lots 22 and 23, Concession 11, McKellar as in RO136097; Save and except Parts 1 & 2 Plan 42R-1351; Township of McKellar.

Roll Numbers: 4928 000 002 46000 and 4928 000 002 46100

154 Centre Road is approximately 2 kilometres east of the Village just west of the Centre Road Bridge. Ohad Slama and Eran Gurvich purchased the property on May 17, 2019. All the buildings are concentrated on the south part of the property close to the road. The north part of the property is heavily forested. The following is a list of buildings:

4.2 Buildings or Structure	Type	Existing Size	
	House (primary residence)	1275 sq. ft. land / 1952 sq. ft. property tax	
	Barn/Workshop	1656 sq. ft.	
	Stables 1 (South)	1050 sq. ft.	
	Stables 2 (North)	1275 sq. ft.	
	Greenhouse	256 sq. ft.	
	Chicken Coop	223 sq. ft.	
	Pumphouse	55 sq. ft.	
	Bunkie	100 sq. ft.	
	Furnace	101 sq. ft.	

There are also 4 private ponds on the property that a previous owner built. The first pond is spring-fed and the water runs from there to the rest of the ponds because of the

topography. The first pond is connected to the second by a creek, the second one is connected to the third by a small waterfall, the third is connected to the fourth by a culvert. The ponds range in size from 0.09 ha to 1.15ha. The property was previously used as a farm with small pastures, and for raising trout in the ponds.

The property is 48 ha in area with 290 m frontage on Centre Road and over 800 m frontage on the Middle River which connects Moffat Lake (upstream) to Lake Manitouwabing (downstream). There is access by kayak or canoe down the Middle River, under the Veterans' Memorial Bridge and into Lake Manitouwabing.

The topography is hills and valleys, wetlands, watercourses, bedrock, and clay soils. There is an intermittent creek running east and west across the property and the Middle River is on the eastern boundary. The Official Plan identifies several areas along the creek and the Middle River that are designated Flood Plain, Environmentally Sensitive, and Type 1 Fish Habitat. The property is also within the Deer Wintering Area.

Surrounding land uses are as follows:

North – Rural Residential and Vacant Land

South – Centre Road, Rural Residential

East – Middle River, Rural Residential, Vacant Land

West – Rural Residential and Vacant Land

(Property Maps and Imagery are attached as [Appendix 2](#))

C. Description of the Proposal

The owners purchased the property in May 2019 and have been living in it full time since April 2020. Having moved in search of more nature, space, and peace, they fell in love with all McKellar has to offer. Having family and friends visit them over the last couple of years, they realized an opportunity to share the experience of living in McKellar by offering accommodations to visitors – both family, friends and beyond.

The owners' intention is for the development to be minimal impact, with an environment-first philosophy. Their goal is to create a viable new business that will preserve the natural and physical environments, while allowing visitors to rent the cabins and experience the wonders of McKellar's nature.

The owners wish to re-zone the property from WF-2 Waterfront 2 to C2-E (#) Tourist Commercial Exception (#) to allow a tourist establishment with 6 rental cottages. The rental cottages will be 100 sq. m or less in area and will be dispersed throughout the property, some fronting on the private ponds and some fronting on the Middle River. All the rental cottages will have a kitchen, bathroom, living area, and sleeping areas. Each cottage will have a maximum of 3 bedrooms to sleep 6 people.

The owners would like to provide a variety of accommodation and experiences for their guests. The rental cottages will be a combination of wood framed buildings, and other structures such as yurts and geodesic domes, which meet the Ontario Building Code. Some will have hydro service and others will be solar powered. They will have approved sewage disposal systems in the form of incinerating toilets and grey water pits. The cottages will be supplied with potable water. Some of the cottages will front on the private ponds and others will front on the Middle River and may have floating docks for lounging, swimming, canoeing, and kayaking.

D. Policy and Planning Analysis

1. Northern Ontario Growth Plan

Section 2 of the Northern Ontario Growth Plan supports expanding and diversifying Northern Ontario's tourism offerings and encourages new flexible and high-quality tourism products for domestic and international visitors.

The proposed re-zoning to permit a tourist establishment and rental cottages is supported by the Northern Ontario Growth Plan and does not conflict with any of the policies.

Excerpts from Northern Ontario Growth Plan:

2.2.2 *The Province will focus economic development strategies on the following existing and emerging priority economic sectors and the distinct competitive advantages that Northern Ontario can offer within these sectors:*

i. tourism

2.3.10 *Tourism*

1. *Efforts by the Province, industry and, where appropriate, other partners, to grow and diversify the tourism sector should include:*

a. encouraging regional co-operation to expand and diversify Northern Ontario's tourism offerings and increase tourism visitation and receipts

c. encouraging new, flexible, and high-quality tourism products for domestic and international visitors

e. linking Northern Ontario tourism to provincial and national marketing campaigns and promoting the uniqueness of the Northern Ontario experience.

2. Provincial Policy Statement

The subject lands are considered as Rural Lands under the Provincial Policy Statement 2020 (PPS).

Section 1.1.5 supports the proposed re-zoning to permit a Tourist Establishment and Rental Cottages as shown by the highlighted sections from the PPS below. The Tourist Establishment is considered a resource based recreational use. Recreational, tourism, and other economic opportunities should be promoted. The Tourist Establishment is in a rural area and compatible with the rural landscape. The development is appropriate to the infrastructure which is planned and there is no need to expand the infrastructure to this property. The re-zoning proposes 6 rental cottages on 48 ha of land.

Each rental cottage will have an approved sewage disposal system in the form of a grey water pit for the kitchen sink, bathroom sink and shower, and an incinerating toilet. Ohad Slama contacted the North Bay Mattawa Conservation Authority (NBMCA) and Robin Allen, Manager of On-site Sewage System Program, confirmed that an approved grey

water pit for each rental cottage would be an option assuming all code requirements can be met. The Owner will apply for a sewage system permit concurrently with a building permit application for each rental cottage.

(Email correspondence with NBMCA regarding Grey Water Pits is attached as **Appendix 3**.)

Each rental cottage will be supplied with potable water. Ohad Slama inquired with the North Bay Parry Sound District Health Unit, and they advised that in order to supply water to the public, the Owner will be required to give Notice to Operate a Small Drinking Water System, once they are ready to start operating.

Information regarding a Small Drinking Water System is available at:

<https://www.myhealthunit.ca/en/health-topics/drinking-water.asp>

The form for giving Notice to Operate or Reopen a Small Drinking Water System is available at:

<https://www.myhealthunit.ca/en/public-health-services/resources/Drinking-water-testing/EH---Notice-to-Operate-or-Reopen-A-SDWS.pdf>

The rental cottages close to the main dwelling may have electrical service extended to them. The Owner will obtain a permit from the Electrical Safety Authority and hire a qualified electrical contractor for this work. The other cottages will be off-grid and powered by solar.

The Tourist Establishment will use the existing driveway off Centre Road. The Owner inquired with Greg Gostick, Director of Operations for the Township of McKellar who advised that the existing driveway may require some upgrading for the new Tourist Establishment. The Owner is in discussions with the Director of Operations regarding the extent of the work that may be required.

(Email Correspondence with Director of Operations is attached as **Appendix 4**)

Section 2 of the PPS has policies related to protecting Natural Heritage Features. Fri Ecological Services prepared a "Preliminary Natural Heritage Feature Screening and Impact Assessment." Their study looked assessed habitat of Endangered and Threatened Species, Significant Wetlands and Other Wetlands, Significant Wildlife Habitat, and Fish Habitat.

The report provides recommendations for mitigation measures such as, 30m setback from Type 1 Fish Habitat with a naturally vegetated buffer retained, all development shall be set back 30m from wetlands on and adjacent to the subject property, no development or site alteration occur within the wetlands. These mitigation measures will be incorporated into the Zoning By-law Amendment and the Site Plan Control Agreement as appropriate.

Section 3 of the PPS has polices related to protecting development from Natural Hazards such as Flood Plains. There is an area identified as Flood Plain on the property. All development will be required to be a minimum of 30m from the Flood Plain area.

By including the mitigation measures recommended in Fri Ecological Services report, "Preliminary Natural Heritage Screening and Impact Assessment" in the Zoning By-law Amendment and Site Plan Control Agreement, the re-zoning will be consistent with the Provincial Policy Statement.

A copy of the "Preliminary Natural Heritage Screening and Impact Assessment" is attached as **Appendix 5**.

Excerpts from Provincial Policy Statement:

1.1.5 Rural Lands in Municipalities

1.1.5.1 When directing development on rural lands, a planning authority shall apply the relevant policies of Section 1: Building Strong Healthy Communities, as well as the policies of Section 2: Wise Use and Management of Resources and Section 3: Protecting Public Health and Safety.

1.1.5.2 On rural lands located in municipalities, permitted uses are:

a) the management or use of resources;

b) resource-based recreational uses (including recreational dwellings);

c) residential development, including lot creation, that is locally appropriate;

d) agricultural uses, agriculture-related uses, on-farm diversified uses and normal farm practices, in accordance with provincial standards;

e) home occupations and home industries;

f) cemeteries; and

g) other rural land uses.

1.1.5.3 Recreational, tourism and other economic opportunities should be promoted.

1.1.5.4 Development that is compatible with the rural landscape and can be sustained by rural service levels should be promoted.

1.1.5.5 Development shall be appropriate to the infrastructure which is planned or available, and avoid the need for the unjustified and/or uneconomical expansion of this infrastructure.

1.1.5.6 Opportunities should be retained to locate new or expanding land uses that require separation from other uses.

1.1.5.7 Opportunities to support a diversified rural economy should be promoted by protecting agricultural and other resource-related uses and directing non-related development to areas where it will minimize constraints on these uses.

2.0 Wise Use and Management of Resources Ontario's long-term prosperity, environmental health, and social well-being depend on conserving biodiversity, protecting the health of the Great Lakes, and protecting natural heritage, water, agricultural, mineral, and cultural heritage and archaeological resources for their economic, environmental and social benefits. Accordingly:

2.1 Natural Heritage

2.1.1 Natural features and areas shall be protected for the long term.

2.1.2 The diversity and connectivity of natural features in an area, and the long-term ecological function and biodiversity of natural heritage systems, should be maintained, restored or, where possible, improved, recognizing linkages between and among natural heritage features and areas, surface water features and ground water features.

2.1.4 Development and site alteration shall not be permitted in: a) significant wetlands in Ecoregions 5E, 6E and 7E1; and

2.1.6 Development and site alteration shall not be permitted in fish habitat except in accordance with provincial and federal requirements.

2.1.7 Development and site alteration shall not be permitted in habitat of endangered species and threatened species, except in accordance with provincial and federal requirements.

2.1.8 Development and site alteration shall not be permitted on adjacent lands to the natural heritage features and areas identified in policies 2.1.4, 2.1.5, and 2.1.6 unless the ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological functions.

3.1 Natural Hazards

3.1.1 Development shall generally be directed, in accordance with guidance developed by the Province (as amended from time to time), to areas outside of: a) hazardous lands adjacent to the shorelines of the Great Lakes - St. Lawrence River System and large inland lakes which are impacted by flooding hazards, erosion hazards and/or dynamic beach hazards;

b) hazardous lands adjacent to river, stream and small inland lake systems which are impacted by flooding hazards and/or erosion hazards; and

c) hazardous sites.

4. Township of McKellar Official Plan

The property is designated Waterfront in the Township of McKellar Official Plan. Parts of the property are also designated Flood Plain, Environmentally Sensitive, Type 1 Fish Habitat, and the property is within the Deer Wintering Area.

Official Plan Schedule A is attached as Appendix 6.

The Official Plan Principles, Goals and Objectives in the Waterfront Designation support new development, provided that the environment and natural heritage features are protected, and the character of the shoreline is preserved.

Many of the Official Plan Policies mirror the Provincial Policy Statement Policies regarding protection of the natural environment.

The Owners are proposing to locate the rental cottages in areas that are already cleared of trees so that minimal tree cutting, or vegetation removal is required.

Fri Environmental Services prepared a "Preliminary Natural Heritage Feature Screening and Impact Assessment" Report for the property. The recommendations in the report will be included in the Zoning By-law Amendment and Site Plan Control Agreement.

Official Plan Section 7.01.5, Basis for Waterfront Policies, states that, *"Much of the appeal of the Waterfront lands is directly related to the quality of the environment and natural heritage features. This shift in policy will place an "environment first" philosophy on new development and/or redevelopment within the Waterfront in order to preserve this resource."*

Section 7.03 Principles, includes Tourist Commercial Uses as a permitted use in the Waterfront Designation and states that, *"The use of the Waterfront is predominantly seasonal residences, year round homes with some commercial and tourist commercial uses and pasture land interspersed with the shoreline residential uses; Care must be taken to ensure the protection of the (waterfront) resources when considering new development; An important principle in the Waterfront area is the preservation of the character of the shoreline;*

Section 7.04 Goals, states, *"The goal for the Waterfront designation is to provide for viable new development ... that will preserve the natural and physical environments of the recreational waterbodies."*

Section 7.05 Objectives, states, *"Maintaining, protecting and improving the natural environments in and adjacent to the recreational waterbodies; Ensuring that new development ... is compatible with the physical and social environments; Allowing for additional new growth along the Waterfront which is determined to be appropriate and sustainable in accordance with the policies of this Plan; Ensuring that new development .. is consistent with Provincial Policies and applicable legislation of senior governments; Ensuring that new development ...recognizes a balance between maintaining natural shoreline features and built form; Preserving a natural vegetative area adjacent to the Waterfront to maintain continuity in the habitat features intrinsic to this area.*

7.11.1, Water Quality, states, *"Preserving the water quality of the Township of McKellar's recreational waterbodies is a high priority for the Township."*

A Natural Heritage Evaluation was undertaken for this property. In the Official Plan, Section 7.21.5 Natural Heritage Evaluation, it states, *"A natural heritage evaluation, if requested, will demonstrate to Council's satisfaction that a proposed residential development; and/or new development and/or redevelopment of existing tourist commercial establishment uses that go beyond those existing tourist commercial establishment uses and their identified permitted as-of-right uses, and existing special provisions permitting uses of a tourist commercial nature, along with their permitted as-of-right uses, zoned in By-law 95-12, as amended, and*

proposed by way of an amendment to the zoning by-law; will have no negative impacts on the significant natural heritage feature or on the ecological functions for which the feature has been identified.

Section 5.8 Municipal Roads requires the new development to be accessed from a "municipally owned and maintained year-round road" that is "capable of handling the additional traffic" and where there are adequate sight lines. The Owner inquired with Greg Gostick, Director of Operations for the Township of McKellar who advised that the existing driveway may require some upgrading for the new Tourist Establishment. The Owner is in discussions with the Director of Operations regarding the extent of the work that may be needed.

Email correspondence is attached as **Appendix 4**.

As part of the Tourist Establishment, the Owners propose to place floating docks close to the rental cottages so that the guests can enjoy lounging, swimming, kayaking, and canoeing on the ponds and on the Middle River.

The "Preliminary Natural Heritage Feature Screening and Impact Assessment" confirms that the floating docks proposed on the private ponds do not require a review by the Federal Department of Fisheries and Oceans.

"Projects near water that do not require a review by DFO include artificial waterbodies that aren't connected to a waterbody that contains fish at any time during any given year, including, but not limited to, private ponds. Development in or adjacent to the property's private, dug ponds will not negatively impact fish or fish habitat where there are no hydrologic connections to the surrounding areas of confirmed fish habitat".

The Official Plan designates parts of the Middle River as Type 1 Fish Habitat and requires that any dock will be consistent with the Federal Department of Fisheries and Oceans (DFO) Operational Statement for Constructing Boathouses and Docks.

Official Plan - Section 7.12.3.2 Type 1 fish habitat areas may be placed in a non-development zone in the implementing zoning by-law. Any dock and boathouse development will be consistent with the federal Department of Fisheries and Oceans Operational Statement for Constructing Boathouses and Docks.

The Federal Department of Fisheries and Oceans Operational Statement for Constructing Boathouses and Docks is attached as Appendix 7.

The Owner will ensure that the docks proposed for the Middle River meet the Operational Statement in order to protect the known fish and fish habitat.

4. Zoning By-law Amendment

The property is zoned WF2 – Waterfront 2. Parts of the property are also zoned EP- Environmental Protection and FP- Flood Plain.

The Owner is proposing to re-zone the property from WF-2 Waterfront 2 to C2E(#) – Tourist Commercial Exception (#). The EP-Environmental Protection and FP – Flood Plain zones will remain in place.

Zoning By-law Sheet 1 and Zoning Excerpts are attached as Appendix 8.

The Tourist Commercial Zone permits a wide range of uses. The Exception is to limit the density of development to a single detached dwelling, home occupation, home industry, a maximum of 6 Rental Cottages with a maximum gross floor area of 100 sq. m. each, and a Tourist Establishment.

Rental Cottage is defined as:

Cottage, Rental means a tourist establishment that has a **building** to accommodate one or more guests that:

- a) contains at least two rooms; and,
- b) that may or may not contain facilities for guests to prepare and cook food.

Gross Floor Area is defined as:

2.57 ***Floor Area, Gross:*** means the sum total of the gross horizontal areas of all storeys of all buildings excluding attics and basements when used solely for the purpose of

storage.

Tourist Establishment is defined as:

2.142 ***Tourist Establishment:*** includes buildings, structures or uses operated to provide sleeping accommodation for the travelling public or sleeping accommodation for the use of the public engaging in recreational activities, and includes the services and facilities in connection with which sleeping accommodation is provided, and includes lodges, rental cottages, trailer parks, a camping establishment, a hotel, a motel, and other similar uses, as defined in this By-law, as amended, for the Township of McKellar, but does not include fractional development project use, condominium use, and other similar uses, as defined in this By-law, as amended, for the Township of McKellar.

The property meets all the zoning provisions of the C2 – Tourist Commercial Zone (Schedule B and Section 3.43) as follows:

C2 – Tourist Commercial Zoning Provisions

Zoning Section	Zoning Provision	Subject Land C2-E	Complies
SEC 9 – TOURIST COMMERCIAL (C2) ZONE			
9.01 Uses Permitted			
a) Residential Uses			
	A Dwelling unit or units	A Dwelling Unit	Yes
	Home Occupation	Home Occupation	Yes
	Home Industry	Home Industry	Yes
	Mobile Home	N/A	
b) Commercial Uses	A lodge	N/A	
	Rental Cottages	Maximum 6 Rental Cottages	Yes
	Tourist Establishment	Tourist Establishment	Yes
	Trailer Park	N/A	
	Hotel/ Motel	N/A	
	Restaurant	N/A	
	Parking Area	N/A	
	Camping Establishment	N/A	
	Convenience Store	N/A	

SCHEDULE B			
9. TOURIST COMMERCIAL			
MINIMUM LOT REQUIREMENTS			
Frontage	60 m	290m +-	Yes
Area (Sec 3.43 of By-law) ¹	2 ha	48.36 ha	Yes
Depth	60 m	778 m +-	
Maximum Lot Coverage ²	15 % =7.2 ha	< 7.2ha	Yes
Maximum Gross Floor Area ³	20% = 9.6 ha	<9.6ha	Yes
Maximum Gross Floor Area for a Rental Cottage	N/A	100 sq. m.	
MINIMUM YARDS			
Front	10 m	10 m	Yes
Interior Side	3 m	3 m	Yes
Rear	7.5 m	7.5 m	Yes
MINIMUM BUILDING AREAS			
	N/A	N/A	N/A
MAXIMUM HEIGHT			
	12 m	12 m	Yes
ACCESSORY BUILDINGS/STRUCTURES			
Yard Setback	3 m	>3m	Yes
Height	6m	<6m	Yes
3.43 TOURIST ESTABLISHMENT REGULATIONS			
(a) Waterbody Size not less than 19 ha	19 ha or >	Middle River >19 ha	Yes
(b) Minimum frontage on navigable water ⁴	100 m	800 m +-	Yes
(c) Minimum Lot Size	2 ha	48.36 ha	Yes
(d) Parking ⁵	6 spaces	6 spaces	Yes

Note:

¹ Minimum Lot Size: 2 ha or 1 ha for each 20 persons that may be accommodated or fraction thereof (36 people / 20 = 1.8 = 2 ha (Does not include owners or employees).

² Permitted Lot Coverage: 48 ha x 15% = 7.2 ha

³ Permitted Gross Floor Area: 48 ha x 20% = 9.6 ha

⁴ Minimum frontage on navigable water 100m or (2 m for each person x 36 people = 72m) whichever is greater

⁵ Parking: 1 space for each cottage x 6 cottages = 6 spaces Each parking space required to be 3m x 6m x 6 spaces required = 108 sq. m.

5. Summary

In order to ensure consistency with provincial and municipal policies, the following draft Zoning By-law Amendment and Site Plan Control Agreement clauses are proposed:

a. Draft Zoning By-law

1. Amend Schedule A to remove the WF2 Symbol and put the zoning symbol C2-E (#) in its place. There will be no change to the EP and FP zones on the property.

2. Amend Section 9.01

No person shall with the Tourist Commercial Exception (#) (C2-E (#)) Zone use any lot, or erect, alter or use any building or structure for any purpose except one or more of the following uses:

a) Residential Uses

- a dwelling unit or units in accordance with the provisions of Section 3.11 of this By-law
- a home occupation; or
- a home industry

b) Commercial Uses

- a maximum of 6 rental cottages
- a tourist establishment

3. Amend Schedule B – Section 9. Tourist Commercial Exception (#) (C2-E (#))

All the provisions in Section 9 Tourist Establishment Regulations continue to apply with the addition of the following:

- Maximum Gross Floor Area for a Rental Cottage: 100 square metres

b. Draft Site Plan Control Agreement Clauses:

Fri Environmental Services prepared a "Preliminary Natural Heritage Feature Screening and Impact Assessment" Report for the property. The recommendations in the report should be included Site Plan Control Agreement to ensure protection of the Natural Heritage Features on the property.

1. No Development or Site Alteration within the Wetlands or Type 1 Fish Habitat.
2. All development to be setback a minimum of 30m from wetlands on and adjacent to the subject property.
3. No Development or Site Alteration within 30m of Type 1 Fish Habitat. Natural Vegetated Buffer to be maintained.
4. Where subsurface excavation is proposed for the creation of footings/foundation from June 1 to Oct 15 of any given year, the work area shall be isolated (using sediment fence or equivalent reptile exclusion fencing) prior to June 1st to preclude turtles from entering the active work area.
5. Work sites should be swept for turtles in advance of construction and any individuals found within the work area shall be relocated out of harm's way.
6. Aggregate stockpiles should be isolated on site from June 1 – July 31 using sediment fencing (or similar) immediately to prevent the creation of suitable nest sites.
7. Where minor vegetation removal and grubbing is required, this will take place from November 1 to March 31 of any given year. (Note: Minor vegetation removal is considered to be select clearing of trees smaller than 20 cm diameter at breast height (DBH), shrubs, and herbaceous vegetation only where necessary to accommodate construction and staging of the proposed structures.)
8. No trees greater than 20cm diameter at breast height (DBH) will be removed.
9. No blasting shall be used at any point during construction.

10. The Owner will ensure that the docks proposed for the Middle River will be consistent with the Federal Department of Fisheries and Oceans (DFO) Operational Statement for Constructing Boathouses and Docks.

6. Conclusion:

In my professional planning opinion, with the proposed Zoning By-law Amendment and Site Plan Control Agreement Clauses, the re-zoning of 154 Centre Road from Waterfront 2 (WF2) to Tourist Commercial Exception (#) – (C2-E (#)):

1. Does not Conflict with the Growth Plan for Northern Ontario
2. Is consistent with the Provincial Policy Statement
3. Meets the General Intent and Purpose of the Official Plan
4. Is appropriate for the development of the Property
5. Represents good Planning

Report prepared by:

Karen Beauchamp, MCIP, RPP
Clearwater Planning Inc.

Attachments:

Appendix 1 – Parcel Register and Appointment Letter

Appendix 2 – Property Maps and Imagery

Appendix 3 – Email Correspondence with NBMCA – Grey Water Pits

Appendix 4 – Email Correspondence with McKellar Director of Operations

Appendix 5 – Preliminary Natural Heritage Screening and Impact Assessment

Appendix 6 – Official Plan Schedule A – Sheet 1

Appendix 7 - The Federal Department of Fisheries and Oceans Operational Statement for
Constructing Boathouses and Docks

Appendix 8 – Zoning By-law Sheet 1 and Excerpts



Ontario ServiceOntario

LAND REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND
REGISTRY
OFFICE #42

52127-0215 (LT)

ONLAND

PAGE 1 OF 2
PREPARED FOR Ohad Slama
ON 2021/03/08 AT 12:13:50

PROPERTY DESCRIPTION: PT LT 22-23 CON 11 MCKELLAR AS IN R0136097, SAVE & EXCEPT PARTS 1 & 2, PLAN 42R13751; TOWNSHIP OF MCKELLAR * CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY REMARKS:
ESTATE/QUALIFIER:
FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:
FIRST CONVERSION FROM BOOK

OWNERS' NAMES
GURVICH, ERAN
SLAMA, OHAD

CAPACITY SHARE
TCOM 50
TCOM 50

PIN CREATION DATE:
2009/08/24

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 2009/08/21 **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
**		SUBSECTION 44 (1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *				
**		AND ESCHEATS OR FORFEITURE TO THE CROWN.				
**		THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF				
**		IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY				
**		CONVENTION.				
**		ANY LEASE TO WHICH THE SUBSECTION 70 (2) OF THE REGISTRY ACT APPLIES.				
**DATE OF CONVERSION TO LAND TITLES: 2009/08/24 **						
R042580	1969/06/17	EXLAW				C
R0136097	1991/03/11	TRANSFER	\$170,000		AVERHOFF, PAUL AVERHOFF, HILDEGARD ZSCHOGNER, DIETMAR HAROLD OTTO JOINT TENANT ESTABROOKS, HEATHER ANN JOINT TENANT	C
REMARKS: SKETCH ATTACHED.						
R0211741	2007/11/06	CHARGE		*** COMPLETELY DELETED ***	CANADIAN IMPERIAL BANK OF COMMERCE	
GB55298	2012/06/25	TRANSFER		*** COMPLETELY DELETED *** AVERHOFF, HILDEGARD AVERHOFF, PAUL	ESTABROOKS, HEATHER ANN ZSCHOGNER, DIETMAR HAROLD OTTO	
GB78099	2014/11/18	APL CH NAME OWNER		*** COMPLETELY DELETED *** ESTABROOKS, HEATHER ANN	ZSCHOGNER, HEATHER ANN	

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



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LAND
REGISTRY
OFFICE #42

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

PAGE 2 OF 2
PREPARED FOR Ohad Slama
ON 2021/03/08 AT 12:13:50

ONLAND

52127-0215 (LT)

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
GB78100	2014/11/18	CHARGE		*** COMPLETELY DELETED *** ZSCHOGNER, HEATHER ANN ZSCHOGNER, DIETMAR HAROLD OTTO	CANADIAN IMPERIAL BANK OF COMMERCE	
GB78101	2014/11/18	DISCH OF CHARGE		*** COMPLETELY DELETED *** CANADIAN IMPERIAL BANK OF COMMERCE		
		REMARKS: R0211741.				
GB113715	2018/07/26	LR'S ORDER		LAND REGISTRAR, PARRY SOUND LAND REGISTRY OFFICE		C
		REMARKS: AMEND DESCRIPTION FIELD				
GB121027	2019/05/17	TRANSFER	\$658,000	ZSCHOGNER, DIETMAR HAROLD OTTO ZSCHOGNER, HEATHER ANN	GURVICH, ERAN SLAMA, OHAD	C
		REMARKS: PLANNING ACT STATEMENTS.				
GB121031	2019/05/17	CHARGE	\$526,400	GURVICH, ERAN SLAMA, OHAD	CANADIAN IMPERIAL BANK OF COMMERCE	C
GB122083	2019/06/26	DISCH OF CHARGE		*** COMPLETELY DELETED *** CANADIAN IMPERIAL BANK OF COMMERCE		
		REMARKS: GB78100.				

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NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



Artist: Hugh McKenzie, Temagami

Clearwater Planning Inc.

Karen Beauchamp, MCIP, RPP, CMO

123 East Waseosa Lake Road, Huntsville ON P1H 2J4

Email: karen@clearwaterplanning.ca

Phone: 705 358 9941 (c)

May 19, 2022

McKellar Township and Other Agencies

To whom it may concern:

We appoint Karen Beauchamp, Clearwater Planning to be our agent for Planning Applications related to our property located at 154 Centre Rd, McKellar, ON. Roll No. 4928 000 002 46000 and 46100.

DocuSigned by:
Ohad Slama
0566C1DDC849436...
Ohad Slama

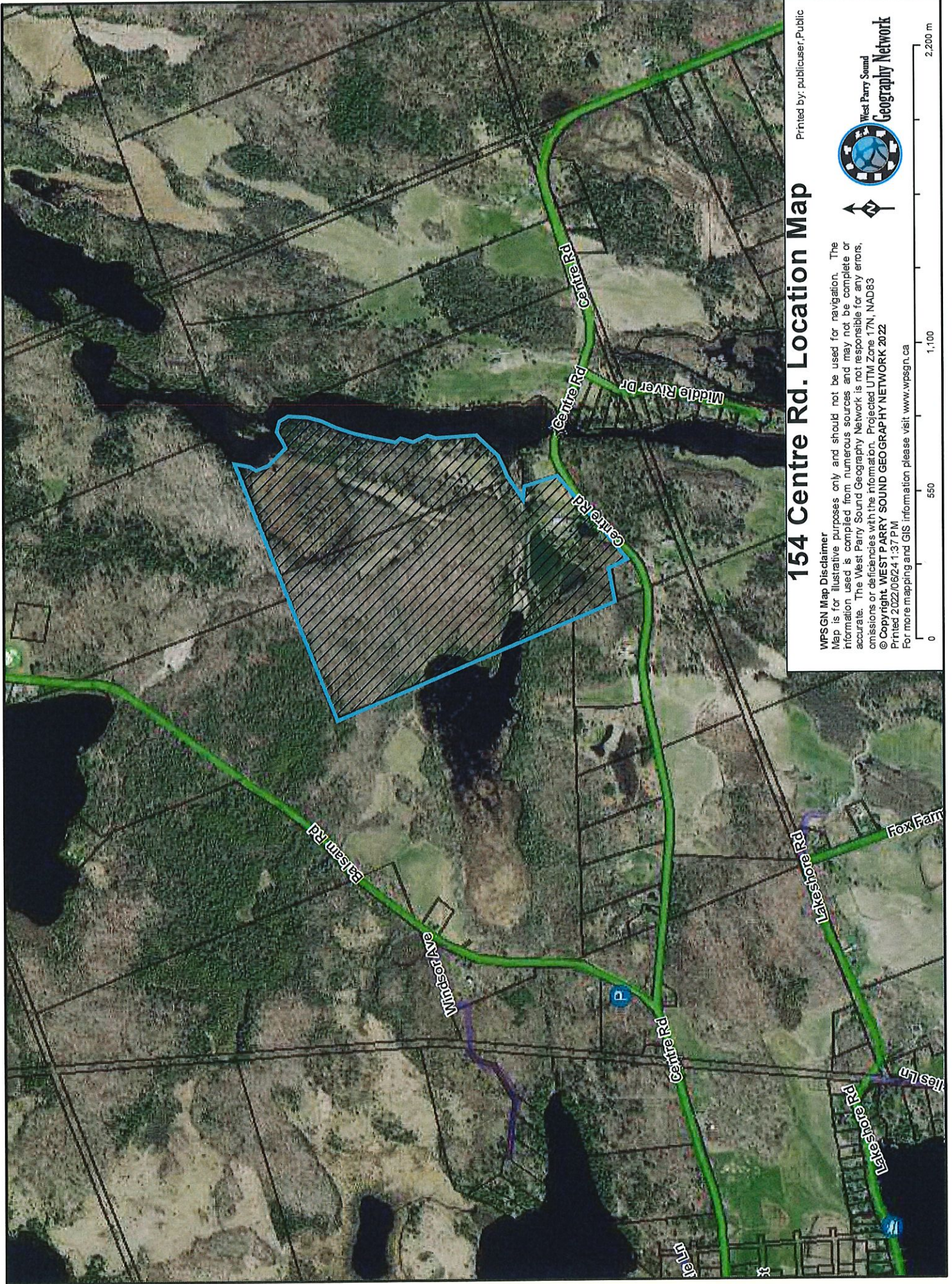
2022-05-27

Date

DocuSigned by:
eran gurvich
B6182F5627D79412...
Eran Gurvich

2022-05-27

Date



154 Centre Rd. Location Map

Printed by: publicuser,Public



WPSGN Map Disclaimer
 Map is for illustrative purposes only and should not be used for navigation. The information used is compiled from numerous sources and may not be complete or accurate. The West Parry Sound Geography Network is not responsible for any errors, omissions or deficiencies with the information. Projected UTM Zone 17N, NAD83
 © Copyright WEST PARRY SOUND GEOGRAPHY NETWORK 2022
 Printed 2022/06/24 1:37 PM
 For more mapping and GIS information please visit www.wpsgn.ca





Centre Rd

Barn / Workshop

Furnace

Greenhouse

House (Primary Residence)

Stables 2 (North)

Stables 1 (South)

Chicken Coop

Pond 1

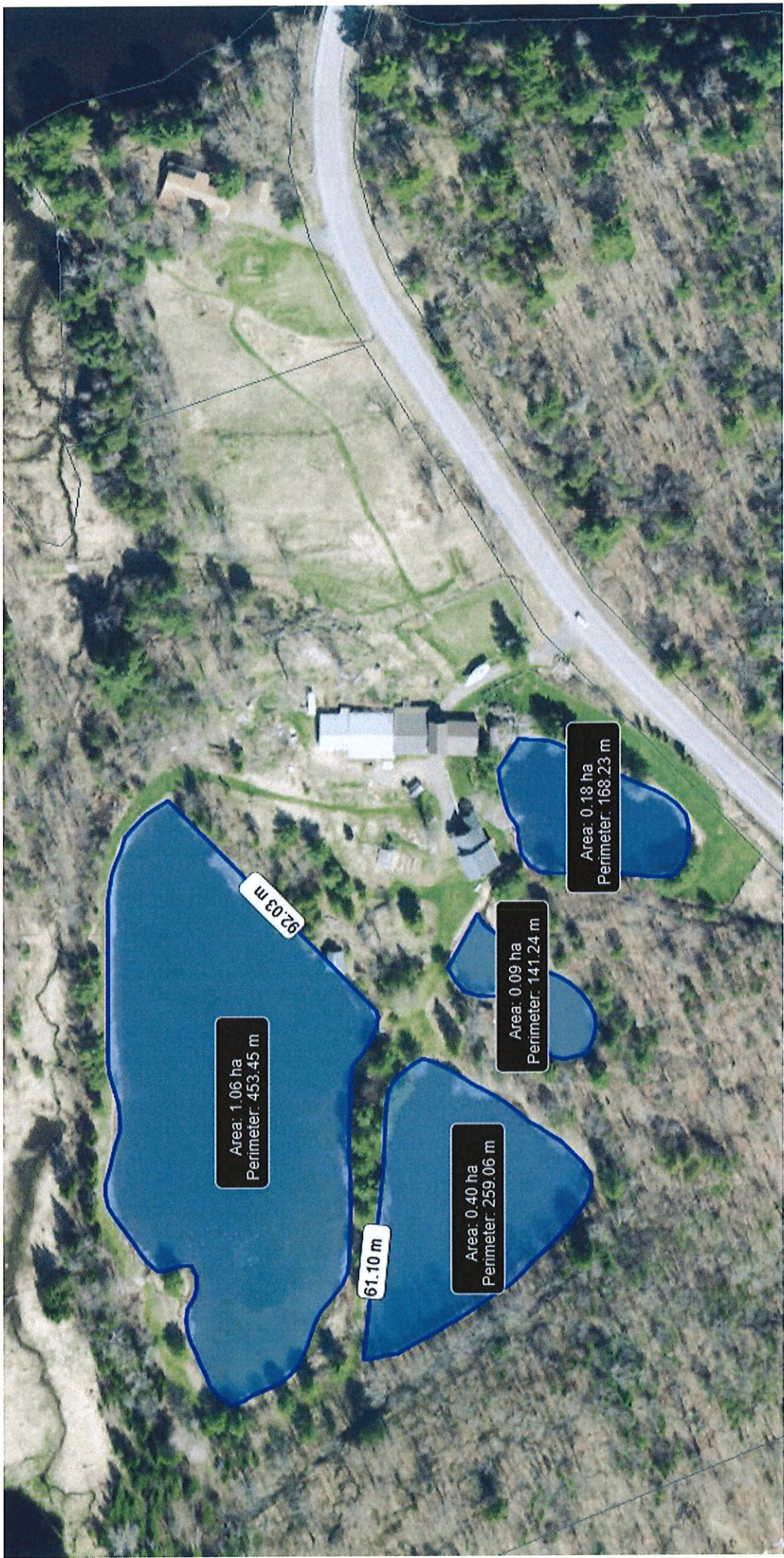
Pond 2

Pond 3

Pond 4

Bunkie

Pumphouse



Area: 1.06 ha
Perimeter: 453.45 m

92.03 m

Area: 0.40 ha
Perimeter: 259.06 m

61.10 m

Area: 0.09 ha
Perimeter: 141.24 m

Area: 0.18 ha
Perimeter: 168.23 m





Middle River

Centre Rd

Centre Rd

Centre Rd

3m Side Yard Setback

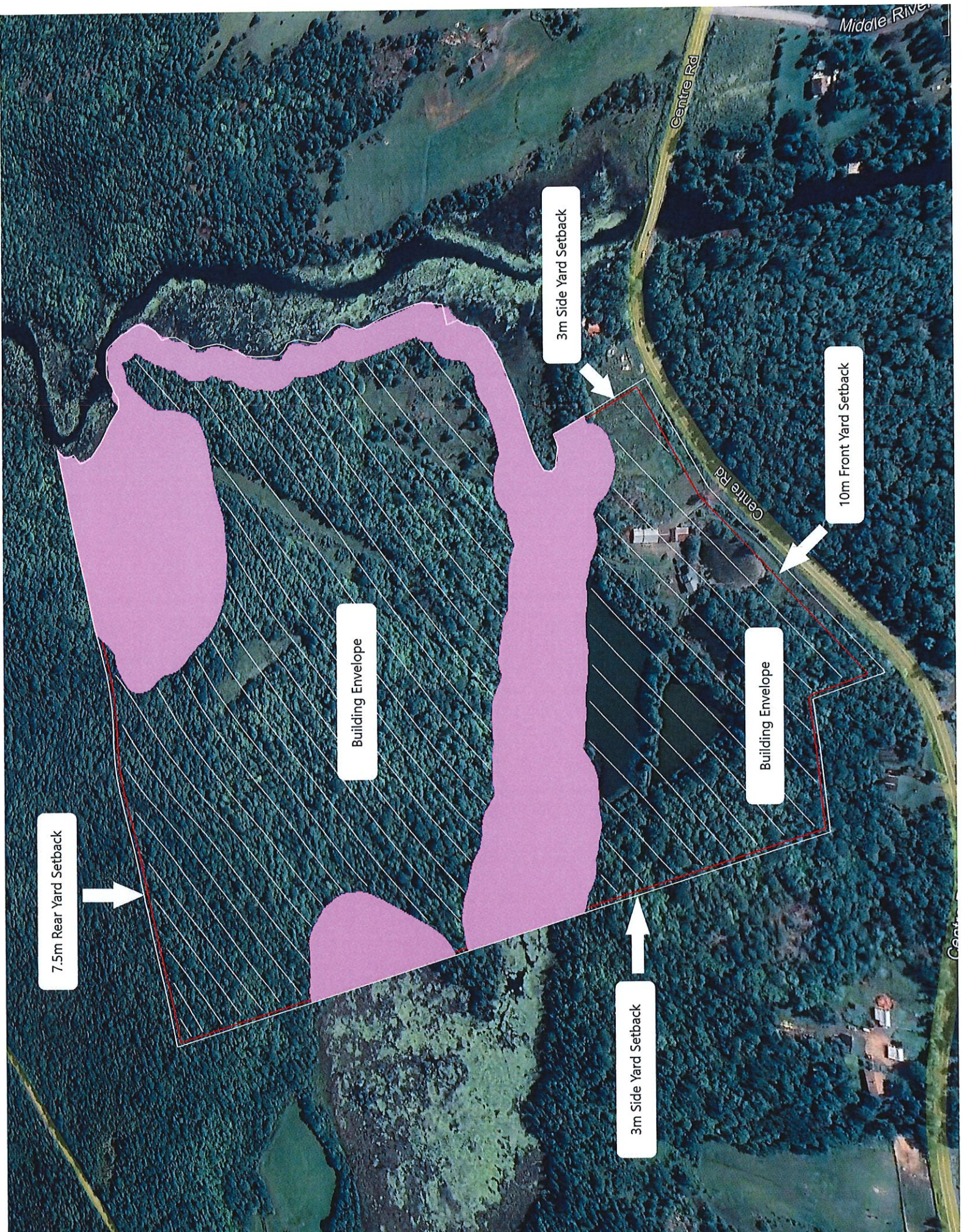
10m Front Yard Setback

Building Envelope

Building Envelope

7.5m Rear Yard Setback

3m Side Yard Setback



Middle River

Centre Rd

Centre Rd

Centre Rd

7.5m Rear Yard Setback

Building Envelope

3m Side Yard Setback

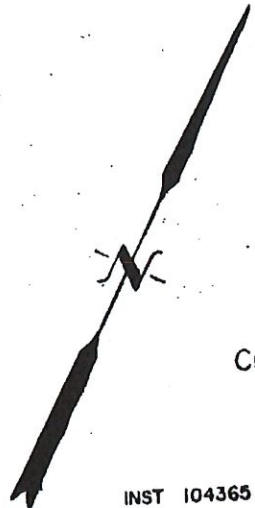
10m Front Yard Setback

Building Envelope

3m Side Yard Setback

c-192

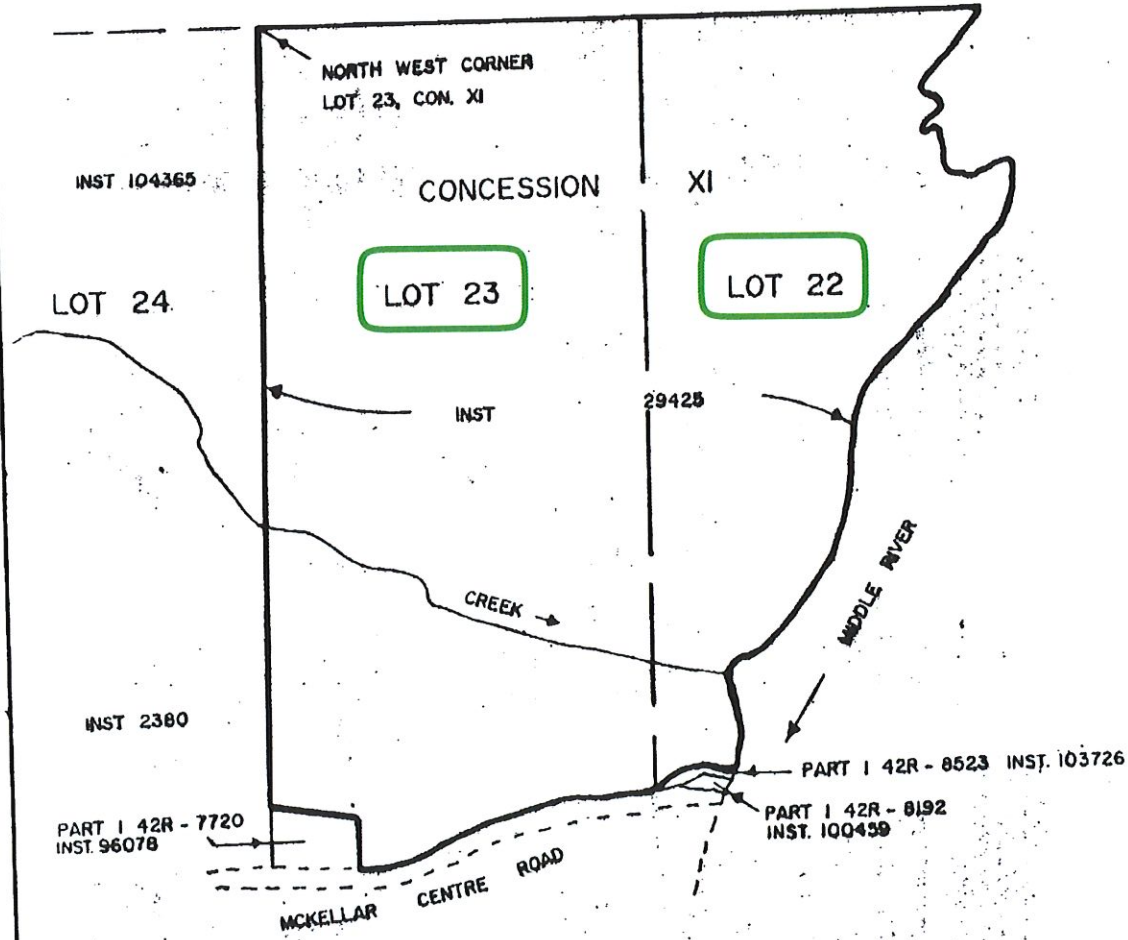
PLAN OF
PARTS OF LOTS 22 AND 23 CONCESSION XI
TOWNSHIP OF MCKELLAR
DISTRICT OF PARRY SOUND
SCALE: 1 INCH = 510 FEET



CONCESSION XII

INST 104365

INST 39571



CAUTION:

THIS PLAN WAS PREPARED FROM
LAND REGISTRY OFFICE RECORDS
AND IS NOT A PLAN OF SURVEY.



Karen Beauchamp <karen@clearwaterplanning.ca>

RE: Greywater Pit Sewage System

1 message

Tue, Jun 14, 2022 at 9:12 AM

Ohad Slama <oslama@gmail.com>
To: Robin Allen <robina@nbmcaps.ca>
Cc: Karen Beauchamp <karen@clearwaterplanning.ca>

Hi Robin,

Thank you for confirming. I will reach out to you with the greywater pit application for the first cabin once the rezoning will be completed and we will be ready to start the building permit phase.

Best,

Ohad Slama

From: Robin Allen <robina@nbmcaps.ca>
Sent: Monday, June 13, 2022 9:06 AM
To: 'Ohad Slama' <oslama@gmail.com>
Cc: 'Karen Beauchamp' <karen@clearwaterplanning.ca>
Subject: RE: Greywater Pit Sewage System

Hi Ohad,

Greywater pits (assuming all code requirements can be met) would be an option for each cabin. Once you have additional information and an application submitted to our office for review I could confirm, but using separate pits is an option.

Robin Allen

CBO-SS, Manager On-site Sewage System Program

North Bay-Mattawa Conservation Authority

69 Bowes Street, Parry Sound, ON P2A 2L5

Cell: (705) 774-8448

Tel: (705) 746-7566 ext 201

Fax: (705) 746-7553

Web: www.nbmca.ca

Celebrating 50 years of Watershed Management!

1972-2022

NBMCA offices are now open to the public by appointment. Staff can be reached by email or cell phone. For updates, visit www.nbmca.ca

The information contained in this electronic message from North Bay-Mattawa Conservation Authority is directed in confidence solely to the person(s) named above and may not be otherwise distributed, copied or disclosed including attachments. The message may contain information that is privileged, confidential and exempt from disclosure under the Municipal Freedom of Information and Protection of Privacy Act and by the Personal Information Protection and Electronic Documents Act. The use of such personal information except in compliance with the Acts, is strictly prohibited. If you have received this message in error, please notify the sender immediately advising of the error and delete the message without making a copy. Thank you.

From: Ohad Slama [<mailto:oslama@gmail.com>]
Sent: June 10, 2022 11:59 AM
To: robina@nbmcaps.ca
Cc: 'Karen Beauchamp'
Subject: Greywater Pit Sewage System

Hello Robin,

I am not sure if you remember me but we had talked awhile back regarding a greywater pit sewage system for a few sleeping cabins that we are planning to have on our property in McKellar. We are currently in the process of rezoning the property to Tourist Commercial for the purpose of building up to 6 sleeping cabins (one to start with) and wanted to make sure with you that the plan of having a separate greywater pit (along with an incinerating toilet) for each cabin is doable, we had talked about 3 plumbing fixtures for each cabin in order to stay below the limit of the greywater pit capacity (shower, bathroom sink and a kitchenette sink). Of course that we will need to submit an application for each pit for each cabin but we just wanted to get a general understanding whether this is a valid option.

Please let me know if you have any question.

Thank you,
Ohad Slama
647-667-5745



Karen Beauchamp <karen@clearwaterplanning.ca>

RE: Property Entrance - 154 Centre Road, McKellar

1 message

Fri, Jun 17, 2022 at 10:07 AM

Ohad Slama <oslama@gmail.com>
To: Greg Gostick <roads@mckellar.ca>
Cc: Karen Beauchamp <karen@clearwaterplanning.ca>

Hi Greg,

Thank you for getting back to me. I have a few questions regarding the requirements and I've tried to call you twice this week to the number on the township website under the phone directory (705) 389-2891, when will be the best time for you to talk? And what will be the best number to reach you at?

Thank you,
Ohad

From: Greg Gostick <roads@mckellar.ca>
Sent: Tuesday, June 14, 2022 2:07 PM
To: Ohad Slama <oslama@gmail.com>
Subject: Re: Property Entrance - 154 Centre Road, McKellar

Yes , Thank you for your patience. Where the driveway meets the township road the width there should be 8 meters. Minimum top width of driveway should be 6m or greater.

Hope this helps.

On Tue., Jun. 14, 2022, 10:01 a.m. Ohad Slama, <oslama@gmail.com> wrote:

Hi Greg,

Following my email from last Thursday, did you get a chance to review it?

Please let me know if you prefer to speak on the phone, I can explain more.

Thank you,
Ohad Slama

From: Ohad Slama <oslama@gmail.com>
Sent: Thursday, June 9, 2022 12:00 PM
To: roads@mckellar.ca
Cc: 'Karen Beauchamp' <karen@clearwaterplanning.ca>
Subject: Property Entrance - 154 Centre Road, McKellar

Hello Greg,

We are in the process of rezoning the property to Tourist Commercial for the purpose of building up to 6 sleeping cabins and Mr. Ted Davidson, the township planner had asked us to check with you if there is any requirement regarding the entrance to the property since there will more slight increase in the number of vehicles coming here.

Please let me know.

Thank you,

Ohad Slama

647-667-5745

PRELIMINARY NATURAL HERITAGE FEATURE SCREENING & IMPACT ASSESSMENT

154 CENTRE ROAD

PART OF LOTS 22 & 23, CONCESSION 11

TOWNSHIP OF MCKELLAR, PARRY SOUND DISTRICT

June 2022

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1. INTRODUCTION

FRI Ecological Services was retained to conduct an impact assessment for potential natural heritage features as part of a proposed development plan for a property located at 154 Centre Road in the Township of McKellar. The subject property is bound by vacant land and rural residential development to the north and west and Centre Road to the south. The shoreline of Middle River borders the property to the east. The proponent is proposing a site-specific rezoning to permit the creation of six separated, self-serviced and isolated cabin-like structures (CLS) (Appendix A), whilst still maintaining the current Waterfront designation of the lands (Figure 1).

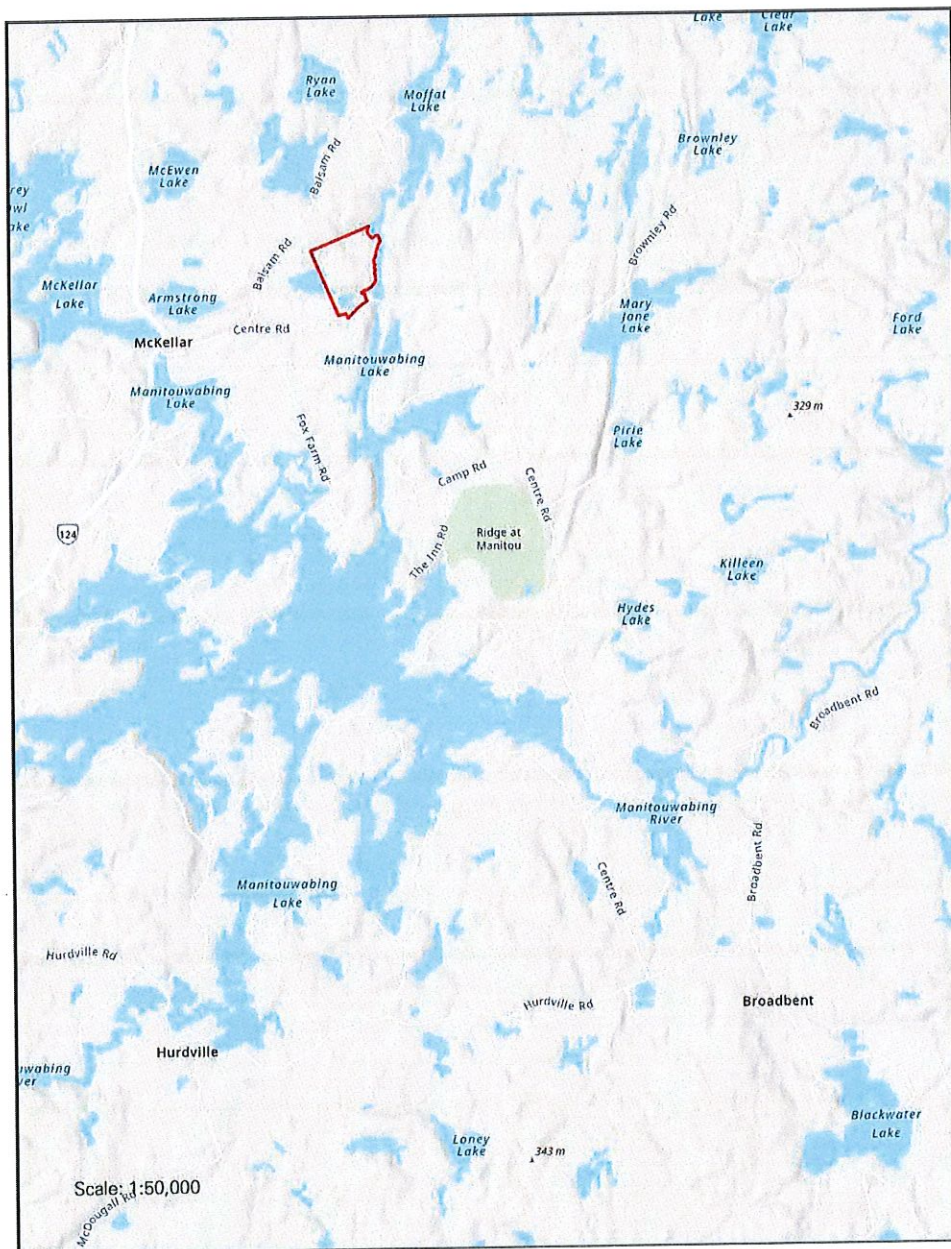


Figure 1: Location Map of subject property

A desktop review of the available information related to natural heritage values on or within 120 metres of the study area was conducted. The following sources of information were consulted:

- Make-a-Map, Natural Heritage Information Centre
- Land Information Ontario (LIO) Data (Natural Heritage Feature Geodatabases)
- Township of McKellar Official Plan (2018)
- Forest Resource Inventory (FRI) – French Severn Forest (Forest Management Plan) (LIO)
- Ontario Breeding Bird Atlas¹
- Significant Wildlife Habitat Ecoregion 5E Criterion Schedule
- iNaturalist.org
- eBird.org

Five natural heritage categories, consistent with the Provincial Policy Statement (PPS) (2020), were considered for this site evaluation and impact assessment, including:

1. Habitat of Endangered and Threatened Species
2. Significant Wetlands and other wetlands
3. Significant Wildlife Habitat
4. Fish Habitat
5. Areas of Natural and Scientific Interest (ANSI)

The background review confirmed the absence of ANSIs, candidate ANSIs, and Provincially Significant Wetlands on and within 120m of the property.

The Provincial Policy Statement (PPS) is promulgated under the authority of the Planning Act and came into effect on May 1, 2020. The PPS provides direction to municipalities on land-use matters of provincial interest and sets the policy framework for regulating the use and development of land. The principal PPS policies that apply to natural heritage protection are outlined in section 2.1 of the statement. In Ecoregion 5E, the PPS separates significant features into three categories:

- Those in which development and site alteration are not permitted, including Provincially Significant Wetlands and Significant Coastal Wetlands
- Those in which development and site alteration are not permitted unless it can be demonstrated that no negative impacts on the significant natural feature and/or function will occur including Significant Wildlife Habitat, Areas of Natural and Scientific Interest, coastal wetlands, and adjacent lands
- Those in which development and site alteration are not permitted except in accordance with federal/provincial requirements, including fish habitat and habitat of endangered and threatened species

¹ Bird Studies Canada, Environment Canada's Canadian Wildlife Service, Ontario Nature, Ontario Field Ornithologists and Ontario Ministry of Natural Resources. 2006. Ontario Breeding Bird Atlas Website. <https://www.birdsontario.org/atlas-2/>

2. HABITAT OF ENDANGERED AND THREATENED SPECIES

The *Endangered Species Act, (2007)*², or ESA, affords protection to species at risk and their habitats and identifies tools to encourage protection and recovery activities. The ESA seeks to balance species' protection with social and economic considerations.

Species are assessed according to their risk of extinction and are designated as either endangered, threatened, or of special concern on the *Species at Risk in Ontario* list (Ont. Reg. 230/08). Those species listed as endangered or threatened receive both species and habitat protection. Proposed work that may impact endangered or threatened species or their habitat may be subject to authorizations under the ESA. Unlike their counter parts, those species listed as special concern do not receive specific habitat protection under the ESA. Any proposed work with potential to impact species of special concern should consider the provisions outlined in the 2020 PPS under considerations for Significant Wildlife Habitat

A list of species at risk (SAR) (4 endangered, 6 threatened) with potential to occur on the property is included in Table 1.

Table 1: END & THR SAR and/or their habitat with potential to be present on subject lands

Species	ESA Designation	Species and habitat likelihood on subject or adjacent lands*
Little Brown Myotis	Endangered	Probable
Northern Myotis	Endangered	Probable
Eastern Small-footed Myotis	Endangered	Unlikely
Tri-coloured Myotis	Endangered	Possible
Eastern Whip-poor-will	Threatened	Possible
Barn Swallow	Threatened	Possible
Blanding's Turtle	Threatened	Probable**
Bobolink	Threatened	Possible
Eastern Meadowlark	Threatened	Possible
Chimney Swift	Threatened	Possible

* *Assumed absent – unsuitable habitat and possibility of presence negligible*

Unlikely – conceivable but very improbable

Possible – some suitable habitat and no convincing evidence available to rule out potential presence

Probable – species not confirmed to be present but the available site information suggests a high likelihood for species' presence

Confirmed – observed presence or observed evidence of presence; also confirmed

** *Based on the MINRF's General Habitat Description for Blanding's turtles, suitable wetlands on the property are considered habitat for the species. This is discussed in greater detail in Section*

² <https://www.ontario.ca/laws/statute/07e06>

Endangered SAR Bats

Little Brown Myotis (*Myotis lucifugus*), Northern Myotis (*Myotis septentrionalis*), Eastern Small-footed Myotis (*Myotis leibii*), and Tri-Coloured Bat (*Perimyotis subflavus*)

During the active season, bats feed on insects at night and roost during the day. The roost either individually (males) or in groups (females with pups), usually in warm, elevated spaces. Bats often choose human-created roosts such as attics and abandoned buildings as these locations offer optimum habitat for summer roosts, usually close to water and open areas for foraging. Natural roosts include large hollow trees and spaces behind loose bark. Both species hibernate in caves and abandoned mines in October through April where temperatures remain above freezing and humidity levels are high.^{3 4}

LITTLE BROWN MYOTIS

According to the Significant Wildlife Habitat Technical Guide, Appendix G4, Table G4, little brown myotis use caves, quarries, tunnels, hollow trees or buildings for roosting. Maternity colonies are most often found in warm dark areas, like barns, attics and old buildings. They overwinter in caves and mine adits (horizontal mine shafts) in Ontario. This species forages mainly over open areas including wetlands and near forest edges where insect densities are greater.⁵

NORTHERN MYOTIS

According to the Significant Wildlife Habitat Technical Guide, Appendix G4, Table G4, Northern myotis roost in hollow trees or under loose bark. Males roost individually while females are found in maternity colonies of up to 60 adults. They overwinter in mines and caves similar to other species which hibernate in Ontario. Unlike little brown myotis, Northern myotis hunt primarily in forested areas, below the canopy.

EASTERN SMALL-FOOTED MYOTIS

According to the Significant Wildlife Habitat Technical Guide, Appendix G, Table G4, Eastern Small-footed Myotis roost in caves, mine shafts, crevices or buildings that are in or near a woodland. According to Bat Conservation International, Small-footed Myotis generally roost on the ground under rocks and in crevices and occasionally under tree bark or in buildings.⁶ They hibernate in cold dry caves or mines; maternity colonies are in caves or buildings. They hunt primarily in forests.

TRI-COLOURED BAT

According to the Significant Wildlife Habitat Technical Guide, Appendix G, Table G4, the Tri-coloured bat prefers open woods near water, roosts in trees, cliff crevices, buildings or caves. It hibernates in damp, draft-free warm caves, mines or rock crevices.

³ Dobbyn, S. 1994. Atlas of the Mammals of Ontario. Federation of Ontario Naturalists. 120 pp.

⁴ Ontario Ministry of Natural Resources. 2000. Significant Wildlife Habitat Technical Guide. Toronto: Queen's Printer for Ontario. 151pp.

⁵ Forbes, G. 2012. COSEWIC. Technical Summary and Supporting Information for an Emergency Assessment of the Little Brown Myotis, *Myotis lucifugus*. 25pp.

⁶ <http://www.batcon.org/resources/media-education/species-profiles/detail/2014>

ASSESSMENT

We did not conduct any acoustic monitoring surveys but have employed a habitat-based approach. The proponent proposes to locate the structures on the property in areas that are currently cleared and no tree cutting is anticipated. Where minor vegetation removal is required, this will take place from November 1 to March 31 of any given year and no trees greater than 20cm diameter at breast height (DBH) will be removed. Therefore, no negative impacts are anticipated to tree-roosting bats and their habitat as a result of the proposed work. No further study required.

Eastern Whip-poor-will (*Antrostomus vociferus*)

Eastern Whip-poor-wills are found in a variety of open habitats and avoid areas where the forest canopy is extensive and closed. Breeding habitat is considered suitable when it contains features related to the following life processes: territory establishment, nesting, foraging and roosting. Whip-poor-wills typically select rock or sand barrens with scattered trees, savannahs, old burns, and open conifer plantations. These and other sites in a state of early to mid-forest succession are preferred for breeding. Whip-poor-wills have been documented in a variety of semi-open habitats, usually near wetlands. Their eggs are laid directly on the ground in an area that provides sparse ground cover and offers shade and tree cover as well. Nest sites are usually close to open areas which are necessary for foraging. They are crepuscular insectivores, feeding predominantly on Lepidopterans (moths). Breeding is typically mid-May through mid-July.^{7 8 9 10}

ASSESSMENT

Species specific surveys for whip-poor-wills were not conducted but the species is known to occur in the general area. Suitable habitat such as wetland ecosites are present on the subject property. Where whip-poor-wills are using the property and adjacent lands to carry out critical life processes such as nesting, the proposed development will not negatively impact habitat nor displace, harm, harass, or kill individual whip-poor-wills and birds can continue to use the area as per pre-redevelopment conditions. No further study required.

Blanding's Turtle (*Emydoidea blandingii*)

The Blanding's turtle is a mostly aquatic turtle found in a variety of habitats, including lakes, ponds, marshes, ditches, creeks, rivers, and bogs. Within these habitats, the species generally prefers shallow water, organic substrates and dense submergent and/or emergent vegetation. Basking sites are a critical component of suitable habitat. These are characteristically floating vegetation mats, hummocks, partially submerged logs, rocks, bog mats, or suitable shoreline areas with access to full sunlight. Blanding's turtles hibernate from October through April, usually in permanent bodies of water, often the same wetlands they utilize during the active season.

⁷ Desy, G. 2010. Habitat Description, Whip-poor-will (*Caprimulgus vociferus*): Threatened. Ontario Ministry of Natural Resources. 16 pp. DRAFT.

⁸ Ontario Ministry of Natural Resources. 2013. General Habitat Description for the Eastern Whip-poor-will (*Caprimulgus vociferus*)

⁹ COSEWIC. 2009. COSEWIC assessment and status report on the Whip-poor-will *Caprimulgus vociferus* in Canada. Committee on the Status of Endangered Wildlife in Canada. Ottawa. vi + 28 pp. (www.sararegistry.gc.ca/status/status_e.cfm).

¹⁰ Cink, Calvin L. 2002. Eastern Whip-poor-will (*Antrostomus vociferus*), The Birds of North America Online (A. Poole, Ed.). Ithaca: Cornell Lab of Ornithology; Retrieved from the Birds of North America Online: <http://bna.birds.cornell.edu/bna/species/620>

Recent studies confirm seasonally isolated wet areas, ditches for example, are used for hibernacula in some years.

Blanding's turtles will travel up to 6 km or more to nesting sites that are usually within 250 m from the shore of some waterbody. Nesting activities generally occur at the end of June through the beginning of July. Nest sites are chosen in areas that offer suitable substrate for digging (e.g. loose soil), well-drained, open locations which increases the incubation temperatures because of sunlight exposure. This in turn increases nest success. Upland areas adjacent wetlands can be used for nesting, basking and travel between summer activity areas. Turtles regularly move up to 1 km between wetlands and will chose a 'wetted' corridor, rather than a direct route.^{11 12 13 14}

15

ASSESSMENT

There are several confirmed observations of this species within 2km of the study area. The 2km distance is relevant because it refers to the general habitat description (GHD) for Blanding's turtle.¹⁶ The process for mapping and identifying habitat for this species starts from a confirmed observation. All suitable wetlands and waterbodies within a 2km radius of the occurrence that are within 500m of each other are considered habitat. The habitat is further subdivided into categories from most to least sensitive. Category 1 habitat includes nests and overwintering sites and a 30m buffer and is the most sensitive to disturbance or alterations. Category 2 habitat includes all the identified wetlands and waterbodies and a 30m buffer on these as outlined in the habitat delineation from an occurrence. Category 2 habitat has a moderate tolerance to disturbance or alteration. Category 3 habitat extends from the edge of the Category 2 habitat for an additional 220m. It has the highest tolerance to alteration and is primarily a movement corridor between wetlands and other habitat features. Without the benefit of targeted surveys, it is impossible to determine if there is any Category 1 habitat within the study area. The entire proposed development is either Category 2 or 3 habitat.

Activities in general habitat of Blanding's turtles can occur as long as the function of these areas for the species is maintained and individuals of the species are not killed, harmed, or harassed. Generally compatible uses in general habitat of Blanding's turtles includes small-scale alterations to land cover that do not impede overland movements or impair nesting sites. Proposed land uses that require significant draining, infilling, dredging, or other significant alteration of wetlands or other suitable waterbodies and *significant* shoreline alteration (e.g. hardening, gabion baskets, riprap, etc.) are considered generally incompatible uses and such works would likely require authorization.

The current habitat functions that the subject property provides for Blanding's turtles are likely feeding, mating, thermoregulation, protection from predators, and potentially overwintering. To

¹¹ COSEWIC 2005. COSEWIC assessment and update status report on the Blanding's Turtle *Emydoidea blandingii* in Canada. Committee on the Status of Endangered Wildlife in Canada. Ottawa. viii + 40 pp. (www.sararegistry.gc.ca/status/status_e.cfm)

¹² Edge, C. B. 2008. Multiple Scale Habitat Selection by Blanding's Turtles (*Emydoidea blandingii*). Master's Thesis. School of Graduate Studies, Laurentian University.

¹³ Ontario Ministry of Natural Resources. 2012. Survey Protocol: Blanding's Turtle (*Emydoidea blandingii*). Policy Division, Species at Risk Branch. 15pp.

¹⁴ Seburn, D. C. 2007. Recovery Strategy for Species at Risk Turtles in Ontario. Ontario Multi-Species Turtles at Risk Recovery Team. 83pp.

¹⁵ Ontario Ministry of Natural Resources. 2013. General Habitat Description for the Blanding's turtle (*Emydoidea blandingii*).

¹⁶ https://files.ontario.ca/environment-and-energy/species-at-risk/mnr_sar_ghd_bln_trtl_en.pdf

maintain these noted habitat functions, it is recommended that no development or site alteration occur within the wetlands. It is possible that Blanding's turtles may be overwintering within the private ponds on the subject land. The GHD notes that a 30 m radius (average tree height) buffer around nesting and overwintering sites is important to maintain the microclimate conditions (e.g., thermal, vegetative and lighting features). Given that only minor vegetation removal (where necessary) outside of the reptile active season is proposed for any of the proposed CLS sites, the microclimate conditions and overwintering form and function of the ponds for the species will not be altered or negatively impacted by the proposed additions. If observed moving through the property, Blanding's turtles should not be harmed, harassed, or killed, and be permitted to move away on their own.

It is further recommended that where foundation construction for the CLSs is completed from June 1 to October 15 of any given year, the work area shall be isolated (using sediment fencing or equivalent reptile exclusion fencing) prior to June 1st to preclude turtles from entering the active work area. No blasting shall be used at any point during the construction.

Any aggregate stockpiles should be isolated from June 1 to July 31 using sediment fencing or reptile exclusion fencing or used immediately to prevent the creation of suitable nest sites.

Where the above recommendations are followed, no negative impacts to the Blanding's turtles or habitat are anticipated as a result of the proposed CLS construction. Turtles will continue to use the habitat in the same manner post-construction as they do at present.

Barn Swallow (*Hirundo rustica*)

Barn swallows are an aerial insectivore, known to build nests on barns, bridges and other buildings especially in open areas near water. Open habitats including grasslands, fields, right-of-way's, shorelines and wetlands are particularly important for foraging. They live in close association with humans, building their cup-shaped mud nests almost exclusively on human-made structures. Swallows prefer structures with rough-surfaced ledges where they can build their nests. The cup-shaped mud nests are the critical habitat feature used for egg laying, incubation, feeding, resting and rearing of young. Barn swallows will use artificial nest cups and ledges; and are known to use the same nests in subsequent years. They are often found in colonies; breeding takes place from May through August.^{17 18 19}

ASSESSMENT

Barn swallows tend to use human structures almost exclusively to nest. There are existing outbuildings and structures on the property presently that have potential to support nesting habitat for this species but no changes to the existing structures are anticipated and foraging opportunities will persist following the proposed development. No further study is required and no negative impacts to the species or habitat are anticipated.

¹⁷ COSEWIC. 2011. COSEWIC assessment and status report on the Barn Swallow *Hirundo rustica* in Canada. Committee on the Status of Endangered Wildlife in Canada. Ottawa. ix + 37 pp. (www.sararegistry.gc.ca/status/status_e.cfm).

¹⁸ http://www.mnr.gov.on.ca/en/Business/Species/2ColumnSubPage/MNR_SAR_BRN_SWLLW_EN.html

¹⁹ Ontario Ministry of Natural Resources. 2013. General Habitat Description for the Barn Swallow *Hirundo rustica*. http://www.mnr.gov.on.ca/stdprodconsume/groups/lr/@mnr/@species/documents/document/mnr_sar_ghd_brn_swllw_en.pdf

Bobolink (*Dolichonyx oryzivorus*)

Bobolinks are associated with open habitats, specifically grasslands, meadows and agricultural fields. They use fields with a mix of grasses and broad-leaved forbs like clover (*Trifolium* sp.); generally avoiding habitats with woody vegetation. A dense thatch layer is required for nests which are built out of sight close to the ground. Defended territories average 0.33 – 2 hectares, while much larger habitat patches are required to avoid predators and reduce brood parasitism by cowbirds. Literature suggests a minimum 5 hectares is required to support breeding, while sites 10 – 30 hectares are more likely to support successful nests. Areas that have little interior habitat, defined as 100 metres or more from an edge, are not likely to be suitable for breeding. Nesting occurs in mid-May and subsequent broods have usually fledged by early July. Nestlings in July are likely a result of a second brood or re-nesting. Bobolinks have usually left Ontario by the end of July on their migration south for the winter.

ASSESSMENT

Generally, large rectangular fields and meadows with limited 'edge' habitat are more likely to provide suitable habitat for this species. The field ecotones and cleared areas do not provide the preferred habitat shape nor size requirements that are most used by bobolinks. It is unlikely that there is nesting habitat present for the species in the areas identified for each CLS and no vegetation clearing is required. No negative impacts are expected to this species nor its habitat. No further study is required.

Chimney Swift (*Chaetura pelagica*)

Chimney swifts are an aerial insectivore; commonly seen foraging over open areas and wetlands. According to the Chimney Swift COSEWIC Status Report (2007), cavity trees with a DBH greater than 50 cm are required for nesting. Common tree species hosting nesting or roosting sites are white pine, yellow birch and sometimes aspen. While not common, pileated woodpecker cavities are sometimes used for nesting and roosting. Communities supporting trees >50 cm DBH and pileated woodpecker cavities are typical of old growth forests.

More typically, swifts nest and roost in human-created structures such as brick chimneys. At times, especially during migration and inclement weather, roosts may host hundreds or even thousands of birds. Structures functioning as nest features are usually occupied by a single breeding pair. Breeding pairs exhibit high site fidelity for structures used as nests and roosts and will continue to use these features as long as they are functional. In Ontario, swifts return in late April through early May and breed May through July. Migration begins in late August and is usually complete by mid-October. The loss of artificial nest features (brick chimneys) has resulted in significant population declines over a short time period. Secondly, the loss of old growth forests and large cavity trees has resulted in fewer natural nesting (and roosting) structures.

ASSESSMENT

There are no trees >20cm DBH proposed for removal to accommodate the placement of the CLS and chimney swifts can continue to forage over the open wetland areas on the site as they are recommended for retention with a minimum 30m vegetated buffer. No critical habitat for chimney swifts is present on the subject lands and no negative impacts to swifts or their habitat are expected and no additional mitigation is recommended

3. SIGNIFICANT WETLANDS & OTHER WETLANDS

There are no Provincially Significant Wetlands (PSW) mapped on or within 120m of the property. Areas of wetland were identified on and adjacent the subject property using Forest Resource Inventory data available through Lands Information Ontario. It is recommended that all future development be setback 30m from the wetland on and adjacent the subject property (wetland mapping inclusive of 30m recommended setback shown in Figure 2). A site-specific assessment and recommendations to avoid negative impacts for the proposed CSL locations was undertaken in Table 4 of this report.

Where any future development is proposed closer than 30m from wetlands, it is recommended that a site investigation occurs to assess, quantify, and offset (if applicable) any potential negative impacts of a reduced development setback.



Figure 2: Wetland constraint area (pink) representing all wetlands and recommended 30m setback

4. SIGNIFICANT WILDLIFE HABITAT

A desktop review of available information confirmed the presence of the Mary Jane Deer Yard on and adjacent the subject lands (Figure 3), mapped as a Stratum 2 Deer Wintering Area by MNRF in 2011.

Deer Wintering habitat was identified during the desktop review of available information. In addition, the site has potential to support four significant wildlife habitat categories including seasonal concentration areas, rare vegetation communities and specialized habitats for wildlife, habitat for species of conservation concern, and animal movement corridors.

The Significant Wildlife Habitat Criteria Schedules for Ecoregion 5E were used to identify potential significant wildlife habitat.²⁰ Table 2 summarizes the potential significant wildlife habitat and recommendations to avoid potential impacts.

Table 2: Summary of Potential Significant Wildlife Habitat

	Significant Wildlife Habitat Type	SWH Category	Recommended Mitigation to Avoid Impacts
1	Waterfowl Stopover and Staging Areas (Aquatic)	Seasonal Concentration Areas	Development* to be setback 30m from all wetlands
2	Turtle Wintering Areas (Hibernacula)		See recommendations for Blanding's turtles
3	Colonially-Nesting Bird Breeding Habitat (Tree/Shrub/Ground)		Development* to be setback 30m from all wetlands Retention of all coniferous canopy trees >20cm DBH shall be retained
4	Deer Yarding Areas		Minor vegetation removal** and grubbing to occur from Nov 1 to March 31
5	Waterfowl Nesting Area	Specialized Habitat for Wildlife	Development* to be setback 30m from all wetlands Minor vegetation removal** and grubbing to occur from Nov 1 to March 31
6	Turtle Nesting Area		See recommendations for Blanding's turtles
7	Amphibian Breeding Habitat (Wetlands/Woodlands)		Development* to be setback 30m from all wetlands Minor vegetation removal** and grubbing to occur from Nov 1 to March 31
8	Marsh Bird Breeding Habitat		
9	Special Concern and Rare Wildlife Species	See Table 3	

²⁰ Ontario Ministry of Natural Resources and Forestry. January 2015. Significant Wildlife Habitat Criteria Schedules for Ecoregion 5E. 45pp.

10	Amphibian Movement Corridors	Animal Movement Corridors	Amphibians, furbearers, and cervids can continue to move through the property unimpeded. No negative impacts anticipated
11	Furbearer & Cervid Movement Corridor		

* site-specific assessment of proposed locations for CSL detailed in Table 4 of this report

**minor vegetation removal is considered to be select clearing of trees smaller than 20dbh, shrubs, and herbaceous vegetation only where necessary to accommodate construction and staging of the proposed structures

Special Concern Species

There is potential for the following special concern species to be present on the site: Canada Warbler, Eastern Wood-pewee, Evening Grosbeak, Monarch, Olive-sided Flycatcher, Snapping Turtle, and Wood Thrush. Species listed as Special Concern do not receive specific habitat protection under the ESA, rather they are considered in Significant Wildlife Habitat discussions. Proposed work which may impact special concern species should consider the provisions outlined in the 2020 PPS and the Township's OP.

Table 3: Summary of Potential species of conservation concern

Potential Special Concern (SC) Species	Recommended Mitigation to Avoid Negative Impacts
Snapping Turtle (<i>Chelydra serpentina</i>) (SC)	<ul style="list-style-type: none"> Recommended mitigation for Blanding's turtle will serve to protect all snapping turtles
Canada Warbler (<i>Cardellina canadensis</i>), Eastern Wood-pewee (<i>Contopus virens</i>), Evening Grosbeak (<i>Coccothraustes vespertinus</i>), Olive-sided Flycatcher (<i>Contopus cooperi</i>), Wood Thrush (<i>Hylocichla mustelina</i>) (SC)	<ul style="list-style-type: none"> Minor vegetation removal and grubbing to occur from Nov 1 to March 31 (outside of active season) No negative impacts anticipated, species can continue to utilize the site and adjacent lands as before
Monarch (<i>Danaus plexippus</i>) (SC)	<ul style="list-style-type: none"> May be found using edge habitat No changes proposed to these areas and no negative impacts anticipated

5. FISH HABITAT

Based on the aerial imagery, there appear to be areas of open water wetland, watercourses, and private (dug) ponds present on and adjacent the property that all have a high potential to support fish habitat. The subject property is fronting on Middle River which functions as a hydrologic connection from Moffat Lake (upstream) to Lake Manitouwabing (downstream).

The amended federal *Fisheries Act* administered by the Department of Fisheries and Oceans Canada (DFO) came into force in August 2019. Subsection 35(1) requires that project activities

not result in the harmful alteration, disruption, or destruction of fish habitat (HADD), interpreted by DFO to include "any temporary or permanent change to fish habitat that directly or indirectly impairs the habitat's capacity to support one or more life processes of fish".

Projects near water that do not require a review by DFO include artificial waterbodies that aren't connected to a waterbody that contains fish at any time during any given year, including, but not limited to, private ponds. Development in or adjacent to the property's private, dug ponds will not negatively impact fish or fish habitat where there are no hydrologic connections to the surrounding areas of confirmed fish habitat. No additional mitigation is required.

MNRF has identified areas on and adjacent the property including where the land fronts on Middle River as supporting critical (Type 1) fish habitat (Figure 3). It is recommended that the CLSs proposed near the shoreline of Middle River are setback a minimum of 30m from the water's edge to avoid negative impacts to critical fish habitat. Where development is proposed closer than 30m from Type 1 fish habitat, it is recommended that a site inspection of the feature takes place to characterize the fish habitat form and function and assess, quantify, and offset (if applicable) any potential negative impacts of a reduced setback.

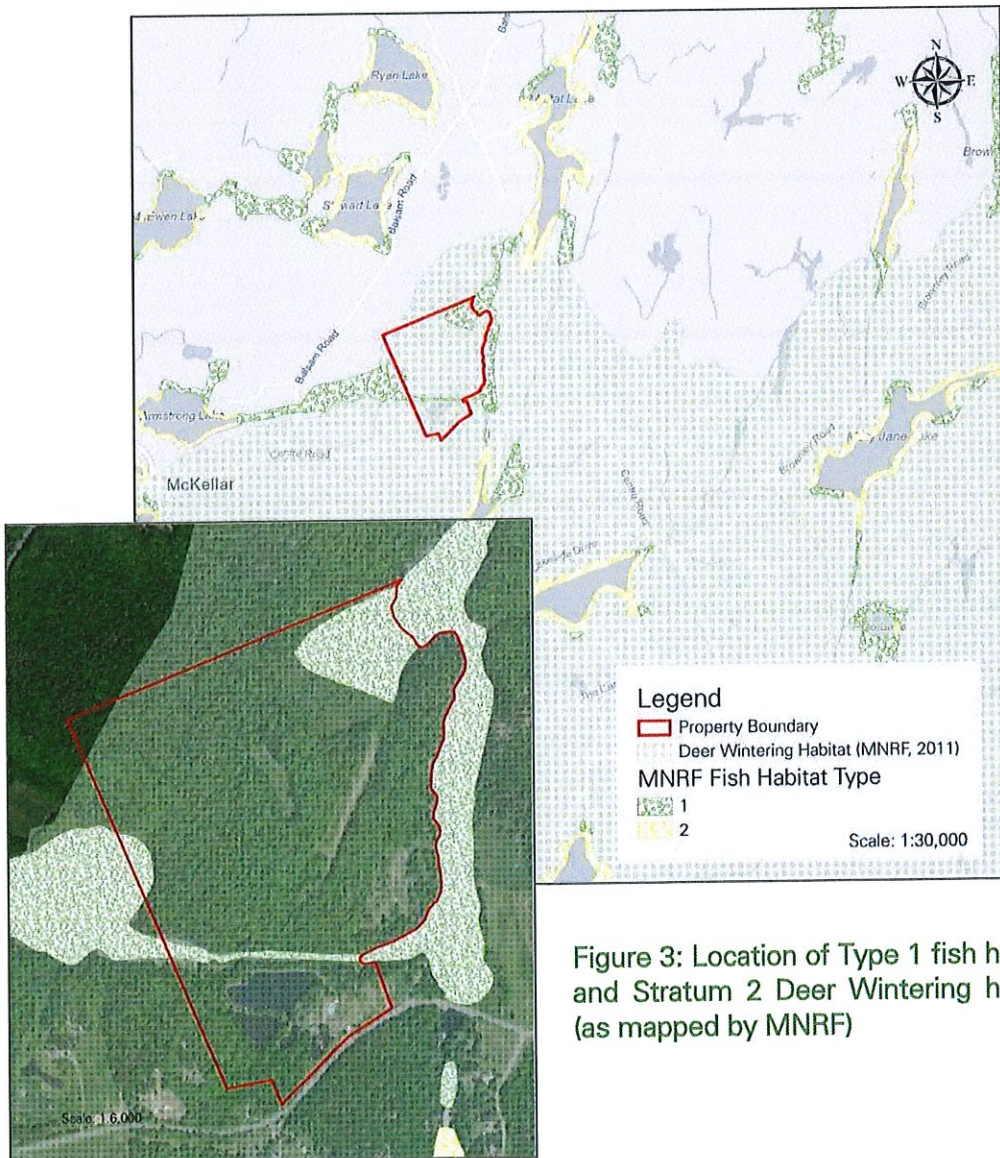
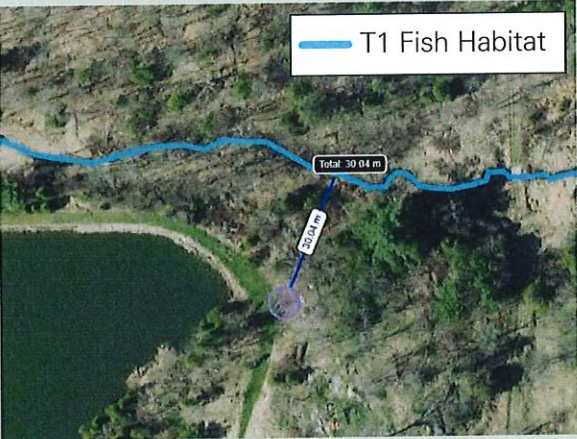
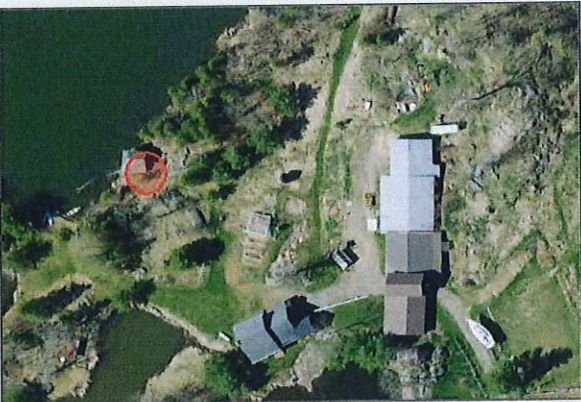


Figure 3: Location of Type 1 fish habitat and Stratum 2 Deer Wintering habitat (as mapped by MNRF)

6. SUMMARY OF RECOMMENDATIONS

Table 4: Site-specific summary of recommendations for proposed CLS Sites (1-6)

CLS	Approximate Location	Site-Specific Recommendations	Negative Impacts Anticipated?
1		<ul style="list-style-type: none"> • Setback 30m from T1 fish habitat • Located in an existing clearing, previous footprint of silo/structure • Existing vegetated buffer retained from wetland • No additional vegetation clearing required • Pre-construction and construction measures in Table 6 apply 	No
2		<ul style="list-style-type: none"> • CLS footprint overlaps existing bunkie footprint • No tree clearing or vegetation removal required • Pre-construction and construction measures in Table 6 apply • Located atop steep, elevated banks that serve as an existing barrier to any upland movement by turtles; see Figure 4 	No





3		<ul style="list-style-type: none"> • Setback 30m from wetland and T1 fish habitat • Pre-construction and construction measures in Table 6 apply 	No
4		<ul style="list-style-type: none"> • Setback >30m from the shoreline of Middle River • Pre-construction and construction measures in Tables 5 & 6 apply 	No
5		<ul style="list-style-type: none"> • Setback >30m from the shoreline of Middle River • Pre-construction and construction measures in Tables 5 & 6 apply 	No
6		<ul style="list-style-type: none"> • Setback >30m from the shoreline of Middle River • Pre-construction and construction measures in Tables 5 & 6 apply 	No



Figure 4: Existing bunkie (proposed for removal) contained within the proposed footprint of CLS #2. The steep shoreline depicted likely serves as a barrier to upland movement by turtles

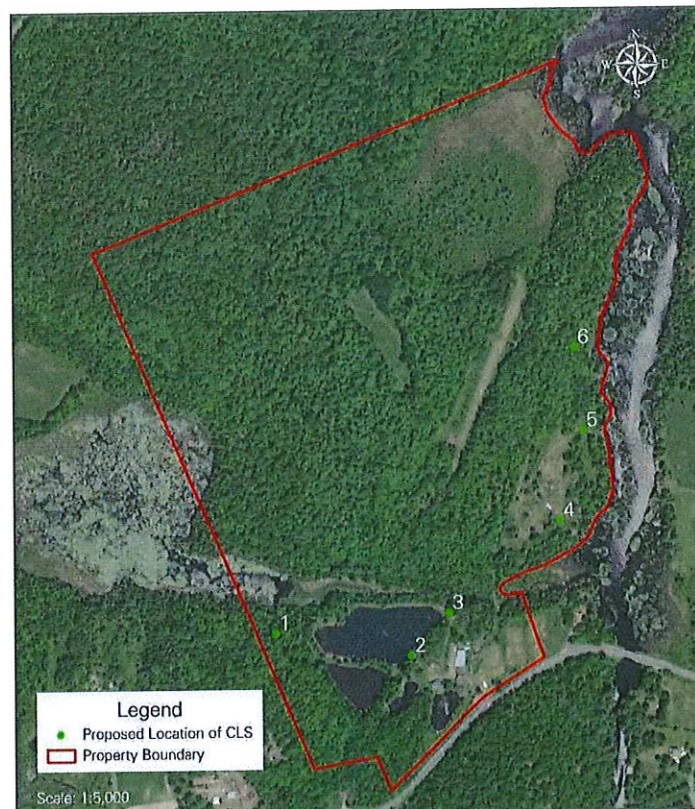


Figure 5: Overview map of six proposed CLS locations

Table 5: Summary of Potential Natural Heritage Features, Recommendations, and Impacts

Natural Heritage Category	Species/ Habitat	Presence	Recommendations	Negative Impacts Anticipated ?
Habitat of Endangered/Threatened Species	Blanding's Turtle	Confirmed	<ul style="list-style-type: none"> no development or site alteration occur within the wetlands where concrete footings are constructed from June 1 to Oct 15, the work area shall be isolated (using sediment fencing or equivalent reptile exclusion fencing) prior to June 1st to preclude turtles from entering the active work area Work sites should be swept for turtles in advance of construction and any individuals found within the work area shall be relocated out of harm's way, as per Table 6 aggregate stock piles should be isolated on site from June 1 to July 31 using sediment fencing (or similar) immediately to prevent the creation of suitable nest sites where subsurface excavation is proposed for the creation of a foundation, crawlspace, or basement area below a CSL, no blasting shall occur and the work area shall be isolated as per above prior to and during construction 	None
Wetlands	PSW absent, other wetlands present	Confirmed	<ul style="list-style-type: none"> All development to be setback a minimum of 30m from wetlands on and adjacent the subject property 	None
SWH & Habitat for Species of Conservation Concern	See Tables 2 & 3	Potential	<ul style="list-style-type: none"> Proposed CLS sites have been specifically selected to minimize the requirement for any large-scale vegetation removal Where minor vegetation removal and brushing is necessary, it shall occur from November 1 to March 31 and be restricted to the removal of trees ≤ 20cm DBH, small shrubs, and herbaceous vegetation only Removal of coniferous trees should be limited to dying and hazardous trees only Where reptiles are encountered on site, they should be allowed to move away on their own 	None
Fish Habitat	Shown in Figure 3	Confirmed	<ul style="list-style-type: none"> 30m setback from Type 1 fish habitat with a naturally vegetated buffer retained 	None

Table 6: Recommended General Mitigation to Eliminate Risk to SAR Reptiles

PRE-CONSTRUCTION		
Potential Risk	Recommended Mitigation	Outstanding Risk
Turtles moving over land to access aquatic and terrestrial habitats	<ul style="list-style-type: none"> Sweep work areas if working during the active season (April 1 to November 1) If found, relocate turtles outside of work area (safe place within 200 metres); alternately, allow turtle to move away on its own 	<ul style="list-style-type: none"> If work areas are properly swept, little to no risk of harm
CONSTRUCTION		
Potential Risk	Recommended Mitigation	Outstanding Risk
Harm to individuals	<ul style="list-style-type: none"> Isolate active work areas where appropriate; sediment fencing can function to isolate the work area Sweep the work area immediately prior to work 	<ul style="list-style-type: none"> Little to no risk of harm
Creation of suitable nest sites through imported aggregate	<ul style="list-style-type: none"> Isolate any imported aggregate stockpiles to prohibit use and/or nesting by turtles – sediment fencing works well for this 'Fresh' aggregate should be dealt with at once e.g. graded/ installed/ covered, if not, it should be isolated as above 	<ul style="list-style-type: none"> Little to none Turtles demonstrate nest site fidelity so are less likely to use a 'new' site (recently placed aggregate)

7. CONCLUSION

The purpose of this potential natural heritage feature screening is to provide an inventory and assessment of impacts to all potential natural heritage features on or adjacent the subject property, as considered under the framework of the 2020 PPS. Where recommended mitigation measures are followed as outlined in this report, no negative impacts to potential and confirmed features are anticipated as a result of the proposed development.

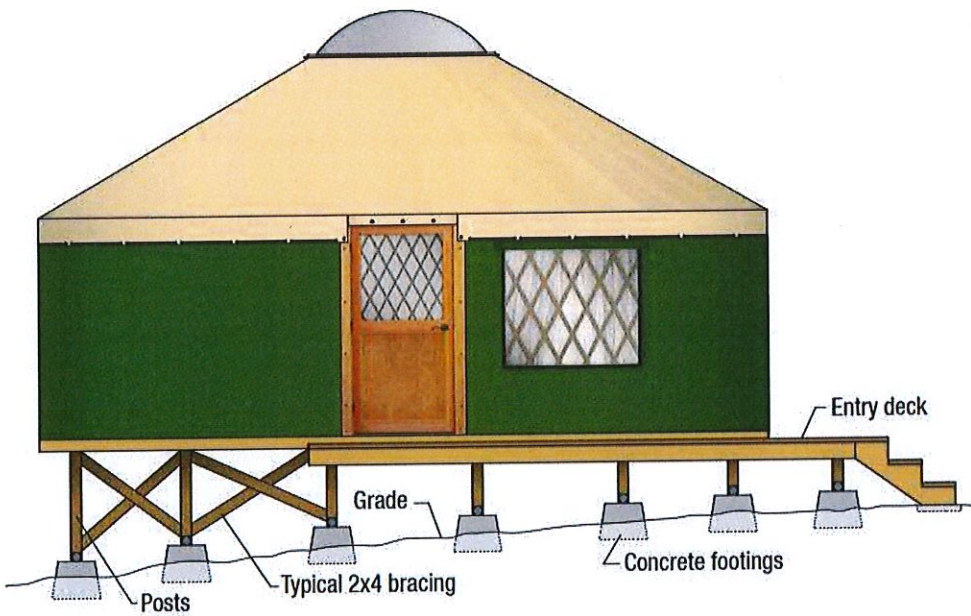
Respectfully submitted,

Hannah Wolfram

APPENDIX A

Proposed Cabin-like Structure Design

- circular structure with a dome, fabric roof, walls, insulation, rafters and wood lattice
- built atop a platform, with accessible doors and windows
- four-season structure, accompanied by heating and include appropriate snow and wind support.

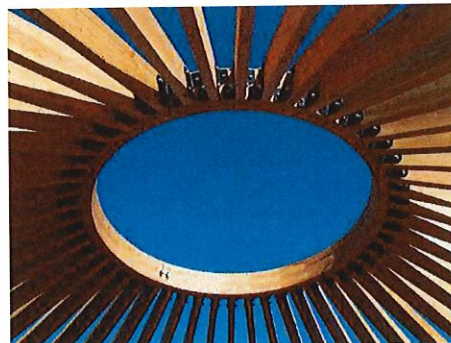


Snow & Wind Kit:
Supporting columns for
snow load

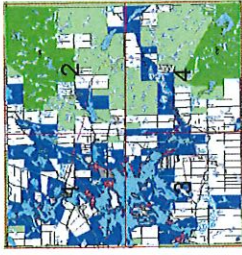


Dimensions Ranges:
Diameter: 20-30 ft
Height: 11 ft – 14.2 ft (Centre height)

Dome ring and rafters

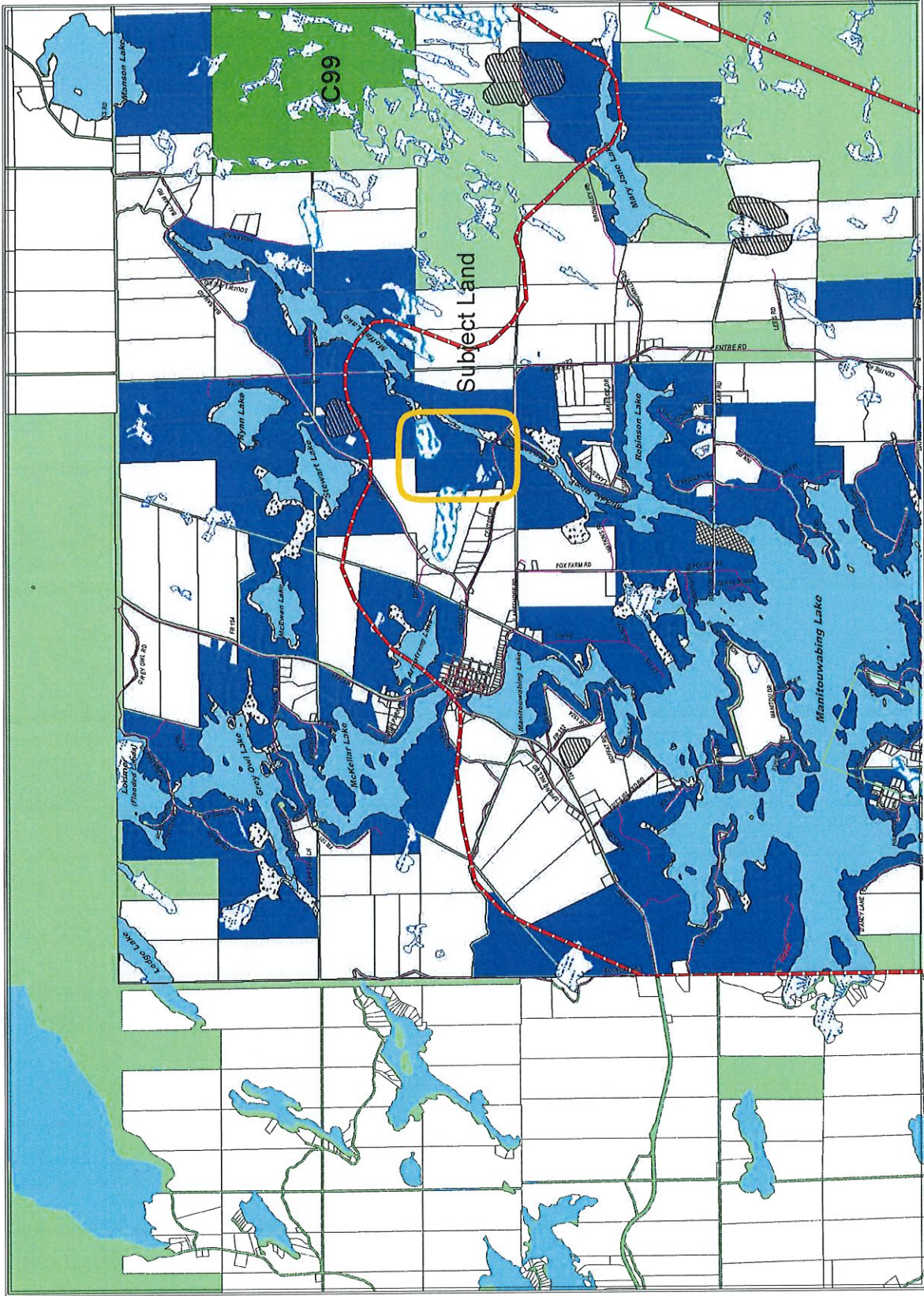


**SCHEDULE 'A'
LAND USE PLAN
TOWNSHIP OF
McKELLAR
OFFICIAL PLAN
SHEET 1 OF 4**

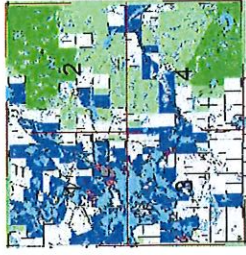


Legend

- * Nesting Site
- Endangered and Threatened Species
- Deer Wintering Habitat
- Mineral Aggregate
- Type 1 Fish Habitat
- Rural
- Waterfront
- Special Policy Section 25.2
- Conservation Reserves
- Crown

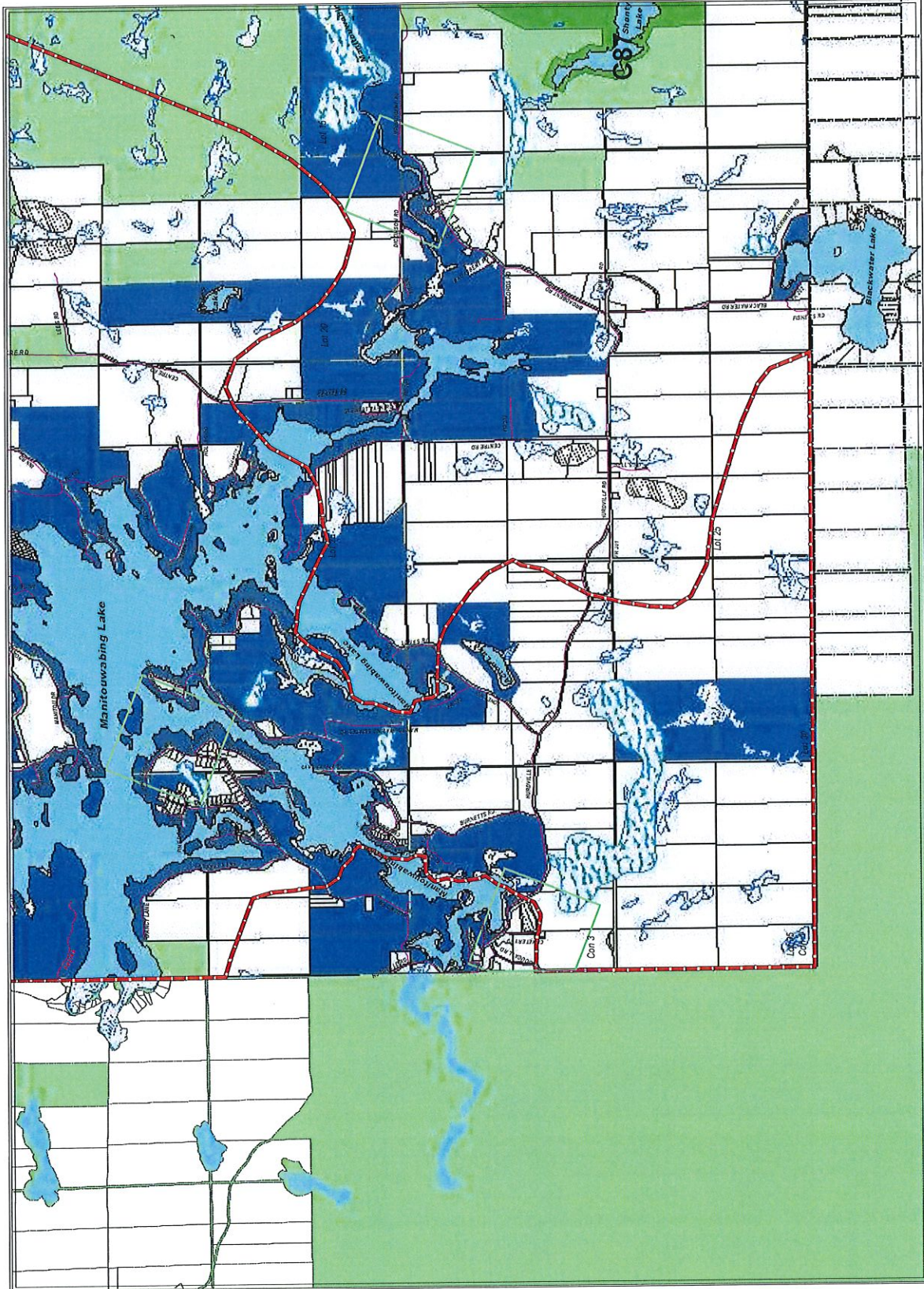


**SCHEDULE 'A'
LAND USE PLAN
TOWNSHIP OF
McKELLAR
OFFICIAL PLAN
SHEET 3 OF 4**

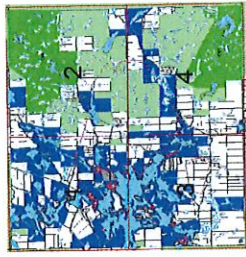


Legend

	Nesting Site
	Endangered and Threatened Species
	Deer Wintering Habitat
	Mineral Aggregate
	Type 1 Fish Habitat
	Rural
	Waterfront
	Special Policy Section 25.2
	Conservation Reserves
	Crown

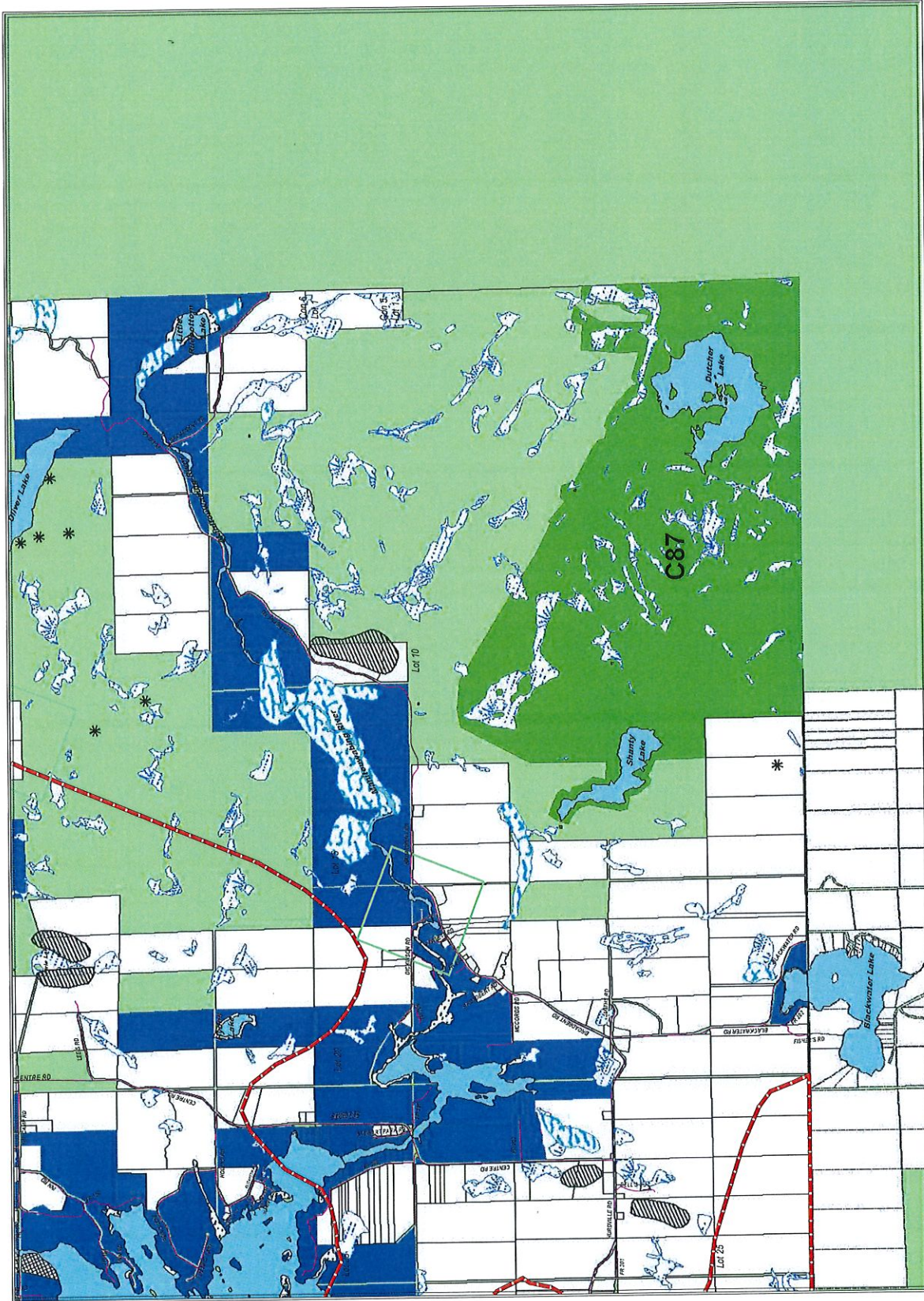


**SCHEDULE 'A'
LAND USE PLAN
TOWNSHIP OF
McKELLAR
OFFICIAL PLAN
SHEET 4 OF 4**



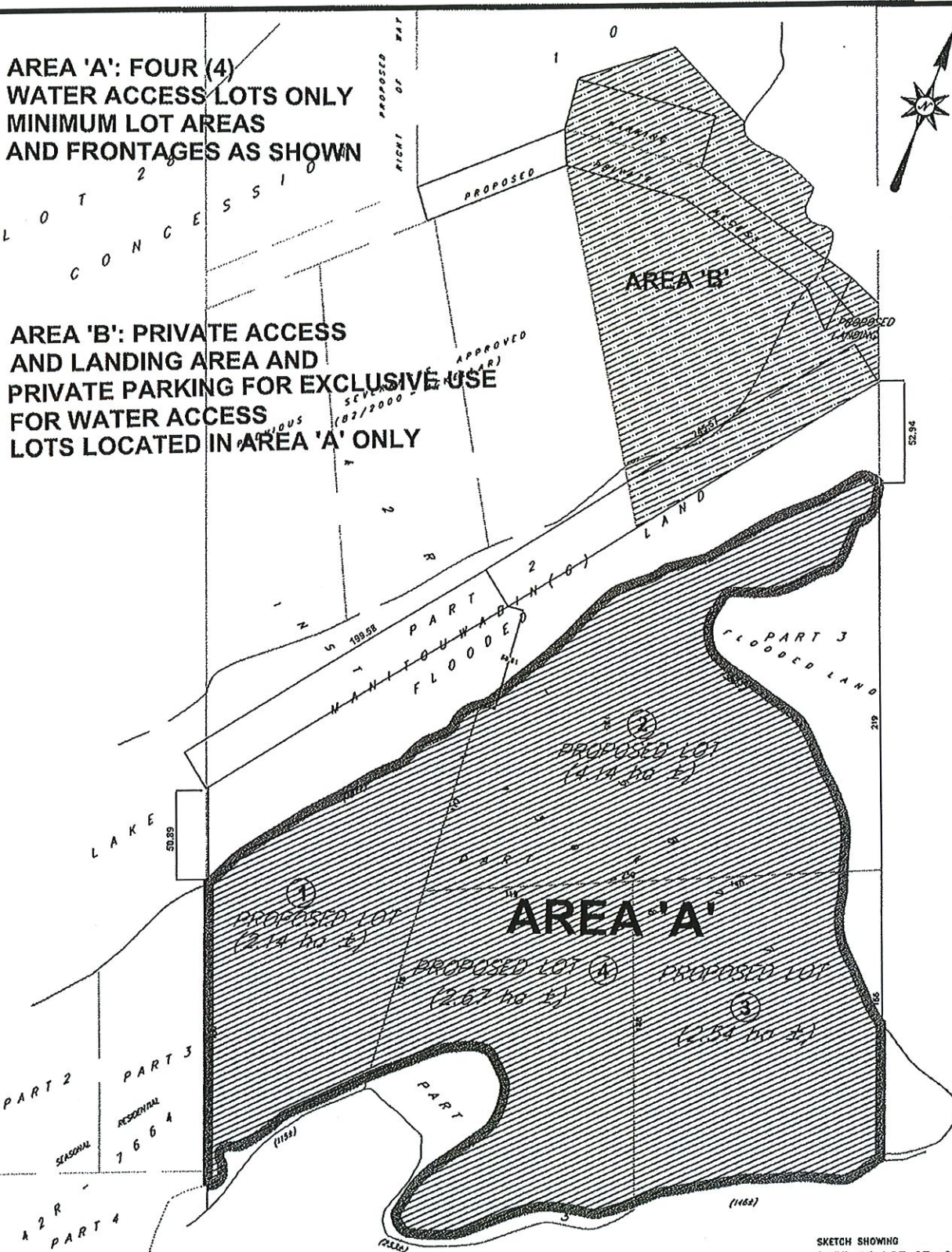
Legend

- * Nesting Site
- Endangered and Threatened Species
- Deer Wintering Habitat
- Mineral Aggregate
- Type 1 Fish Habitat
- Rural
- Waterfront
- Special Policy Section 25.2
- Conservation Reserves
- Crown



**AREA 'A': FOUR (4)
WATER ACCESS LOTS ONLY
MINIMUM LOT AREAS
AND FRONTAGES AS SHOWN**

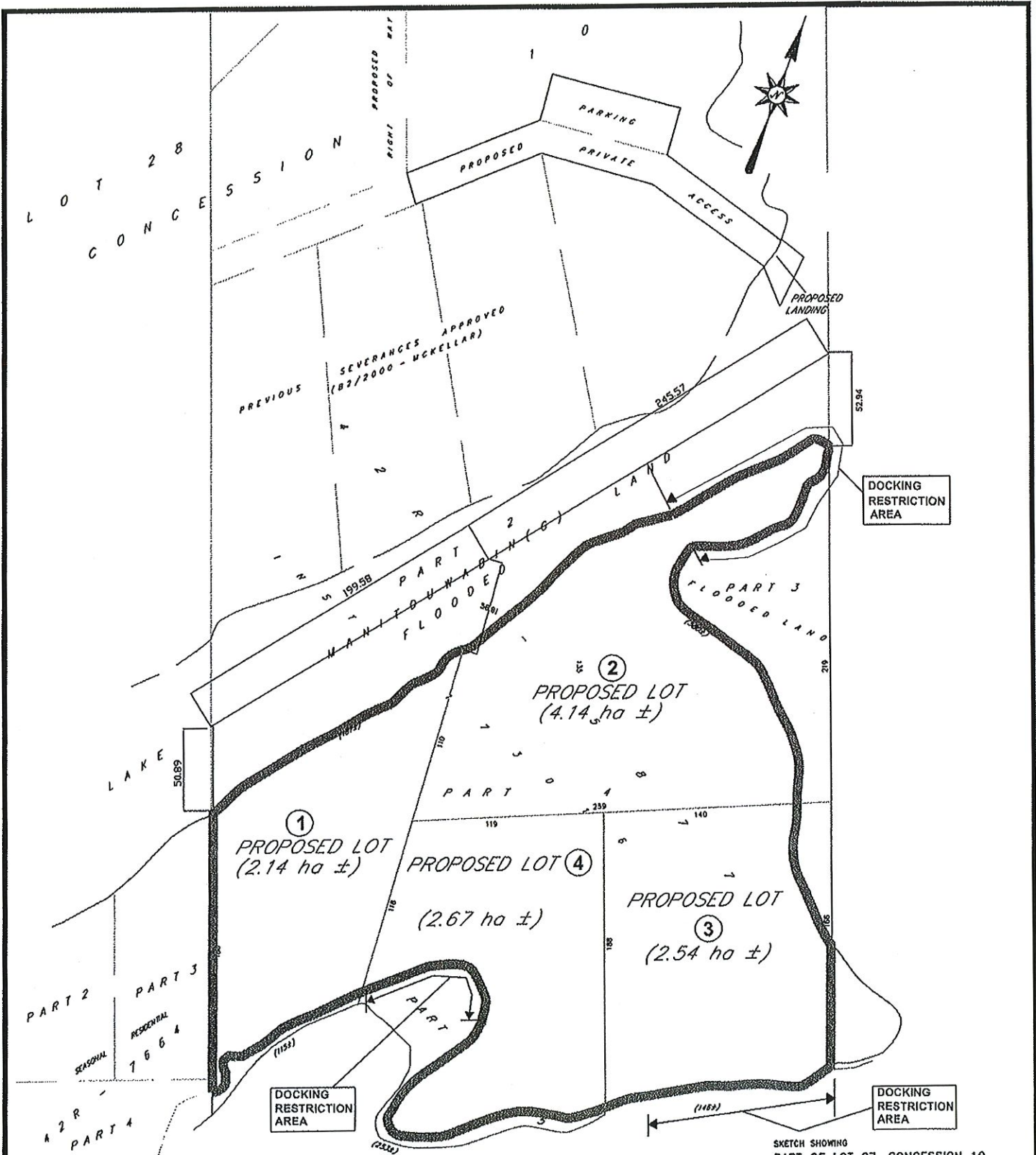
**AREA 'B': PRIVATE ACCESS
AND LANDING AREA AND
PRIVATE PARKING FOR EXCLUSIVE USE
FOR WATER ACCESS
LOTS LOCATED IN AREA 'A' ONLY**



**SCHEDULE "B"
to the Official Plan
for the Township of McKellar**

SKETCH SHOWING
PART OF LOT 27, CONCESSION 10
TOWNSHIP OF MCKELLAR
DISTRICT OF PARRY SOUND





SCHEDULE "C"
to the Official Plan
for the Township of McKellar



DOCK AND BOATHOUSE CONSTRUCTION

Fisheries and Oceans Canada
Ontario Operational Statement

Version 3.0

Docks and boathouses are common features on the shorelines of lakes and rivers in Canada and are an important part of the recreational use of our waterways. This Operational Statement applies to docks which consist of floating platforms or those supported by pipes, poles, wooden cribs or cantilever arms. The shoreline area in front of your cottage or waterfront property is also important habitat for a variety of aquatic organisms, including fish. Fish lay their eggs, feed and hide from predators in these shoreline areas.

Building a dock or boathouse along your waterfront can impact this important habitat by covering spawning habitat, removing rocks and logs that provide shelter, causing erosion and sedimentation from bank disturbance, introducing deleterious substances if improper building materials are used and disrupting sensitive fish life stages.

Fisheries and Oceans Canada (DFO) is responsible for protecting fish and fish habitat across Canada. Under the *Fisheries Act* no one may carry out a work or undertaking that will cause the harmful alteration, disruption or destruction (HADD) of fish habitat unless it has been authorized by DFO. By following the conditions and measures set out below you will be in compliance with subsection 35(1) of the *Fisheries Act*.

The purpose of this Operational Statement is to describe the conditions under which it is applicable to your project and the measures to incorporate into your project in order to avoid negative impacts to fish habitat. You may proceed with your dock or boathouse project without DFO review when you meet the following conditions:

- you are not working within the following areas/water bodies where this Operational Statement does not apply: waters within areas under Parks Canada's jurisdiction, including the Trent-Severn Waterway and the Rideau Canal system,
- it is a new, repair or rebuild of a floating, cantilever or post dock or boathouse,
- it is a new, repair or rebuild of an open-faced crib dock or boathouse built entirely on natural bedrock or sand bottom with a total combined footprint (for both existing and proposed cribs) of 15 square metres (161 ft²) or less,
- the total surface area for the entire dock and boathouse, which occurs in a location below the ordinary high water mark (HWM) (see definition below), including both existing and proposed structures combined, does not exceed 50m² (538 ft²), unless the structure is built entirely over natural bedrock or sand bottom (not supporting aquatic vegetation),
- it is not made of concrete or steel sheeting or any other skirting that isolates the inside of the crib from the rest of the water,
- it does not require any dredging, blasting or infilling in the water body,
- the combined width for all existing and proposed shoreline improvements on land and in water (docks, boathouses and

beaches) is less than 25% of the property's riparian area width (shoreline frontage width), and

- you incorporate the *Measures to Protect Fish and Fish Habitat when Building your Dock and Boathouse* listed below in this Operational Statement.

If you cannot meet all of the conditions listed above and cannot incorporate all of the measures listed below then your project may result in a violation of subsection 35(1) of the *Fisheries Act* and you could be subject to enforcement action. In this case, you should contact your Conservation Authority, or the DFO office in your area (see Ontario DFO office list), if you wish to obtain an opinion on the possible options you should consider to avoid contravention of the *Fisheries Act*.

You are required to respect all municipal, provincial or federal legislation that applies to the work being carried out in relation to this Operational Statement. The activities undertaken in this Operational Statement must also comply with the *Species at Risk Act* (www.sararegistry.gc.ca). If you have questions regarding this Operational Statement, please contact one of the agencies listed above.

We ask that you notify DFO, preferably 10 working days before starting your work by filling out and sending the Ontario Operational Statement notification form (www.dfo-mpo.gc.ca/regions/central/habitat/os-oo/prov-terr/index_e.htm) to the DFO office in your area. This information is requested in order to evaluate the effectiveness of the work carried out in relation to this Operational Statement.

Measures to Protect Fish and Fish Habitat when Building your Dock and Boathouse

1. Use existing trails, roads, or cut lines wherever possible to avoid disturbance to the riparian vegetation (i.e., vegetation that occurs adjacent to the watercourse).
2. While this Operational Statement does not cover the clearing of riparian vegetation, the removal of select plants may be necessary to access the construction site. This removal should be kept to a minimum.
3. The construction of boathouses above the HWM is strongly encouraged in order to minimize impacts to fish habitat.
4. Floating, cantilever and post docks, and marine railways on posts for boathouse access, can be installed at any time.
5. Time the installation of crib docks to prevent disruption of sensitive fish life stages by adhering to appropriate

fisheries timing windows (see the *Ontario In-Water Construction Timing Windows*).

6. Construct cribs in an open-faced manner and fill with large rocks that provide crevices for fish and other small organisms. Leave enough space between cribs (two metres) and locate them at least two metres from the HWM to allow near shore water to circulate.
7. Do not take materials (e.g., rock, logs) to build the dock from the shoreline, from below the HWM or from any water body.
8. If rocks, stumps or logs need to be moved on the lake or river bottom or shoreline to build the dock, they should be relocated to an area of similar depth and not removed altogether from the bottom or shoreline.
9. Install effective sediment and erosion control measures before starting work to prevent the entry of sediment into the watercourse. Inspect them regularly during the course of construction and make all necessary repairs if any damage occurs.
 - 9.1. Avoid doing work during wet and rainy periods.
10. Use untreated materials (e.g. cedar, tamarack, hemlock, rocks, plastic, etc.) as supports for dock structures that will be submerged in water. Treated lumber may contain compounds that can be released into the water and become toxic to the aquatic environment.
 - 10.1. Use only treated lumber that is environmentally-friendly (see definition below) for dock structures that are above water.
 - 10.2. Cut, seal and stain all lumber away from the water using only environmentally-friendly stains (see definition below). All sealed and stained lumber should be completely dry before being used near water.
 - 10.3. Ensure plastic barrel floats are free of chemicals inside and outside of the barrel before they are placed in water.
11. Wherever possible, construct the dock either from a barge or float on the water or through the ice instead of using machinery from the bank of the water body.
12. Operate machinery on land (from outside of the water) and in a manner that minimizes disturbance to the banks of the water body.
 - 12.1. Machinery is to arrive on site in a clean condition and is to be maintained free of fluid leaks.
 - 12.2. Wash, refuel and service machinery and store fuel and other materials for the machinery away from the water to prevent any deleterious substance from entering the water.
 - 12.3. Keep an emergency spill kit on site in case of fluid leaks or spills from machinery.
 - 12.4. Restore banks to original condition if any disturbance occurs.
13. If a concrete abutment is needed to secure your dock to land install it entirely on land, above the HWM. The concrete is to be pre-cast and cured away from the water before use to prevent seepage of potentially toxic substances into the water body.

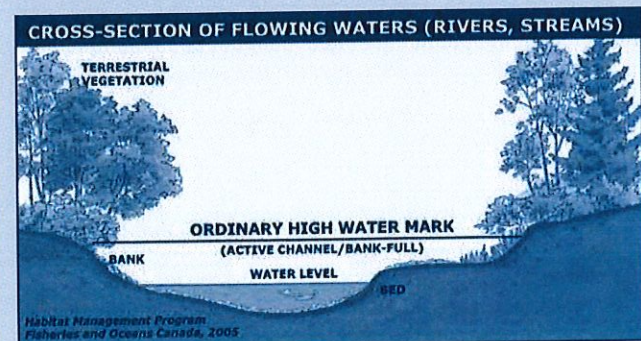
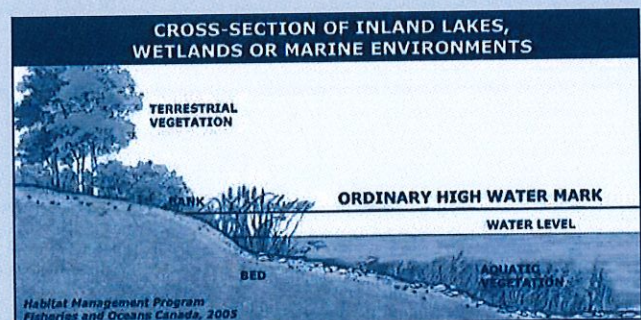
14. Prevent deleterious substances such as uncured concrete, grout, paint, sediment and preservatives from entering the water body or storm drains.
15. Vegetate any disturbed areas by planting and seeding preferably with native trees, shrubs or grasses and cover such areas with mulch to prevent erosion and to help seeds germinate. If there is insufficient time remaining in the growing season, the site should be stabilized (e.g., cover exposed areas with erosion control blankets to keep the soil in place and prevent erosion) and vegetated the following spring.
 - 15.1. Maintain effective sediment and erosion control measures until re-vegetation of disturbed areas is achieved.

If you would like more detailed information on fish-friendly dock construction and maintenance practices to help you plan your project, please refer to the following document: *The Dock Primer - A Cottager's Guide to Waterfront-Friendly Docks* www.dfo-mpo.gc.ca/regions/central/pub/index_e.htm (Ontario Edition).

Definitions:

Ordinary high water mark (HWM) – The usual or average level to which a body of water rises at its highest point and remains for sufficient time so as to change the characteristics of the land. In flowing waters (rivers, streams) this refers to the “active channel/bank-full level” which is often the 1:2 year flood flow return level. In inland lakes, wetlands or marine environments it refers to those parts of the water body bed and banks that are frequently flooded by water so as to leave a mark on the land and where the natural vegetation changes from predominately aquatic vegetation to terrestrial vegetation (excepting water tolerant species). For reservoirs this refers to normal high operating levels (Full Supply Level).

For the Great Lakes this refers to the 80th percentile elevation above chart datum as described in DFO's *Fish Habitat and Determining the High Water Mark on Lakes*.



Environmentally-friendly lumber and stains – Chemical wood preservatives used in Canada are regulated by the Pest Management Regulatory Agency, Health Canada. Approved preservatives used most commonly in lumber are Alkaline Copper Quaternary (ACQ) and Copper Azole (CA). Creosote treated wood should not be used in or near water. Ask your local building supply outlet for further information on available products.

FISHERIES AND OCEANS CANADA OFFICES IN ONTARIO

Southern Ontario District

Burlington

Fisheries and Oceans Canada
3027 Harvester Road, Suite 304
P.O. Box 85060
Burlington, ON L7R 4K3
Telephone: (905) 639-0188
Fax: (905) 639-3549
Email: ReferralsBurlington@DFO-MPO.GC.CA

London

Fisheries and Oceans Canada
73 Meg Drive
London, ON N6E 2V2
Telephone: (519) 668-2722
Fax: (519) 668-1772
Email: ReferralsLondon@DFO-MPO.GC.CA

Eastern Ontario District

Peterborough

Fisheries and Oceans Canada
501 Towerhill Road, Unit 102
Peterborough, ON K9H 7S3
Telephone: (705) 750-0269
Fax: (705) 750-4016
Email: ReferralsPeterborough@DFO-MPO.GC.CA

Prescott

Fisheries and Oceans Canada
401 King Street West
Prescott, ON K0E 1T0
Telephone: (613) 925-2865
Fax: (613) 925-2245
Email: ReferralsPrescott@DFO-MPO.GC.CA

Northern Ontario District

Parry Sound

Fisheries and Oceans Canada
28 Waubeek Street
Parry Sound, ON P2A 1B9
Telephone: (705) 746-2196
Fax: (705) 746-4820
Email: ReferralsParrySound@DFO-MPO.GC.CA

Sudbury and Sault Ste. Marie

Fisheries and Oceans Canada
1500 Paris Street, Unit 11
Sudbury, ON P3E 3B8
Telephone: (705) 522-2816
Fax: (705) 522-6421
Email: ReferralsSudbury@DFO-MPO.GC.CA

Thunder Bay and Kenora

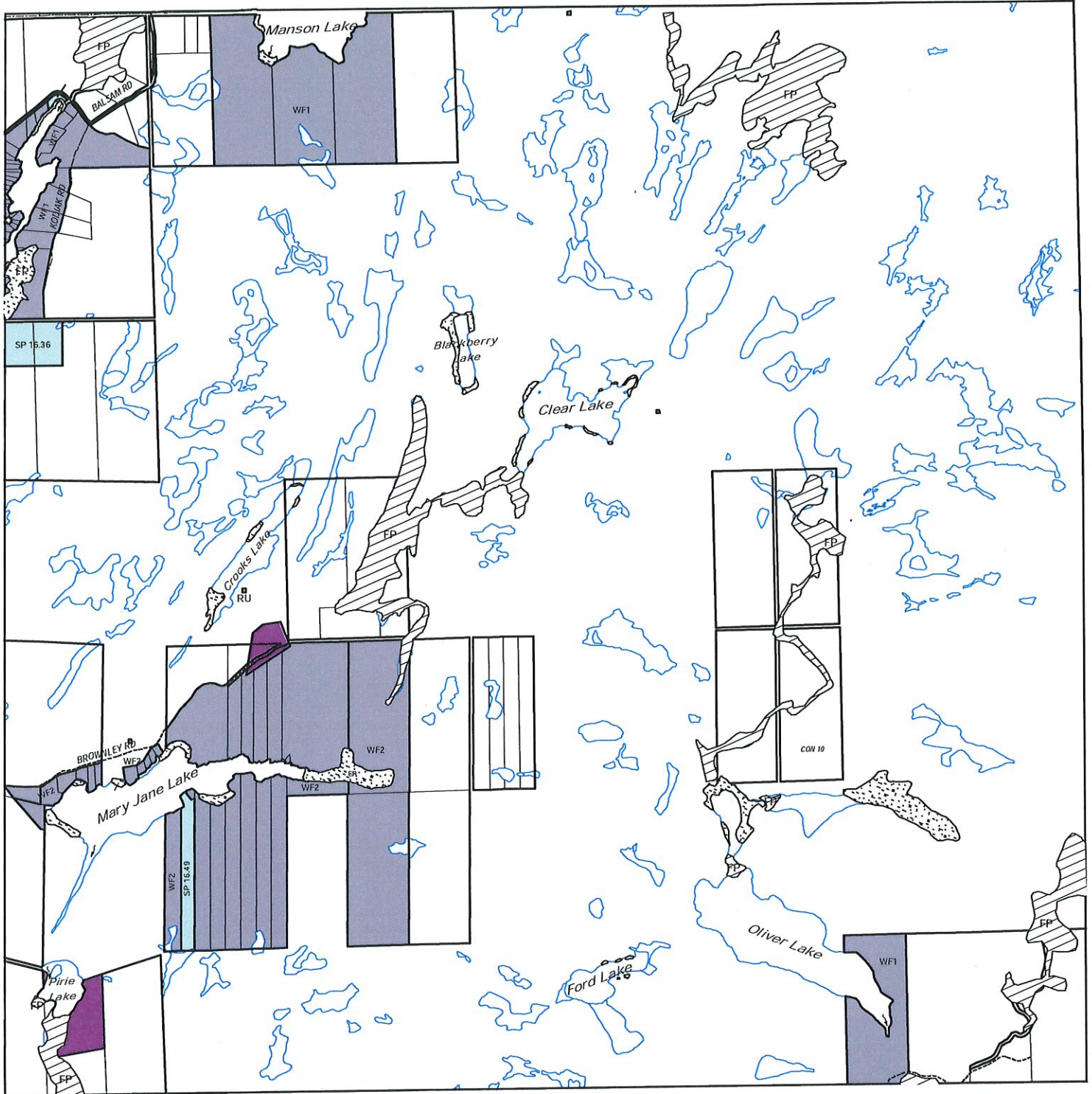
Fisheries and Oceans Canada
Thunder Bay Office
100 Main Street, Suite 425
Thunder Bay, ON P7B 6R9
Telephone: (807) 346-8118
Fax: (807) 346-8545
Email: ReferralsThunderBay@DFO-MPO.GC.CA

Aussi disponible en français

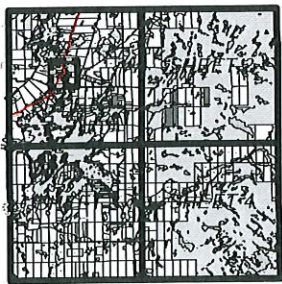
http://www.dfo-mpo.gc.ca/oceans-habitat/habitat/modernizing-moderniser/epmp-pmpe/index_f.asp

TOWNSHIP OF McKELLAR

SHEET 2 TO ZONING BY-LAW No. 95-12



ZONING BY-LAW No. 95-12
(AS AMENDED)
TOWNSHIP OF McKELLAR

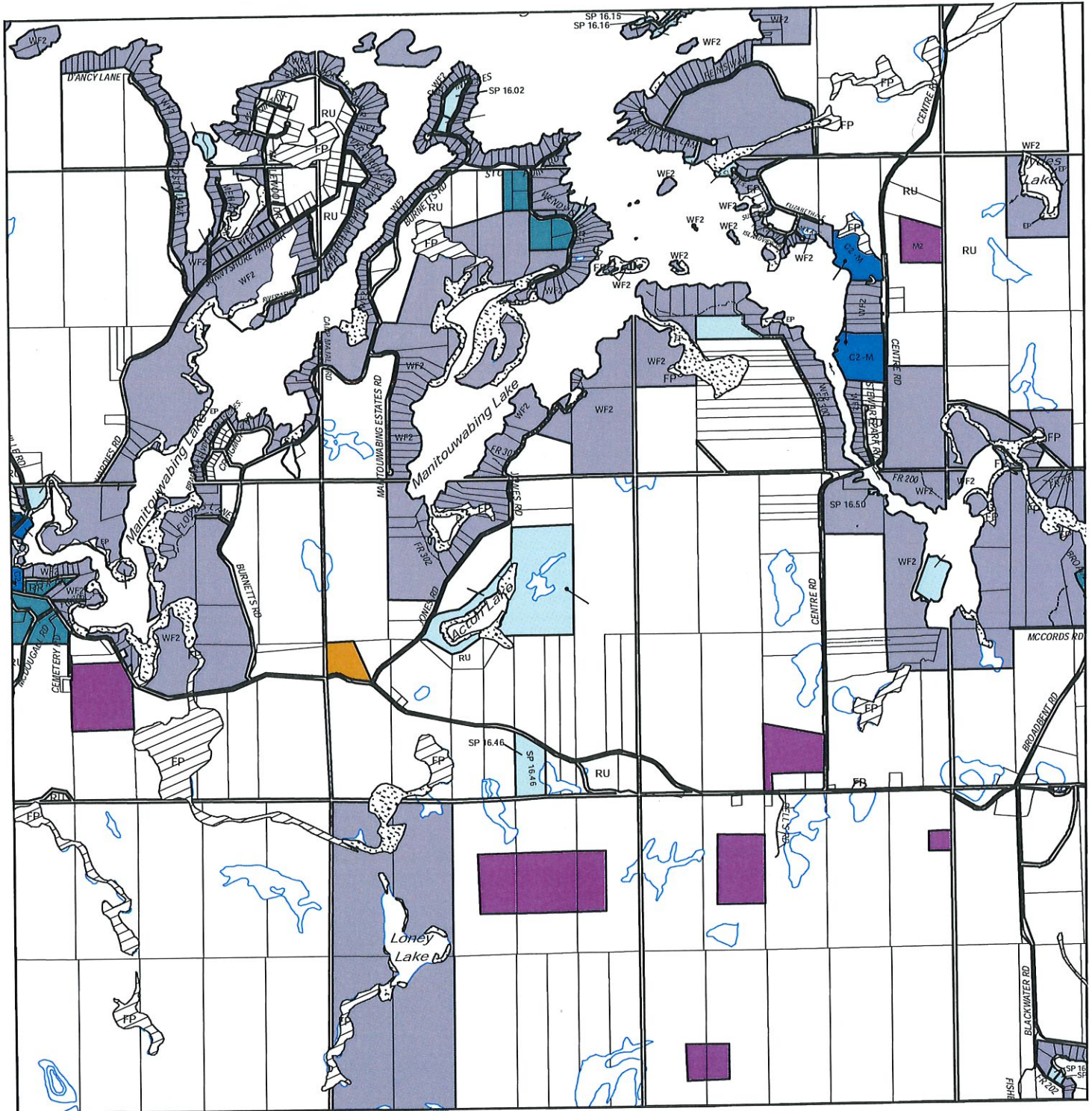


Roads	
—	Year Round
- - -	Seasonal
—	Highway
- - -	Private

Zoning Symbols			
	General Commercial (C1)		Multiple Residential (RM)
	Tourist Commercial (C2)		Rural Residential (RR)
	Industrial (M1)		Rural (RU)
	Industrial Pit (M2)		Special Provision (SP)
	Landfill (M3)		Waterfront (WF)
	Open Space (OS)		Environmental Protection (EP)
	Flood Plain (FP)		

TOWNSHIP OF McKELLAR

SHEET 3 TO ZONING BY-LAW No. 95-12



ZONING BY-LAW No. 95-12
(AS AMENDED)
TOWNSHIP OF McKELLAR

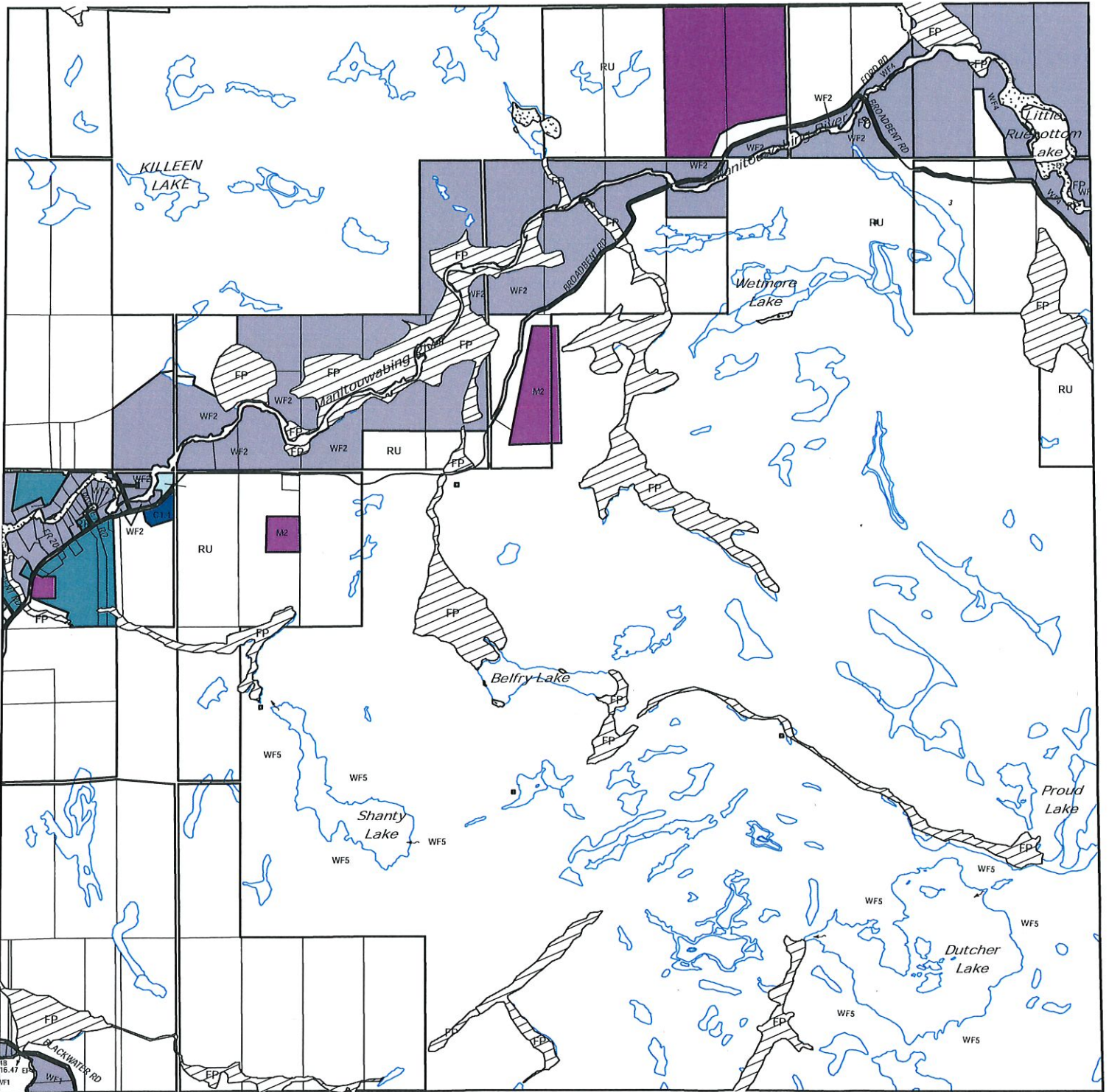


Roads	
—	Year Round
- - -	Seasonal
—	Highway
- - -	Private

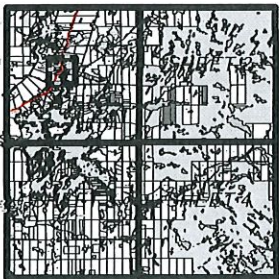
Zoning Symbols			
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	Tourist Commercial (C2)		Rural Residential (RR)
	Industrial (M1)		Rural (RU)
	Industrial Pit (M2)		Special Provision (SP)
	Landfill (M3)		Waterfront (WF)
	Open Space (OS)		Flood Plain (FP)
	Environmental Protection (EP)		

TOWNSHIP OF McKELLAR

SHEET 4 TO ZONING BY-LAW No. 95-12



ZONING BY-LAW No. 95-12
(AS AMENDED)
TOWNSHIP OF McKELLAR



Roads	
—	Year Round
- - -	Seasonal
—	Highway
---	Private

Zoning Symbols			
	General Commercial (C1)		Multiple Residential (RM)
	Tourist Commercial (C2)		Rural Residential (RR)
	Industrial (M1)		Rural (RU)
	Industrial Pit (M2)		Special Provision (SP)
	Landfill (M3)		Waterfront (WF)
	Open Space (OS)		Flood Plain (FP)
	Flood Plain (FP)		Environmental Protection (EP)

2.16 **Building:** means any edifice used or intended to be used for shelter, accommodation or the enclosure of *persons*, animals or chattels other than a fence or wall.

Cottage, Rental: means a tourist establishment that has a *building* to accommodate one or more guests that:

- a) contains at least two rooms; and,
- b) that may or may not contain facilities for guests to prepare and cook food.

2.57 **Floor Area:** means the space on any *storey* of a *building* between exterior walls and required firewalls, including the space occupied by interior walls and partitions, any attached *private garage*, *carport*, storage area, breezeway, porch, veranda, but does not include the space occupied by exits, vertical service spaces and their enclosing assemblies, a *basement*, a *cellar*, an attic or a *boathouse*, unenclosed attached porch or unenclosed attached veranda.

2.58 **Floor Area, Ground:** means the *floor area* of the first *storey* of any *building* or *structure* and it includes, in the case of a *dwelling unit*, the area of any attached *private garage*, enclosed attached porch or enclosed attached veranda.

2.59 **Floor Area, Gross:** means the sum total of the gross horizontal areas of all *storeys* of all *buildings* excluding attics and *basements* when used solely for the purpose of storage.

2.142 **Tourist Establishment:** includes *buildings*, *structures* or uses operated to provide sleeping accommodation for the travelling public or sleeping accommodation for the use of the public engaging in recreational activities, and includes the services and facilities in connection with which sleeping accommodation is provided, and includes lodges, rental cottages, trailer parks, a camping establishment, a hotel, a motel, and other similar uses, as defined in this By-law, as amended, for the Township of McKellar, but does not include fractional development project use, condominium use, and other similar uses, as defined in this By-law, as amended, for the Township of McKellar.

2.168 Use, Permitted as-of-right: means a use which is listed as a "permitted use" in any given zone in this By-law. Such use shall be allowed to be established within that zone, subject solely to the specific requirements of this By-law, as amended.

3.14 Flood Plain Requirements

No *building* or *structures* which are to be used for human habitation shall be permitted below the theoretical flood elevation on the shores of any lakes.

Parking areas shall conform to the following provisions:

- (i) the *parking area* shall be located on the same *lot* as the use it is intended to serve, except in the case of a water access *lot* where the *parking area* shall be located in a zone where such use is permitted by this By-law or within 500 metres of the *lot* it is intended to serve in the case of a commercially zoned property;

each *parking space* shall be at least 3 metres by 6 metres and shall be provided with unobstructed access to a *street* directly or by way of a driveway, aisle, lane or private road;

Tourist Establishment Regulations

Notwithstanding the provisions of this By-law, the following special provisions shall also apply to new and expanding or enlarging *tourist establishments* on the waterfront and located in the General Commercial and Tourist Commercial (C2) Zones.

(a) Waterbody Size (Where Applicable)

Tourist establishments on the waterfront in the General Commercial Zones and Tourist Commercial (C2) Zone within the Township of McKellar, shall not be located next to lakes which are smaller than 19ha in surface area.

(b) Minimum Frontage on *Navigable*

Water (Where Applicable)

The minimum water frontage required for *tourist establishments* on water in the General Commercial Zones and Tourist Commercial (C2) Zone shall be 100 metres or 2 metres for each *person* that can be accommodated or 20 metres for each 5 *campsites*; whichever results in the greater requirement. For the purpose of this By-law, every bedroom will generate 2 *persons*. For the purposes of determining the number of *persons* accommodated, this provision does not include owners or employees of *tourist establishments*.

(c) Minimum *Lot Size*

The minimum *lot size* for *tourist establishment* in the General Commercial Zones and Tourist Commercial (C2) Zone shall be 2 hectares or one hectare for each 20 *persons* that may be accommodated or fraction thereof; whichever is a greater requirement. For the purpose of this By-law, every bedroom will generate 2 *persons* and every *campsite* will generate 3 *persons*. For the purposes of determining the number of persons accommodated, this provision does not include owners or employees of *tourist establishments*.

d) Parking

Each *tourist establishment* in the General Commercial Zones and Tourist Commercial (C2) Zone shall provide at least one parking space for each tent or trailer site, housekeeping cottage, motel, hotel or efficiency unit.

SECTION 9 - TOURIST COMMERCIAL (C2) ZONE

9.01 Uses Permitted

No *person* shall within the Tourist Commercial (C2) Zone, use any *lot*, or *erect*, alter or use any *building* or *structure* for any purpose except one or more of the following uses:

a) Residential Uses

a *dwelling unit* or units in accordance with the provisions of Section 3.11 of this By-law;
a *home occupation*;

a *home industry*; or

(b) Commercial Uses

a *lodge*;

rental cottages;

a *tourist establishment*;

a *trailer park*; a *hotel/motel*; a *restaurant*;

a *parking area*;

a *camping establishment*; or

a *convenience store*.

9.02 Zone Requirements

No *person* shall within the Tourist Commercial (C2) Zone, use any *lot*, or *erect*, alter or use any *building* or *structure* except in accordance with Schedule 'B' - Zone Requirements Table as applicable to this C2 Zone, or in accordance with the provisions of any applicable paragraph of Section 16 -Special Provisions.

SECTION 15 - FLOOD PLAIN (FP) ZONE

15.01 Uses Permitted

No *person* shall within the Flood Plain (FP) Zone, use any *lot*, or *erect*, alter or use any *building* or *structure* for any purpose except one or more of the following uses:

a) Rural Uses

a *farm* excluding any *buildings* or

structures;

an *aviary, arboretum, nursery garden* or forestry operation except that no *structures* shall be permitted in this zone, except *dock, boathouse* and flood and erosion control *structures;* and *pumphouses* having a maximum area of 0.9 square metres.

15.02 Zone Requirements

No *person* shall within the Flood Protection (FP) Zone, use any *lot*, or *erect*, alter or use any *building* or *structure* except in accordance with Schedule 'B' - Zone Requirements Table as applicable to the FP Zone, or in accordance with the provisions of any applicable paragraph of Section 16 -Special Provisions.

SECTION 14 - ENVIRONMENTAL PROTECTION

(EP) ZONE

14.01 Uses Permitted

No *person* shall within the Environmental Protection (EP) Zone, use any *lot*, or *erect*, alter or use any *building* or *structure* for any purpose except one or more of the following uses:

a) Rural Uses

a farm but not a specialized use farm as defined in this By-law;
a dock, boathouse, pumphouse or sauna provided authorization is received from any relevant government agency.

b) Open Space Uses

an area for the protection of an environmental hazard such *asjish-habitat* and *wildlife habitat;* or,
a conservation area primarily for the location of flood control, bank stabilization or erosion protection *structures* or projects.

14.02 Zone Requirements

No *person* shall within the Environmental Protection (EP) Zone, use any *lot*, or *erect*, alter or use any *building* or *structure* except in accordance with Schedule 'B' - Zone Requirements Table as applicable to this EP Zone, or in accordance with the provisions of any applicable paragraph of Section 16 -Special Provisions.

NOTICE OF A PUBLIC MEETING
PROPOSED ZONING BY-LAW AMENDMENT TOWNSHIP OF MCKELLAR

TAKE NOTICE that the Township of McKellar deemed the following application to amend the Township's Zoning By-law 95-12 a Complete Application under Section 34 of the Planning Act on (add date).

AND FURTHER TAKE NOTICE that pursuant to section 34 (10.7) of the Planning Act, the application file is available to the public for inspection. Please contact the Township Clerk/Administrator at 705-389-2842 to make an appointment to inspect the file or to request a copy of the material.

TAKE NOTICE that the Council of the Corporation of the Township of McKellar will hold a Public Meeting on (insert date), 2022, to consider a proposed Zoning By-law Amendment under Section 34 of the Planning Act, R.S.O. 1990.

Time: 6:00 p.m.

Location: McKellar Council Chamber

Note: This meeting is open to the public and will be held in the Township Council Chambers located at 701 Highway 124, McKellar Ontario (McKellar Community Centre). Additionally, a Zoom link will be provided and interested parties may participate by following the instructions provided on the website.

THE PURPOSE of the proposed Zoning By-law Amendment, as filed by the land owner, is to rezone the property, locally known as 154 Centre Road and legally described as PT LT 22-23 CON 11, from the Waterfront 2 (WF2) Zone to a site-specific Tourist Commercial (C2) (C2-SP) Special Provision Zone.

THE EFFECT of the proposed rezoning is to create a site-specific "Tourist Commercial" zone to allow for a "Tourist Commercial Establishment" comprised of a maximum of 6 rental cottages, in addition to the existing detached dwelling and accessory buildings/structures. The site-specific zoning is proposed to include various building setbacks to the Middle River and building setbacks to lands designated as environmental protection/floodplain. The proposal will also address access, parking, and the provision of municipal and other services. The lands are also subject to siteplan control as a further measure to ensure the protection of natural heritage features and ensure that the proposed development will have minimal impact on surrounding lands.

Please refer to the opposite side of this Notice for a key map showing the land to which the proposed Zoning By-law Amendment will apply.

IF YOU WISH TO BE NOTIFIED of the decision of the Council of the Township of McKellar regarding the proposed Zoning By-law Amendment, you must make a written request to the Clerk/Administrator, c/o The Township of McKellar, P.O. Box 69, McKellar, Ontario, P0G 1C0.

IF YOU WISH TO APPEAL, a copy of the appeal form is available from the OLT website at olt.gov.on.ca. Only individuals, corporations and public bodies may appeal to the Ontario Land Tribunal. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or the group on its behalf.

No person or public body shall be added as a party to the hearing of the appeal unless, before the by-law was passed, the person or public body made oral submissions at a public meeting or written submissions to the Council or, in the opinion of the Ontario Land Tribunal, there are reasonable grounds to add the person or public body as a party.

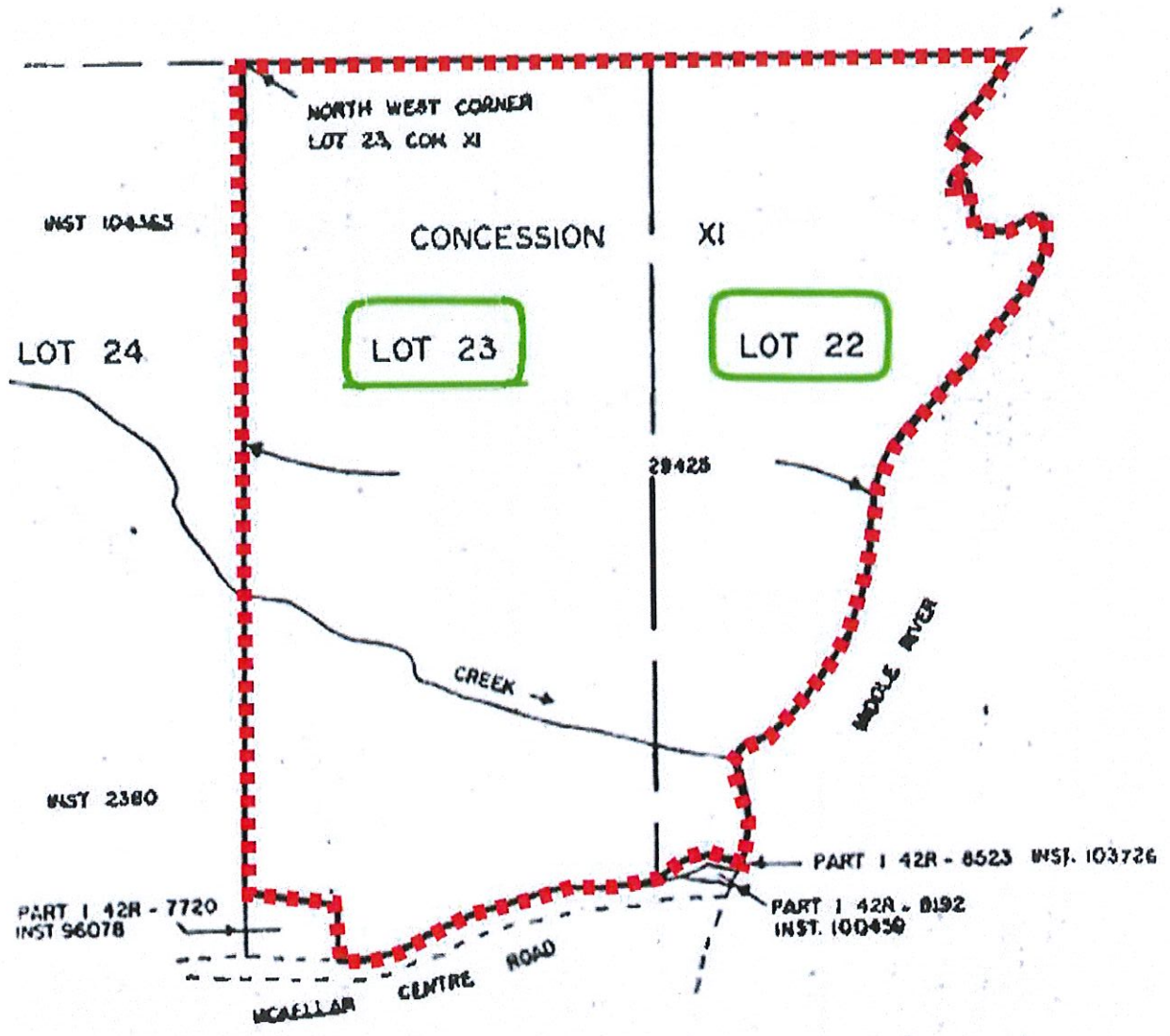
The Notice of Appeal must:

- 1) set out reasons for the appeal; and
- 2) be accompanied by a fee in the amount of \$1,100.00 per application, payable to the Minister of Finance, or you may seek a **Request for Lower Fee** (\$400.00) if you are a private citizen, a registered charity or a non-profit ratepayer's association. (The Request for Lower Fee form is available on the Ontario Land Tribunal website.)

ADDITIONAL INFORMATION respecting the application is available by calling the Township Office during normal office hours.

DATED at the Municipal Office this (insert day) day of (insert month), 2022.

Ina Watkinson, Clerk/Administrator, Township of McKellar P.O. Box 69 McKellar, Ontario, P0G 1C0
Phone (705)389-2842



154 Centre Road, McKellar, Ontario

Summary of Application for Zoning By-law Amendment

Subject Land: 154 Centre Road, McKellar Township

Owners: Ohad Slama and Eran Gurvich

Current Zoning: WF-2 (Waterfront 2), EP (Environmental Protection), FP (Flood Plain)

Existing Uses:

The property is 48 hectares (118.6 acres) in area with 290 m (951.44 feet) frontage on Centre Road and over 800 m (2624.67 feet) frontage on the Middle River. There are also 4 private ponds on the property that range in size from 0.09 ha to 1.15ha. (0.2 – 2.8 acres). There is a single detached dwelling, barn/workshop, 2 stables, a greenhouse, chicken coop, pumphouse, Bunkie and outdoor wood furnace.

Purpose of Zoning Amendment:

To rezone part of the property from WF-2 (Waterfront 2) to Tourist Commercial Exception (#) (C2-E (#) to permit a maximum of 6 Rental Cottages each with a maximum gross floor area of 100 square metres. The EP (Environmental Protection), and FP (Flood Plain) Zones will remain in place. Parking for the proposed use will be provided on-site. The existing residence and accessory buildings will also remain.

An application for a Site Plan Control Agreement has also been submitted concurrently with the Zoning By-law Amendment application.

Proposed Uses:

- The existing small Bunkie, located on one of the interior ponds, will be removed. All other existing structures will remain.
- A maximum of 6 Rental Cottages each with a maximum gross floor area of 100 square metres.
- The Rental Cottages will be dispersed throughout the property as shown on the attached Imagery.
- Each Rental Cottage will have a kitchen, bathroom, living area, and a maximum of 3 bedrooms to sleep a maximum of 6 people.
- The Rental Cottages will be a combination of wood framed buildings, and other structures such as yurts and geodesic domes, which meet the Ontario Building Code.

- Some will have hydro service and others will be solar powered.
- They will have approved sewage disposal systems in the form of incinerating toilets and grey water pits.
- The Rental Cottages will be supplied with potable water.
- Some of the Rental Cottages will front on the private ponds and others will front on the Middle River, with appropriate building setbacks, and may have restricted floating docks for lounging, swimming, canoeing, and kayaking.
- Identified fish and wildlife habitat will be carefully protected.
- It is the intent that the Rental Cottages will be available on a year-round basis.

Studies Completed:

1. FRI Ecological Services prepared a “Preliminary Natural Heritage Feature Screening and Impact Assessment” Report. FRI assessed the Habitat of Endangered and Threatened Species, Significant Wetlands and other Wetlands, Significant Wildlife Habitat, and Fish Habitat; and provided mitigation measures to ensure that the policies of the Provincial Policy Statement 2020 are met. Charts identifying the Natural Heritage Features and proposed mitigation measures are attached.

2. Clearwater Planning Inc. prepared a “Planning Rationale” Report which demonstrates how the proposed re-zoning:

- a. Conforms with the Growth Plan for Northern Ontario
- b. Is consistent with the Provincial Policy Statement
- c. Conforms with the Township of McKellar Official Plan with respect to Tourist Commercial Uses, protection of Natural Heritage Features and proper development in relation to lands subject to flooding
- d. Is appropriate for the development of the Property, and
- e. Represents good Planning

Agencies Consulted:

1. North Bay Mattawa Conservation Authority, Manager of On-Site Sewage System Program who confirmed that an approved grey water pit for each Rental Cottage would be an option assuming all code requirements can be met.

2. North Bay Parry Sound District Health Unit, who advised that to supply water to the public, the Owner will be required to give Notice to Operate a Small Drinking Water System, once they

are ready to start operating.

3. Township of McKellar, Director of Operations who advised that the existing entrance and driveway off Centre Road may require some upgrading for the new Tourist Commercial use.

Proposed Amendments to the Zoning By-law:

To ensure consistency with Provincial Policy and conformity with Official Plan policies, the following draft Zoning By-law Amendment and Site Plan Control Agreement clauses are proposed:

1. Amend Schedule A to remove the WF2 Symbol and put the zoning symbol C2-E (#) in its place. There will be no change to the EP and FP zones on the property.

2. Add a new Section 16 Exception to By-law 95-12, as amended substantially as follows:

No person shall within the Tourist Commercial Exception (#) (C2-E (#)) Zone use any lot, or erect, alter or use any building or structure for any purpose except one or more of the following uses:

a) Residential Uses

- a dwelling unit or units in accordance with the provisions of Section 3.11 of this By-law
- a home occupation; or
- a home industry

b) Commercial Uses

- A maximum of 6 Rental Cottages, each with a maximum gross floor area of 100 square metres.

Proposed Site Plan Control Agreement Clauses:

Fri Environmental Services prepared a “Preliminary Natural Heritage Feature Screening and Impact Assessment” Report for the property. The recommendations in the report should be included in the Site Plan Control Agreement to ensure protection of the Natural Heritage Features on the property.

1. No Development or Site Alteration within 30 metres of the Wetlands or Type 1 Fish Habitat.

2. All buildings and structures to be setback a minimum of 30m from wetlands on and adjacent to the subject property.
3. No Development or Site Alteration within 30m of Type 1 Fish Habitat. Natural Vegetated Buffer to be maintained.
4. Where subsurface excavation is proposed for the creation of footings/foundation from June 1 to Oct 15 of any given year, the work area shall be isolated (using sediment fence or equivalent reptile exclusion fencing) prior to June 1st to preclude turtles from entering the active work area.
5. Work sites should be swept for turtles in advance of construction and any individuals found within the work area shall be relocated out of harm's way.
6. Aggregate stockpiles should be isolated on site from June 1 – July 31 using sediment fencing (or similar) immediately to prevent the creation of suitable nest sites.
7. Where minor vegetation removal and grubbing is required, this will take place from November 1 to March 31 of any given year. (Note: Minor vegetation removal is considered to be select clearing of trees smaller than 20 cm diameter at breast height (DBH), shrubs, and herbaceous vegetation only where necessary to accommodate construction and staging of the proposed structures.)
8. No trees greater than 20cm diameter at breast height (DBH) will be removed.
9. No blasting shall be used at any point during construction.
10. The Owner will ensure that the docks proposed for the Middle River will be consistent with the Federal Department of Fisheries and Oceans (DFO) Operational Statement for Constructing Boathouses and Docks.

Excerpts from the Natural Heritage Feature Screening and Impact Assessment

2. HABITAT OF ENDANGERED AND THREATENED SPECIES

The *Endangered Species Act, (2007)*², or ESA, affords protection to species at risk and their habitats and identifies tools to encourage protection and recovery activities. The ESA seeks to balance species' protection with social and economic considerations.

Species are assessed according to their risk of extinction and are designated as either endangered, threatened, or of special concern on the *Species at Risk in Ontario* list (Ont. Reg. 230/08). Those species listed as endangered or threatened receive both species and habitat protection. Proposed work that may impact endangered or threatened species or their habitat may be subject to authorizations under the ESA. Unlike their counter parts, those species listed as special concern do not receive specific habitat protection under the ESA. Any proposed work with potential to impact species of special concern should consider the provisions outlined in the 2020 PPS under considerations for Significant Wildlife Habitat

A list of species at risk (SAR) (4 endangered, 6 threatened) with potential to occur on the property is included in Table 1.

Table 1: END & THR SAR and/or their habitat with potential to be present on subject lands

Species	ESA Designation	Species and habitat likelihood on subject or adjacent lands*
Little Brown Myotis	Endangered	Probable
Northern Myotis	Endangered	Probable
Eastern Small-footed Myotis	Endangered	Unlikely
Tri-coloured Myotis	Endangered	Possible
Eastern Whip-poor-will	Threatened	Possible
Barn Swallow	Threatened	Possible
Blanding's Turtle	Threatened	Probable**
Bobolink	Threatened	Possible
Eastern Meadowlark	Threatened	Possible
Chimney Swift	Threatened	Possible

* Assumed absent – unsuitable habitat and possibility of presence negligible

Unlikely – conceivable but very improbable

Possible – some suitable habitat and no convincing evidence available to rule out potential presence

Probable – species not confirmed to be present but the available site information suggests a high likelihood for species' presence

Confirmed – observed presence or observed evidence of presence; also confirmed

** Based on the MNRF's General Habitat Description for Blanding's turtles, suitable wetlands on the property are considered habitat for the species. This is discussed in greater detail in Section

4. SIGNIFICANT WILDLIFE HABITAT

A desktop review of available information confirmed the presence of the Mary Jane Deer Yard on and adjacent the subject lands (Figure 3), mapped as a Stratum 2 Deer Wintering Area by MNR in 2011.

Deer Wintering habitat was identified during the desktop review of available information. In addition, the site has potential to support four significant wildlife habitat categories including seasonal concentration areas, rare vegetation communities and specialized habitats for wildlife, habitat for species of conservation concern, and animal movement corridors.

The Significant Wildlife Habitat Criteria Schedules for Ecoregion 5E were used to identify potential significant wildlife habitat.²⁰ Table 2 summarizes the potential significant wildlife habitat and recommendations to avoid potential impacts.

Table 2: Summary of Potential Significant Wildlife Habitat

	Significant Wildlife Habitat Type	SWH Category	Recommended Mitigation to Avoid Impacts
1	Waterfowl Stopover and Staging Areas (Aquatic)	Seasonal Concentration Areas	Development* to be setback 30m from all wetlands
2	Turtle Wintering Areas (Hibernacula)		See recommendations for Blanding's turtles
3	Colonially-Nesting Bird Breeding Habitat (Tree/Shrub/Ground)		Development* to be setback 30m from all wetlands Retention of all coniferous canopy trees >20cm DBH shall be retained
4	Deer Yarding Areas		Minor vegetation removal** and grubbing to occur from Nov 1 to March 31
5	Waterfowl Nesting Area	Specialized Habitat for Wildlife	Development* to be setback 30m from all wetlands Minor vegetation removal** and grubbing to occur from Nov 1 to March 31
6	Turtle Nesting Area		See recommendations for Blanding's turtles
7	Amphibian Breeding Habitat (Wetlands/Woodlands)		Development* to be setback 30m from all wetlands Minor vegetation removal** and grubbing to occur from Nov 1 to March 31
8	Marsh Bird Breeding Habitat		Development* to be setback 30m from all wetlands Minor vegetation removal** and grubbing to occur from Nov 1 to March 31
9	Special Concern and Rare Wildlife Species	See Table 3	

²⁰ Ontario Ministry of Natural Resources and Forestry. January 2015. Significant Wildlife Habitat Criteria Schedules for Ecoregion 5E. 45pp.

10	Amphibian Movement Corridors	Animal Movement Corridors	Amphibians, furbearers, and cervids can continue to move through the property unimpeded. No negative impacts anticipated
11	Furbearer & Cervid Movement Corridor		

* site-specific assessment of proposed locations for CSL detailed in Table 4 of this report

** minor vegetation removal is considered to be select clearing of trees smaller than 20dbh, shrubs, and herbaceous vegetation only where necessary to accommodate construction and staging of the proposed structures

Special Concern Species

There is potential for the following special concern species to be present on the site: Canada Warbler, Eastern Wood-pewee, Evening Grosbeak, Monarch, Olive-sided Flycatcher, Snapping Turtle, and Wood Thrush. Species listed as Special Concern do not receive specific habitat protection under the ESA, rather they are considered in Significant Wildlife Habitat discussions. Proposed work which may impact special concern species should consider the provisions outlined in the 2020 PPS and the Township’s OP.

Table 3: Summary of Potential species of conservation concern

Potential Special Concern (SC) Species	Recommended Mitigation to Avoid Negative Impacts
Snapping Turtle (<i>Chelydra serpentina</i>) (SC)	<ul style="list-style-type: none"> Recommended mitigation for Blanding’s turtle will serve to protect all snapping turtles
Canada Warbler (<i>Cardellina canadensis</i>), Eastern Wood-pewee (<i>Contopus virens</i>), Evening Grosbeak (<i>Coccothraustes vespertinus</i>), Olive-sided Flycatcher (<i>Contopus cooperi</i>), Wood Thrush (<i>Hylocichla mustelina</i>) (SC)	<ul style="list-style-type: none"> Minor vegetation removal and grubbing to occur from Nov 1 to March 31 (outside of active season) No negative impacts anticipated, species can continue to utilize the site and adjacent lands as before
Monarch (<i>Danaus plexippus</i>) (SC)	<ul style="list-style-type: none"> May be found using edge habitat No changes proposed to these areas and no negative impacts anticipated

5. FISH HABITAT

Based on the aerial imagery, there appear to be areas of open water wetland, watercourses, and private (dug) ponds present on and adjacent the property that all have a high potential to support fish habitat. The subject property is fronting on Middle River which functions as a hydrologic connection from Moffat Lake (upstream) to Lake Manitouwabing (downstream).

The amended federal *Fisheries Act* administered by the Department of Fisheries and Oceans Canada (DFO) came into force in August 2019. Subsection 35(1) requires that project activities

not result in the harmful alteration, disruption, or destruction of fish habitat (HADD), interpreted by DFO to include "any temporary or permanent change to fish habitat that directly or indirectly impairs the habitat's capacity to support one or more life processes of fish".

Projects near water that do not require a review by DFO include artificial waterbodies that aren't connected to a waterbody that contains fish at any time during any given year, including, but not limited to, private ponds. Development in or adjacent to the property's private, dug ponds will not negatively impact fish or fish habitat where there are no hydrologic connections to the surrounding areas of confirmed fish habitat. No additional mitigation is required.

MNRF has identified areas on and adjacent the property including where the land fronts on Middle River as supporting critical (Type 1) fish habitat (Figure 3). It is recommended that the CLSs proposed near the shoreline of Middle River are setback a minimum of 30m from the water's edge to avoid negative impacts to critical fish habitat. Where development is proposed closer than 30m from Type 1 fish habitat, it is recommended that a site inspection of the feature takes place to characterize the fish habitat form and function and assess, quantify, and offset (if applicable) any potential negative impacts of a reduced setback.

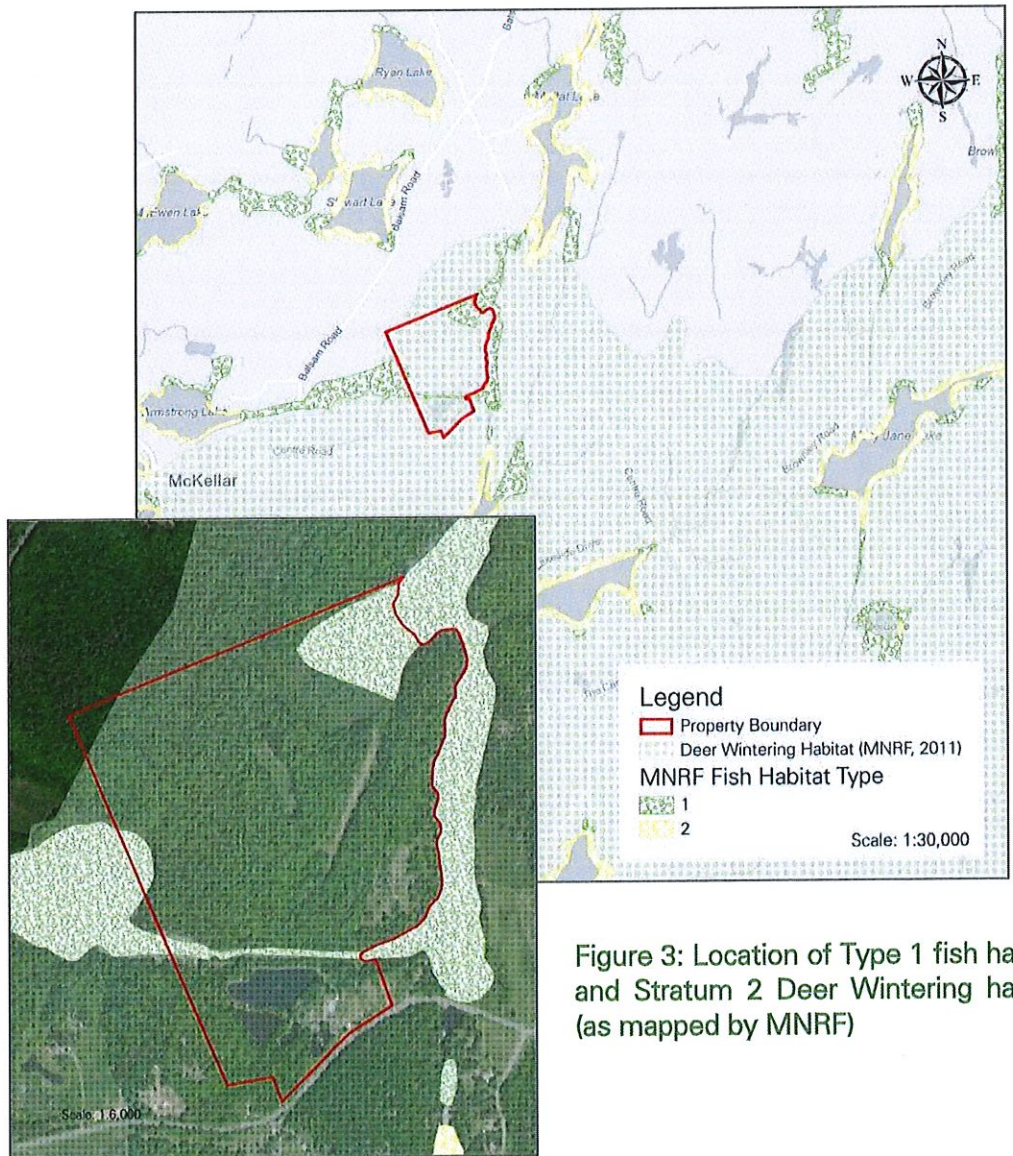


Figure 3: Location of Type 1 fish habitat and Stratum 2 Deer Wintering habitat (as mapped by MNRF)



Figure 2: Wetland constraint area (pink) representing all wetlands and recommended 30m setback

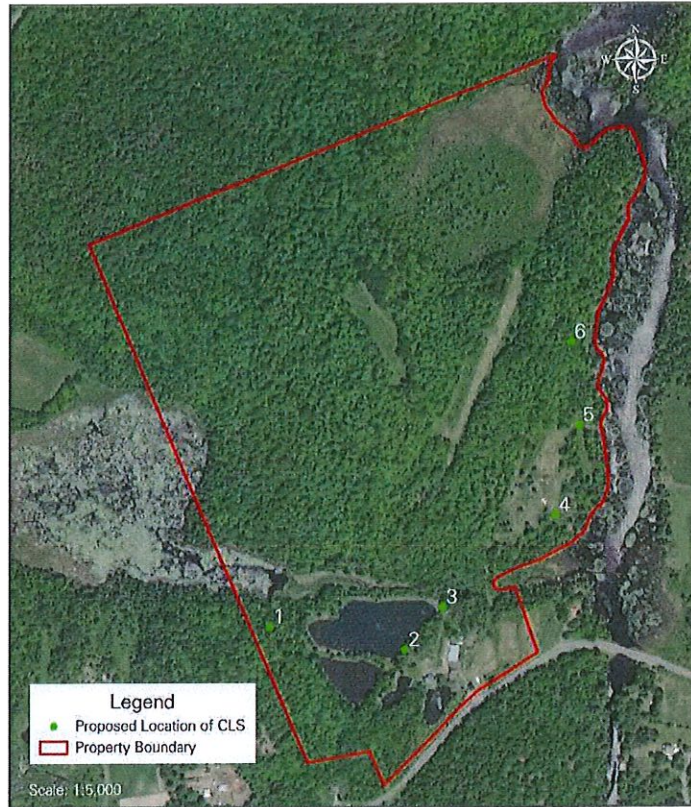


Figure 5: Overview map of six proposed CLS locations



TOWNSHIP OF MCKELLAR

Council Meeting Minutes

August 9, 2022

Mayor Hopkins called the meeting to order at 6:30 p.m.

ROLL CALL

Mayor Hopkins took Roll Call.

Present: Mayor Peter Hopkins
Councillors Morley Haskim, Mike Kekkonen, Nick Ryeland
Absent: Councillor Reg Moore
Staff: Clerk, Ina Watkinson
Administrative Assistant, Mary Smith
Fire Chief, Robert Morrison
Treasurer, Roshan Kantiya (via Zoom)
Guest: John Jackson, John Jackson Planner Inc.

RESPECT AND ACKNOWLEDGEMENT DECLARATION

We would like to begin by acknowledging that the land on which we gather is traditional unceded territory of the Anishnaabe and the Mississauga People.

DECLARATION OF CONFLICT OF INTEREST

There were no conflicts of interest declared.

Moved by: Councillor Ryeland
Seconded by: Councillor Haskim

22-293 **Be It Resolved** That the Council of the Township of McKellar does hereby approve the Agenda for this meeting as amended by adding the following item;

13. CORRESPONDENCE FOR CONSIDERATION

13.6 – Manitou Cottage Association – Road Grant Application for Fire Routes 152, 152A and 152B

Carried

Moved by: Councillor Ryeland
Seconded by: Councillor Haskim

22-294 **Be It Resolved** That the Council of the Township of McKellar does approve the Minutes of the July 18 and 28, and the August 2, 2022 Special Meetings of Council.

Carried

Moved by: Councillor Haskim
Seconded by: Councillor Kekkonen



TOWNSHIP OF MCKELLAR

Council Meeting Minutes

August 9, 2022

22-295

Be It Resolved that the Council of the Township of McKellar does hereby approve the minutes of the July 19, 2022 Regular Meeting of Council.

Carried

Moved by: Councillor Haskim

Seconded by: Councillor Ryeland

22-296

That the proposed consent to reconfigure Lots 80 and 81 in the Plan 247 as applied by Liisa Kokka in Application No. B25/2022(McK) be approved subject to the following conditions:

1. Rezoning the lands to reflect the two reconfigured lots;
2. Verification from the Director of Operations, by way of Staff Report the two lots can accommodate an entrance in compliance with Municipal Standards;
3. 911 Addressing;
4. Payment of any applicable planning fees.

Carried

Moved by: Councillor Haskim

Seconded by: Councillor Ryeland

22-297

That the proposed consent to create one new waterfront lot on Lake Manitowabing as applied for in Application No. B34/2022(McK), Grant be approved subject to the following conditions:

1. That the lands be rezoned to reflect the size and frontage of the severed lands;
2. That the applicant pays the required fee in lieu of parkland as set out in the Township's Fee By-law;
3. 911 Addressing;
4. Payment of any applicable planning fees.

Carried

Moved by: Councillor Haskim

Seconded by: Councillor Ryeland

22-298

That the proposed consent for the creation of a rural lot on Tait's Island Road as applied for in Application No. B35/2022(McK) by Joseph and Christine St. Julien be approved subject to the following conditions;

1. That the applicant pay the required fee in lieu of parkland as set out in the Township's Fee By-law;
2. 911 Addressing;
3. Payment of any applicable planning fees.

Carried

Moved by: Councillor Ryeland

Seconded by: Councillor Haskim



TOWNSHIP OF MCKELLAR

August 9, 2022

Council Meeting Minutes

22-299 **Be It Resolved** That the Council of the Township of McKellar does hereby receive the Approved Minutes of the June 9, 2022 meeting of the Lake Stewardship and Environmental Committee

Carried

Moved by: Councillor Ryeland
Seconded by: Councillor Haskim

22-300 **Be It Resolved** That the Council of the Township of McKellar does hereby receive the Approved Minutes of the July 19, 2022 meeting of the Short Term Rental Ad-Hoc Committee.

Carried

Moved by: Councillor Haskim
Seconded by: Councillor Ryeland

22-301 **Be It Resolved** That the Council of the Township of McKellar does hereby receive treasury report T-2022-Debenture – West Parry Sound Recreation Centre Debenture;

And Further directs the Treasurer to submit the application for approval using the amortization method and with repayment terms of ten years.

Carried

Moved by: Councillor Kekkonen
Seconded by: Councillor Haskim

22-302 **Be It Resolved** That the Council of the Township of McKellar does hereby receive the July 2022 Account Payable Preliminary Cheque Run Reports for information.

Carried

Moved by: Councillor Kekkonen
Seconded by: Councillor Ryeland

22-303 **That** the Council of the Township of McKellar does hereby receive Fire Department Report FD-2022-01 – Monthly report for June 2022, for information.

Carried

Moved by: Councillor Haskim
Seconded by: Councillor Ryeland

22-304 **That** the Council of the Township of McKellar does hereby receive Fire Department Report FD-2022-02 – Monthly report for July 2022, for information.

Carried

Mayor's Report

The Mayor reported that the McKellar Market continues to flourish with excellent weather, vendors and patrons. Special thanks to Jan and Rob Gibson and the Volunteer Firefighters.



TOWNSHIP OF MCKELLAR

Council Meeting Minutes

August 9, 2022

The Hurdville Community group provided an excellent pancake breakfast to 190 people and held a successful yard sale to raise funds for the facility. The next breakfast is Saturday September 3rd at 9:00 am at the Hurdville Community Centre. Additionally they will be holding a beer bottle and can drive.

The Recreation Committee had to cancel the annual kayak/canoe/paddleboard event due to inclement weather.

The Broadbent Snowbugs held a successful golf tournament at the Granite Ridge Course on Saturday August 6, 2022. Thanks to Morley Haskim for organizing their 30th annual event.

The Mayor's full report can be found on the website at:

<https://www.mckellar.ca/en/township-services/council.aspx#Mayors-Communique>

Moved by: Councillor Haskim

Seconded by: Councillor Ryeland

22-305 **Be It Resolved** That the Council of the Township of McKellar does hereby receive the letter received July 17, 2022 from Jean Rapson requesting consideration for parking on Brownley Road to gain access to her property;

And Further direct the Director of Operations to investigate options and report back to Council with a formal report at the next Regular Meeting of Council on September 13, 2022.

Carried

Moved by: Councillor Haskim

Seconded by: Councillor Ryeland

22-306 **Be It Resolved** That the Council of the Township of McKellar does hereby receive the letter dated August 2, 2022 from Gord Zulak requesting the transfer of Balsam Road, travelling through Lot 21, Concession 13, in exchange for the Concession between Lot 21, Concession 12 and Lot 21, Concession 13;

And Further, Council directs the Clerk to begin the process of having the properties exchanged;

And Further provide an update to Council for the next Regular Meeting on September 13, 2022.

Carried

Moved by: Councillor Ryeland

Seconded by: Councillor Kekkonen

22-307 **Be It Resolved** That the Council of the Township of McKellar does hereby receive the email dated July 31, 2022, from Susan Keen requesting the Council to have Public Works clean up the trees on Lakeside Drive that were damaged by the commercial trimming;



TOWNSHIP OF MCKELLAR

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And Further, Council directs the Director of Operations to have the damaged trees trimmed properly and the debris removed.

Carried

Moved by: Councillor Haskim

Seconded by: Councillor Ryeland

22-308 **Be It Resolved** That the Council of the Township of McKellar does hereby support Resolution 10.1 of the Town of Aurora received on July 26, 2022, regarding Private Member's Bill C-233 "Kiera's Law", which is a proposed law to protect children and victims of domestic violence.

Carried

Moved by: Councillor Kekkonen

Seconded by: Councillor Ryeland

22-309 **Be It Resolved** That the Council of the Township of McKellar does hereby receive the letter dated July 10, 2022 from Judy Haring, requesting the temperature in the Community Centre be increased on Sundays for the McKellar Senior Citizen's Card Group.

Carried

Moved by: Councillor Ryeland

Seconded by: Councillor Haskim

22-310 **Be It Resolved** That the Council of the Township of McKellar does hereby receive the request, dated June 17, 2022, from Scott Buckingham of the Manitou Cottage Association, requesting reimbursement for a portion of costs for Snowplowing Fire Routes 152, 152A and 152B for the 2021/2022 winter season;

And Further that Council approves the reimbursement of snowplowing costs to a maximum of \$2,000.00 per kilometre plus HST, for a total of \$3,600.00;

And That the claimed expenses are to be supported with a receipt and invoice prior to payment.

Carried

Moved by: Councillor Haskim

Seconded by: Councillor Ryeland

22-311 **Be It Resolved** That the Council of the Township of McKellar does hereby give By-law No. 2022-42, being a by-law to establish and regulate a Fire Department within the Township of McKellar, a First and Second Reading this 9th day of August, 2022

And Further have this By-law reviewed by legal representation;

And Further amend as direct by the legal representative.



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Carried

Moved by: Councillor Haskim

Seconded by: Councillor Ryeland

22-312

Be It Resolved That the Council of the Township of McKellar does hereby give By-law No. 2022-43, being a By-law to authorize authority for certain acts during a restricted authority period (Lame Duck), a First and Second Reading;

And Further read a Third time and Passed in Open Council this 9th day of August 2022

Carried

PUBLIC NOTICES, ANNOUNCEMENTS, INQUIRIES AND REPORTS BY COUNCIL MEMBERS

Moved by: Councillor Ryeland

Seconded by: Councillor Haskim

22-313

Be It Resolved That the Council of the Township of McKellar does hereby receive Interim Report No. 1 of the Short Term Rental Ad-Hoc Committee from Council Representative, Peter Hopkins and Committee Member Doug Hunt.

Carried

Councillor Mike Kekkonen provided a verbal report on the Community Policing Advisory Committee.

Moved by: Councillor Ryeland

Seconded by: Councillor Kekkonen

22-314

Be It Resolved That the Council of the Township of McKellar does hereby receive the Consent Agenda.

Carried

Moved by: Councillor Ryeland

Seconded by: Councillor Haskim

22-315

Be It Resolved That the Council of the Township of McKellar, pursuant to the Municipal Act, S.O. 2001, as amended move into closed session at 8:32 p.m. to discuss the following items;

21.1 Minutes of Closed Sessions

21.2 Personal matters about an identifiable individual, including municipal or local board employees, 2329(2)(b) – Deputy Clerk/Planning Assistant Position

Carried

Moved by: Councillor Haskim

Seconded by: Councillor Ryeland

22-316

Be It Resolved That the Council of the Township of McKellar does hereby reconvene to open session at 8:53 p.m.



TOWNSHIP OF MCKELLAR

Council Meeting Minutes

August 9, 2022

Carried

Moved by: Councillor Kekkonen
Seconded by: Councillor Haskim

22-317 **Be It Resolved** That the Council of the Township of McKellar does hereby accept the reports, recommendations and directions arising from the Closed Session held August 9, 2022.

Carried

Moved by: Councillor Kekkonen
Seconded by: Councillor Haskim

22-318 **Be It Resolved That** the Council of the Township of McKellar does hereby give By-law No 2022-44, being a by-law to confirm the proceedings of Council, a First and Second reading;

And further Read a Third time and Passed in Open Council this 9th day of August, 2022.

Carried

Moved by: Councillor Haskim
Seconded by: Councillor Ryeland

22-319 **Be It Resolved That** the Council of the Township of McKellar does hereby adjourn this meeting at 8:55 p.m.

Carried

Peter Hopkins, Mayor

Ina Watkinson, Clerk



TOWNSHIP OF MCKELLAR

Council Meeting Minutes

August 30, 2022

Mayor Hopkins called the meeting to order at 6:00 p.m.

ROLL CALL

Mayor Hopkins took Roll Call.

Present: Mayor Peter Hopkins
Councillors Morley Haskim, Mike Kekkonen, Reg Moore and Nick Ryeland

Staff: Clerk, Ina Watkinson
Administrative Assistant, Mary Smith
Director of Operations, Greg Gostick
Treasurer, Roshan Kantiya

RESPECT AND ACKNOWLEDGEMENT DECLARATION

We would like to begin by acknowledging that the land on which we gather is traditional unceded territory of the Anishnaabe and the Mississauga People.

DECLARATION OF CONFLICT OF INTEREST

There were no conflicts of interest declared.

Moved by: Councillor Haskim

Seconded by: Councillor Ryeland

22-320 **Be It Resolved** That the Council of the Township of McKellar does hereby approve the Agenda for this meeting as presented.

Carried

Moved by: Councillor Ryeland

Seconded by: Councillor Kekkonen

22-321 **Be It Resolved** That the Council of the Township of McKellar does hereby go into the Committee of the Whole at 6:02 p.m.

Carried

Item 6.1 – Roads Policy – Independent Review

Discussions were held between Council and staff regarding the proposed Roads Policy amendments to determine the next steps to be taken to allow the third reading and passing of By-law 2022-24. The following Resolution of Council was passed.

Moved by: Councillor Ryeland

Seconded by: Councillor Kekkonen

22-322 **Be It Resolved** that the Council of the Township of McKellar does hereby direct the Director of Operations to obtain an independent review of the Township's Roads Policy;

And Further, direct the Clerk to obtain a legal opinion on By-law 2022-24 and Schedule "A" the Roads Policy.



TOWNSHIP OF MCKELLAR

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August 30, 2022

Carried

Items 6.2 to 6.4 – Reports & Updates on Deerfield Road & Bay Drive, Fire Routes 152, 152A & 152B and Fire Route 300

The Director of Operations reported to Council on the status of upgrading of the following roads;

- (i) Deerfield Road and Bay Drive will be winter maintained by the township for the 2022/23 season. The Director of Operations will meet with Dave Speigl and discuss the possibility of undertaking the required blasting this winter, prior to construction. Construction of Deerfield Road and Bay Drive is scheduled for the summer of 2023.
- (ii) Fire Routes 152, 152A and 152B will be winter maintained by the Township for the 2022/23 season. Construction is scheduled for the summer of 2024.
- (iii) Further information is required with respect to upgrading Fire Route 300, i.e. transferring ownership of the road to the township and the natural severance that the municipally owned road would create.

Item 6.5 – Planning Review – Review of OPA No. 9 and Zoning By-law 2019-23

The Clerk requested direction from Council to have the Township Planner, J.L. Richards & Associates review Zoning By-law 2019-23 and Official Plan Amendment No. 9. The following Resolution was passed;

Moved by: Councillor Moore

Seconded by: Councillor Ryeland

22-323 **Be It Resolved** that the Council of the Township of McKellar does hereby direct the Clerk to send the Zoning By-law, OPA No. 9, comments from MMAH and the appeals to the By-laws to J.L. Richardson, Planners for review and to advise on revisions and corrections.

Carried

Item 6.6 – Land Exchange with Gord Zulak – Concession in exchange for portion of Balsam Road through farm property

The Clerk reported to Council that conversations have been held with Gord Zulak regarding the exchange of the roadway through his farm property for a portion of the concession. John Jackson Planner Inc. provided the Clerk, on behalf of Mr. Zulak, information on the process of exchanging the properties. The next step is for Mr. Zulak to have a survey to be conducted on the subject lands, and the survey to be registered. When the survey and the plan registration has taken place we can move to the next step of completing the exchange of the properties. Continued progression updates will be provided to Council.

Moved by: Councillor Moore

Seconded by: Councillor Ryeland

22-324 **Be It Resolved** that the Committee of the Whole rise and report at 6:57 p.m.



TOWNSHIP OF MCKELLAR

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August 30, 2022

Carried

Moved by: Councillor Ryeland
Seconded by: Councillor Haskim

22-325 **Be It Resolved** That the Council of the Township of McKellar, pursuant to the Municipal Act, S.O. 2001, as amended move into closed session at 8:32 p.m. to discuss the following items;

9.1 Personal matters about an identifiable individual, including municipal or local board employees, 2329(2)(b) – Employee Reviews, Staffing, Contract Renewals

9.2 Litigation or potential litigation, including matters before administrative tribunals, affecting the municipality or local board, 239(2)(e) – Update on legal matters

Carried

Moved by: Councillor Moore
Seconded by: Councillor Ryeland

22-326 **Be It Resolved** That the Council of the Township of McKellar does hereby reconvene to open session at 8:20 p.m.

Carried

Moved by: Councillor Ryeland
Seconded by: Councillor Moore

22-327 **Be It Resolved** That the Council of the Township of McKellar does hereby accept the reports, recommendations and directions arising from the Closed Session held August 30, 2022.

Carried

Moved by: Councillor Haskim
Seconded by: Councillor Ryeland

22-328 **Be It Resolved** That the Council of the Township of McKellar does hereby give By-law No 2022-45, being a by-law to confirm the proceedings of Council, a First and Second reading;

And further Read a Third time and Passed in Open Council this 30th day of August, 2022.

Carried

Moved by: Councillor Moore
Seconded by: Councillor Kekkonen



TOWNSHIP OF MCKELLAR

Council Meeting Minutes

August 30, 2022

22-329

Be It Resolved That the Council of the Township of McKellar does hereby adjourn this meeting at 8:22 p.m.

Carried

Peter Hopkins, Mayor

Ina Watkinson, Clerk



TOWNSHIP OF MCKELLAR

Council Meeting Minutes

August 30, 2022

Mayor Hopkins called the meeting to order at 6:00 p.m.

ROLL CALL

Mayor Hopkins took Roll Call.

Present: Mayor Peter Hopkins
Councillors Morley Haskim, Mike Kekkonen, Reg Moore and Nick Ryeland

Staff: Clerk, Ina Watkinson
Administrative Assistant, Mary Smith
Director of Operations, Greg Gostick
Treasurer, Roshan Kantiya

RESPECT AND ACKNOWLEDGEMENT DECLARATION

We would like to begin by acknowledging that the land on which we gather is traditional unceded territory of the Anishnaabe and the Mississauga People.

DECLARATION OF CONFLICT OF INTEREST

There were no conflicts of interest declared.

Moved by: Councillor Haskim

Seconded by: Councillor Ryeland

22-320 **Be It Resolved** That the Council of the Township of McKellar does hereby approve the Agenda for this meeting as presented.

Carried

Moved by: Councillor Ryeland

Seconded by: Councillor Kekkonen

22-321 **Be It Resolved** That the Council of the Township of McKellar does hereby go into the Committee of the Whole at 6:02 p.m.

Carried

Item 6.1 – Roads Policy – Independent Review

Discussions were held between Council and staff regarding the proposed Roads Policy amendments to determine the next steps to be taken to allow the third reading and passing of By-law 2022-24. The following Resolution of Council was passed.

Moved by: Councillor Ryeland

Seconded by: Councillor Kekkonen

22-322 **Be It Resolved** that the Council of the Township of McKellar does hereby direct the Director of Operations to obtain an independent review of the Township's Roads Policy;

And Further, direct the Clerk to obtain a legal opinion on By-law 2022-24 and Schedule "A" the Roads Policy.



TOWNSHIP OF MCKELLAR

Council Meeting Minutes

August 30, 2022

Carried

Items 6.2 to 6.4 – Reports & Updates on Deerfield Road & Bay Drive, Fire Routes 152,152A & 152B and Fire Route 300

The Director of Operations reported to Council on the status of upgrading of the following roads;

- (i) Deerfield Road and Bay Drive will be winter maintained by the township for the 2022/23 season. The Director of Operations will meet with Dave Speigl and discuss the possibility of undertaking the required blasting this winter, prior to construction. Construction of Deerfield Road and Bay Drive is scheduled for the summer of 2023.
- (ii) Fire Routes 152, 152A and 152B will be winter maintained by the Township for the 2022/23 season. Construction is scheduled for the summer of 2024.
- (iii) Further information is required with respect to upgrading Fire Route 300, i.e. transferring ownership of the road to the township and the natural severance that the municipally owned road would create.

Item 6.5 – Planning Review – Review of OPA No. 9 and Zoning By-law 2019-23

The Clerk requested direction from Council to have the Township Planner, J.L. Richards & Associates review Zoning By-law 2019-23 and Official Plan Amendment No. 9. The following Resolution was passed;

Moved by: Councillor Moore

Seconded by: Councillor Ryeland

22-323 **Be It Resolved** that the Council of the Township of McKellar does hereby direct the Clerk to send the Zoning By-law, OPA No. 9, comments from MMAH and the appeals to the By-laws to J.L. Richardson, Planners for review and to advise on revisions and corrections.

Carried

Item 6.6 – Land Exchange with Gord Zulak – Concession in exchange for portion of Balsam Road through farm property

The Clerk reported to Council that conversations have been held with Gord Zulak regarding the exchange of the roadway through his farm property for a portion of the concession. John Jackson Planner Inc. provided the Clerk, on behalf of Mr. Zulak, information on the process of exchanging the properties. The next step is for Mr. Zulak to have a survey to be conducted on the subject lands, and the survey to be registered. When the survey and the plan registration has taken place we can move to the next step of completing the exchange of the properties. Continued progression updates will be provided to Council.

Moved by: Councillor Moore

Seconded by: Councillor Ryeland

22-324 **Be It Resolved** that the Committee of the Whole rise and report at 6:57 p.m.



TOWNSHIP OF MCKELLAR

Council Meeting Minutes

August 30, 2022

Carried

Moved by: Councillor Ryeland
Seconded by: Councillor Haskim

22-325 **Be It Resolved** That the Council of the Township of McKellar, pursuant to the Municipal Act, S.O. 2001, as amended move into closed session at 8:32 p.m. to discuss the following items;

- 9.1 Personal matters about an identifiable individual, including municipal or local board employees, 2329(2)(b) – Employee Reviews, Staffing, Contract Renewals
- 9.2 Litigation or potential litigation, including matters before administrative tribunals, affecting the municipality or local board, 239(2)(e) – Update on legal matters

Carried

Moved by: Councillor Moore
Seconded by: Councillor Ryeland

22-326 **Be It Resolved** That the Council of the Township of McKellar does hereby reconvene to open session at 8:20 p.m.

Carried

Moved by: Councillor Ryeland
Seconded by: Councillor Moore

22-327 **Be It Resolved** That the Council of the Township of McKellar does hereby accept the reports, recommendations and directions arising from the Closed Session held August 30, 2022.

Carried

Moved by: Councillor Haskim
Seconded by: Councillor Ryeland

22-328 **Be It Resolved** That the Council of the Township of McKellar does hereby give By-law No 2022-45, being a by-law to confirm the proceedings of Council, a First and Second reading;

And further Read a Third time and Passed in Open Council this 30th day of August, 2022.

Carried

Moved by: Councillor Moore
Seconded by: Councillor Kekkonen



TOWNSHIP OF MCKELLAR

Council Meeting Minutes

August 30, 2022

22-329

Be It Resolved That the Council of the Township of McKellar does hereby adjourn this meeting at 8:22 p.m.

Carried

Peter Hopkins, Mayor

Ina Watkinson, Clerk

PARRY SOUND AREA PLANNING BOARD - APPLICATION FOR CONSENT
1 Mall Drive, Unit #2, Parry Sound, Ontario P2A 3A9 (Phone 705-746-5216)

No. B 42/2022 (Mck)

1. Applicant Information

Name of Applicant DAVID HARDIE
 Address 424 MAIN ST
P.O. Box 174, PORT DOVER, ON
 Postal Code NOA 1N0
 E-mail Address hardiedavid15@gmail.com

Home Tel No. (519) 429-1074
 Business Tel No. ()
 Home Fax Tel No. ()
 Business Fax Tel No. ()

Note: By providing your E-mail address you consent to receiving correspondence regarding this file by E-mail.

1.2 Name of Owner(s) (if different from the applicant). An owner's authorization is required in Section 12, if the applicant is not the owner.

Name of Owner _____
 Address _____

 Postal Code _____
 E-mail Address _____

Home Tel No. ()
 Business Tel No. ()
 Home Fax Tel No. ()
 Business Fax Tel No. ()

Note: By providing your E-mail address you consent to receiving correspondence regarding this file by E-mail.

1.3 Name of the person who is to be contacted about the application, if different than the applicant. (This may be a person or firm acting on behalf of the applicant.)

Name of Contact _____
 Address _____

 Postal Code _____
 E-mail Address _____

Home Tel No. ()
 Business Tel No. ()
 Home Fax Tel No. ()
 Business Fax Tel No. ()

Note: By providing your E-mail address you consent to receiving correspondence regarding this file by E-mail.

2. Purpose of this Application (check appropriate box)

2.1 Type and purpose of transaction for which application is being made

- creation of a new lot lot additions easement right-of-way lease
 correction of title charge other (specify, e.g., partial discharge of mortgage)

Explain: _____

3. Name of person(s) (purchaser, lessee, mortgage, etc.) to whom land or interest is intended to be transferred, charged or leased, if known and specify relationship to present owner, if any.

3.1 Lot 1 _____ Lot 2 _____ Lot 3 _____

4. Location of the Subject Land Roll / PIN No.(s) _____

4.1 Municipality _____ Lot(s) No.(s) _____ Concession No. _____

Street Name and No. _____ M-Plan No. _____ Lot(s) _____

Registered Plan No. Part(s) _____ Parcel No. _____

5. Easements or restrictive covenants

5.1 Are there any easements or restrictive covenants affecting the subject land? NO YES
 If YES, describe the easement or covenant and its effect:

6. Description of Lands to be Divided and Servicing Information (Complete each subsection)

6.1

	Frontage (m)	Depth (m)	Area (ha)	Existing Uses	Proposed Uses	Existing Structures	Proposed Structures
Retained Lot	767 M	400 M	17.5				
Lot Addition							
Right-of-way							
Benefiting Lot							
Severed Lot 1	60 METRES	400 M	2 HEC				
Severed Lot 2	60 METRES	385 M	2 H.E.C.				
Severed Lot 3							

6.2 Access (check appropriate space)

	Name	Retained	Benefiting Lot	Sever (Lot 1)	Sever (Lot 2)	Sever (Lot 3)
Provincial Highway						
Municipal (maintained all year)	E			P	P	
Municipal (Seasonal)						
Other public road						
Right of way						
Water Access						

If Water Access Only

	Retained	Benefiting Lot	Sever (Lot 1)	Sever (Lot 2)	Sever (Lot 3)
Parking and docking facilities to be used					
Approximate distance of these facilities from the subject land					
The nearest public road					

6.4 Water Supply (enter in appropriate space - **E** for Existing or **P** for Proposed)

	Retained	Benefiting Lot	Sever (Lot 1)	Sever (Lot 2)	Sever (Lot 3)
Publicly owned and operated piped water system					
Privately owned and operated individual well	P		P	P	
Privately owned and operated communal well					
Other public road					
Lake or other waterbody					
Other means					

6.5 Sewage Disposal - enter in appropriate space - **E for Existing or P for Proposed**

	Retained	Benefiting Lot	Sever (Lot 1)	Sever (Lot 2)	Sever (Lot 3)
Publicly owned and operated sanitary sewage system					
Privately owned and operated individual septic tank					
Privately owned and operated communal well					
Privately owned and operated communal septic system					
Privately owned and operated communal septic system					
Privy					
Other means					

7. Official Plan

7.1 What is the current designation of the subject land in the Official Plan: RURAL

8. Current Application

8.1 Has the land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act.

- YES NO UNKNOWN

If YES, and if known, specify the appropriate file number and status of application and/or Plan No.

8.2 Has the land ever been the subject of a consent under section 53 of the Planning Act.

- YES NO UNKNOWN

If YES, and if known, specify the appropriate file number and status of application.

8.3 Is the subject land currently the subject of an official plan amendment, zoning by-law, a Minister's zoning order, a minor variance, an approval of a plan of subdivision or a consent.

- YES NO UNKNOWN

If YES, and if known, specify the appropriate file number and status of application.

8.4 Are there additional consents being applied for on these holdings simultaneously with this application, or being considered for the future?

- YES NO UNKNOWN

9. Original Parcel

9.1 Has any land been severed from the parcel originally acquired by the owner of the subject land.

- YES NO UNKNOWN

If YES, and if known, specify the date of the transfer, the name of the transferee and the land use on the severed land.

PT. LOT 33, CONC. 6, PTS. 192, PLAN 42R19609
JULY 30, 2014
FERN HARRIS

Plans / Sketches	
SKETCHES TO BE SUBMITTED MUST BE BLACK AND WHITE ON PAPER 8 1/2" x 11"	
ONE COPY OF SKETCH, IF REPRODUCABLE	
ALL LETTERING MUST BE LEGIBLE. USE MULTIPLE SKETCHES AT DIFFERENT SCALES IF NECESSARY	
<input type="checkbox"/>	Key Map – Available on the Planning Board Website (www.psapb.ca) http://psapb.ca/index.php/planning-board/forms/application-forms
<input type="checkbox"/>	North Arrow
<input type="checkbox"/>	clearly defined boundaries of severed and retained lots
<input type="checkbox"/>	if more than one severed lot, label the severed lots according to the application (Section 6)
<input type="checkbox"/>	the boundaries & dimensions of any land abutting the subject land that is owned by the owner of the subject land
<input type="checkbox"/>	the distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing
<input type="checkbox"/>	the dimensions of the subject land, the part that is to be severed and the part that is to be retained
<input type="checkbox"/>	the location of all land previously severed from the parcel originally acquired by the current owner of the subject land
<input type="checkbox"/>	the approximate location of all natural and artificial features on the subject land and on the land that is adjacent to the subject land that, in the opinion of the applicant may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks
<input type="checkbox"/>	the existing uses on adjacent land, such as residential, agricultural and commercial uses
<input type="checkbox"/>	the location, width and name of any roads within or abutting the subject land indicating whether it is an unopened road allowance, a public travelled road, a private road or a right-of-way
<input type="checkbox"/>	the location and nature of any easement affecting the subject land

PLANNING BOARD

2022 Fees Base Fee \$1500 + \$750 per lot/lot addition, \$250 for each additional lot addition, \$250 per right-of-way + \$500 deposit for Professional Planning Services

Change of Condition / Re-approval Fee (before lapsing) \$750 Stamping Fee for Retained Lot (Optional): \$750

A fee of \$325 payable to the Town of Parry Sound is required for any application within the Town of Parry Sound.

A fee of \$333 payable to the Township of Carling is required for any application within the Township of Carling (The Township deposit will be reconciled in accordance with the Townships standard rate for their planner for actual time taken).

NOTE: Additional expenses may be incurred (ie. Legal, Planning, Survey, Rezoning, Minor Variance, Parkland Fee) and are the responsibility of the applicant.

10. Affidavit / Sworn Declaration

The contents of the application and appendices shall be validated by the Applicant (or authorized agent) in the form of the following Affidavit / Sworn Declaration before a Commissioner or other person empowered to take Affidavits.

Dated at the Town of Parry Sound this 4th day of August 2022

I, David Hardie of the Township of Wreckle Hill in the County/District/Regional Municipality of Parry Sound solemnly declare that all the statements contained in this application are true, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the **CANADA EVIDENCE ACT.**

David Hardie
Signature of Applicant or Agent

DECLARED BEFORE ME at the Town of Parry Sound in the District of Parry Sound this 4th day of August 2022.

Patrick James Christie
A Commissioner of Oaths

Patrick James Christie, a Commissioner, etc.,
Province of Ontario, for John Jackson Planner Inc.,
Expires October 12, 2024

11. Authorizations

11.1 If the applicant is not the owner of the land that is the subject of this application, the written authorization of the owner that the applicant is authorized to make the application must be included with this form or the authorizations set out below must be completed.

Authorization of Owner for Agent to Make the Application

I, CAROL LAURENCE, am the owner of the land that is the subject of this application for Consent and/or Zoning By-law Amendment and I authorize David Hardie to make this application on my behalf.

Date Aug. 4, 2022 Signature of Owner Carol Lawrence

11.2 If the applicant is not the owner of the land that is the subject of this application, complete the authorization of the owner concerning personal information set out below.

Authorization of Owner for Agent to Provide Personal Information

I, CAROL LAURENCE, am the owner of the land that is the subject of this application for Consent and for the purposes of the **Freedom of Information and Protection of Privacy Act**, I authorize David Hardie, as my agent for this application, to provide any of my personal information that will be included in this application or collected during the processing of the application.

Date Aug. 4, 2022 Signature of Owner Carol Lawrence

12. Consent of the Owner (this section must be completed for the application to be processed)

12.1 Complete the consent of the owner concerning personal information set out below.

Consent of the Owner to the Use and Disclosure of Personal Information

I, David Handie, am the owner of the land that is the subject of this application and for the purposes of the **Freedom of Information and Protection of Privacy Act**, I authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the **Planning Act** for the purposes of processing this application.

Date Aug 4, 2022

Signature of Owner 

13. Additional Fees

The applicant hereby agrees:

- (a) to reimburse the Parry Sound Area Planning Board for any costs incurred in processing this application which are above and beyond the amount of the application fee; and
- (b) to pay all costs legal and otherwise, that may be incurred by the Parry Sound Area Planning Board with respect to an OLT Hearing, that may be held as a result of this application for a consent and to provide a deposit for such costs at least 45 days prior to any scheduled hearing.

Date Aug. 4, 2022

Signature of Owner 

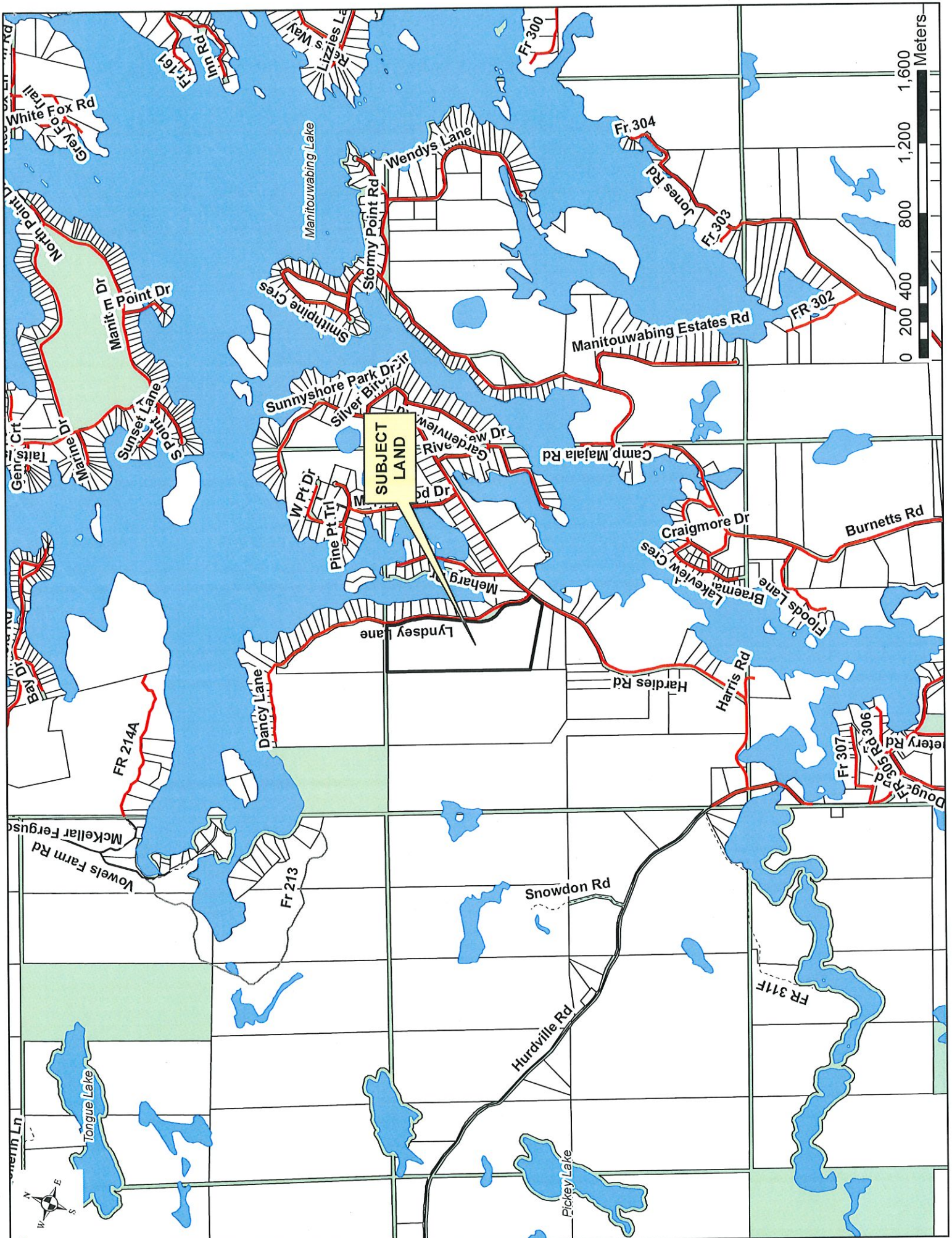
August 15, 2022.

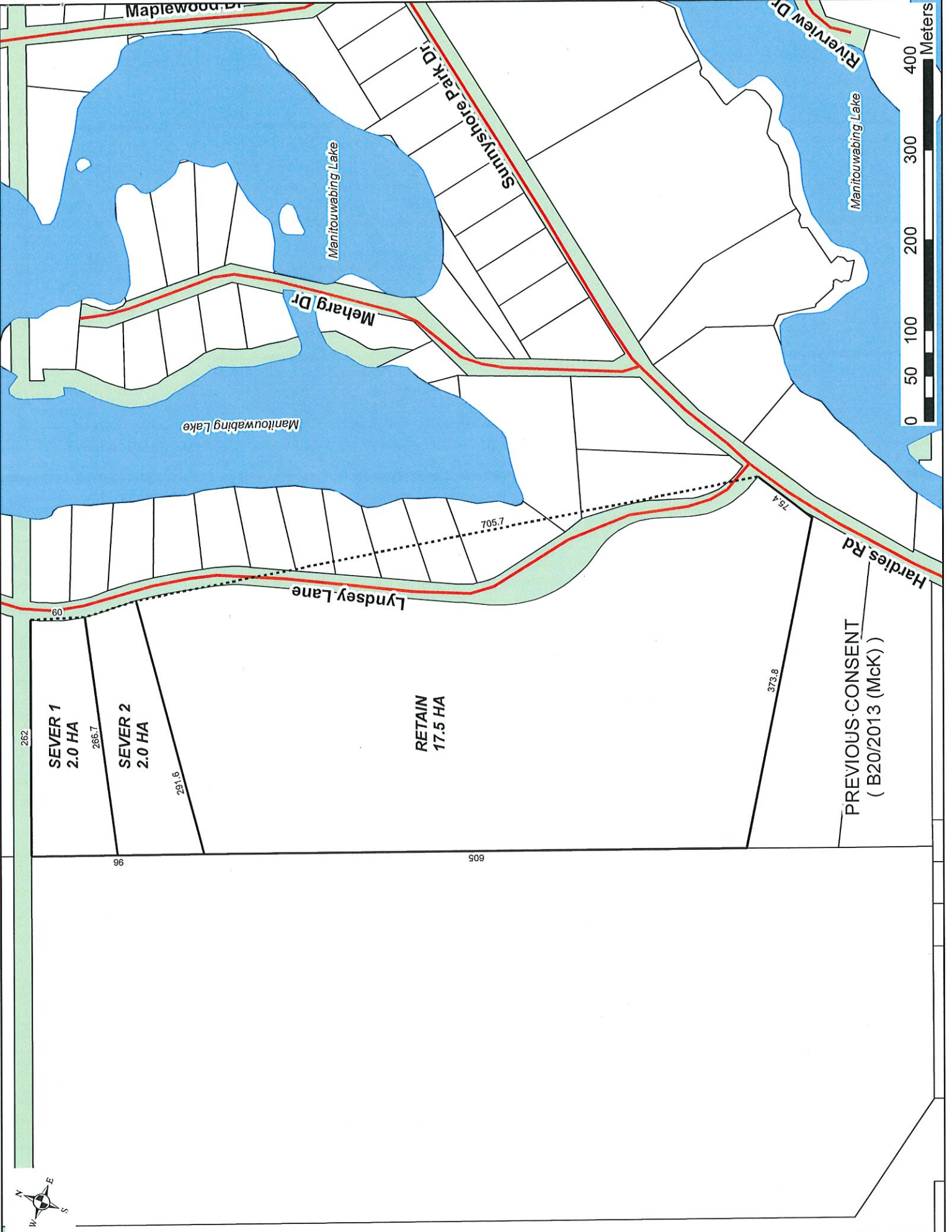
I, Beverly MacDonald, give consent to David Hardie to authorize Parry Sound Area Planning Board to make application on my behalf.

Thank You,

A handwritten signature in blue ink that reads "Beverly MacDonald". The signature is written in a cursive style with a large, stylized 'B' and 'M'.

Beverly MacDonald.





SEVER 1
2.0 HA

SEVER 2
2.0 HA

RETAIN
17.5 HA

PREVIOUS CONSENT
(B20/2013 (McK))

Maplewood Dr

Sunnyside Park Dr

Riverview Dr

Meharg Dr

Manitouwabing Lake

Manitouwabing Lake

Manitouwabing Lake

Lyndsey Lane

Hardies Rd

262

266.7

291.6

705.7

75.4

373.8

96

509

CONSENT APPLICATION NO. B42/2022(McK)

PART OF LOT 33, CONCESSION 6

PARTS 1, 2, 4 AND 5, 42R-3005

LYNDSAY LANE

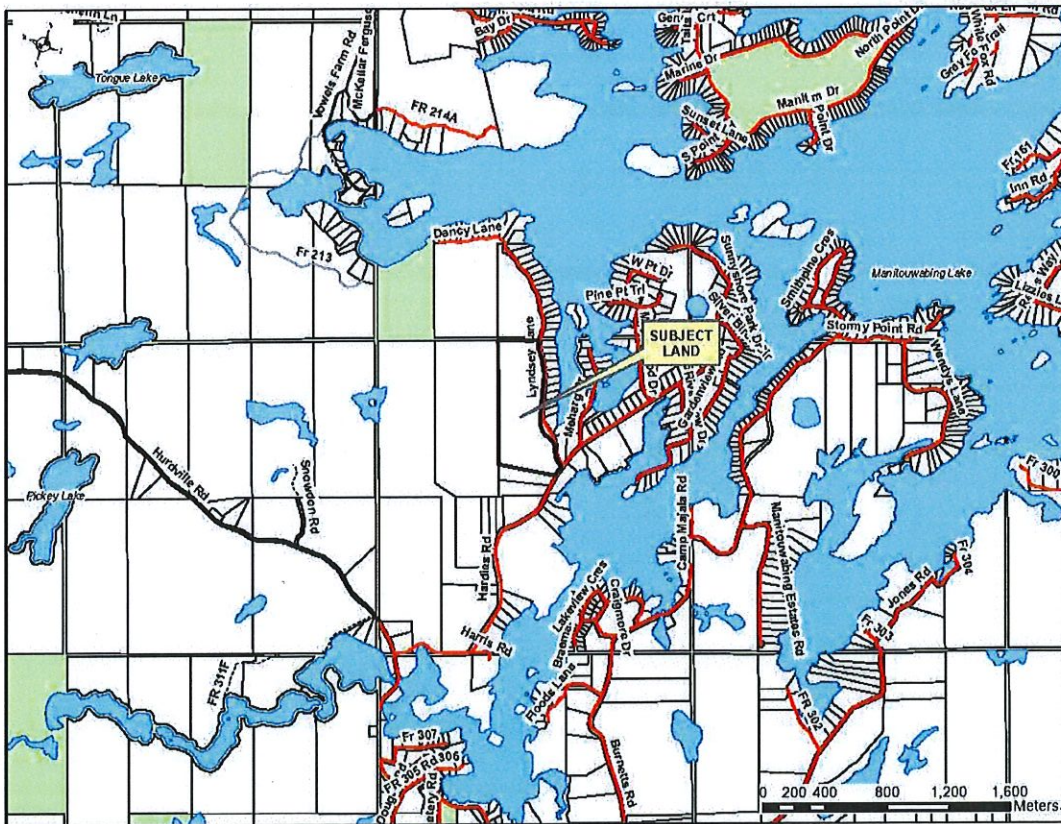
ROLL # 4928 0000 0152 400

APPLICANT/OWNER: David Hardie, Carol Lawrence

August 10, 2022

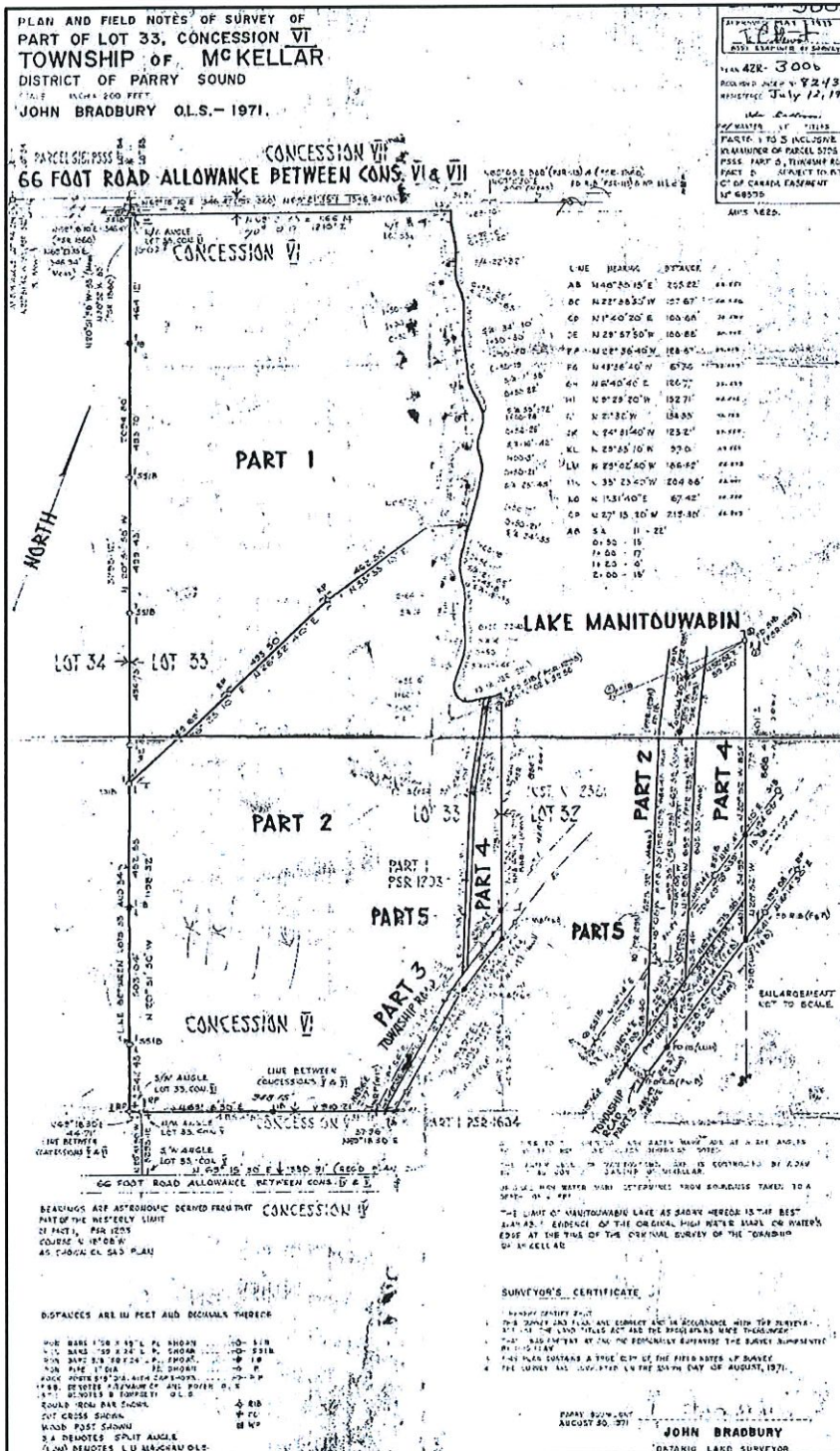
APPLICATION PURPOSE

The Hardies are proposing to create two new rural lots in Part of Lot 33, Concession 6 fronting on Lyndsay Lane.



PROPERTY DESCRIPTION

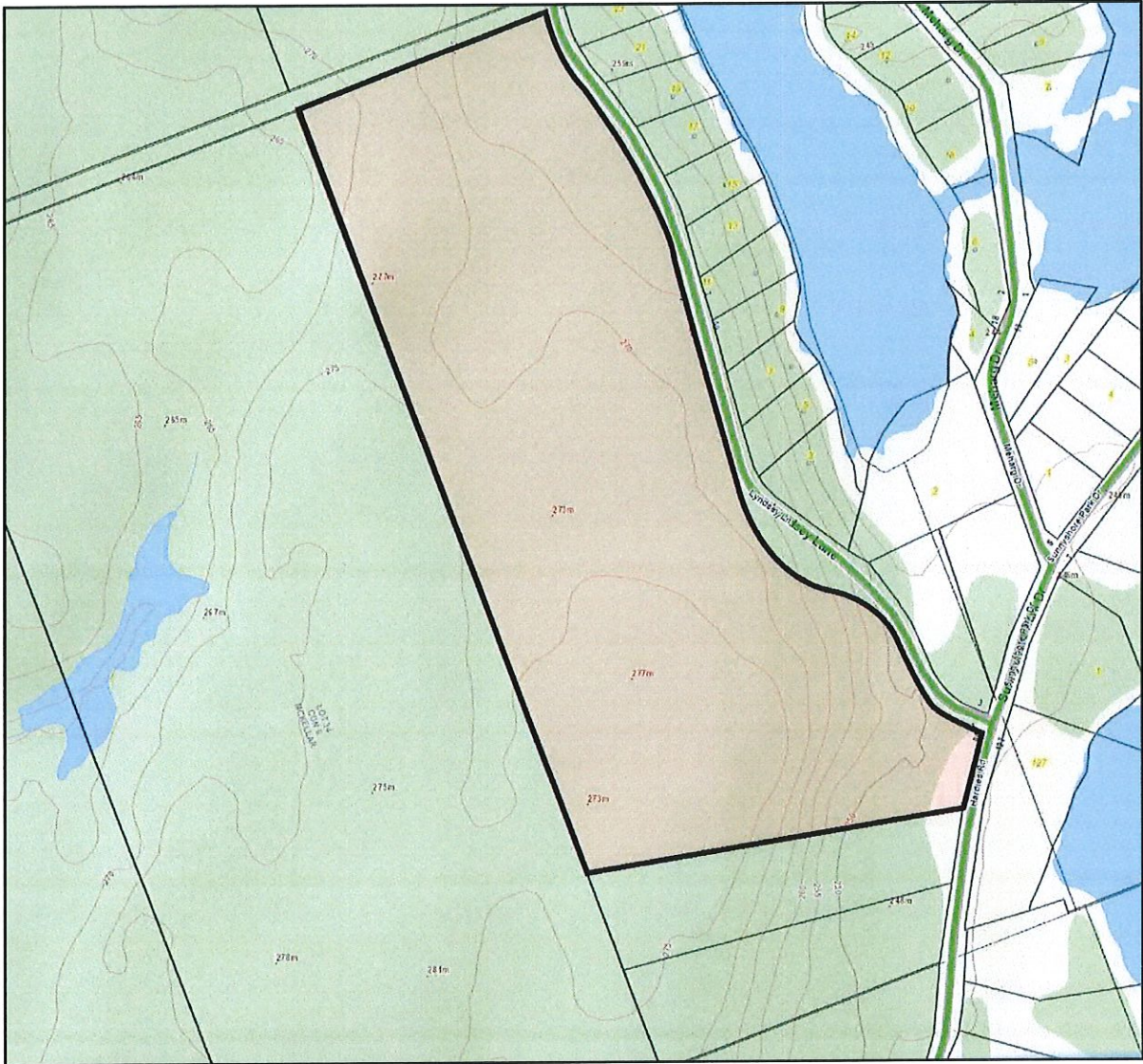
The Hardies have a large parcel on the west side of Lyndsay Lane. The lands are described as Parts 1,2,4 and 5 of survey Plan No. 42R-3005.



The lands consist of heavily mixed forests with predominantly hardwoods along the road and more dense conifers as you move west. The lands are in excess of 20 hectares.

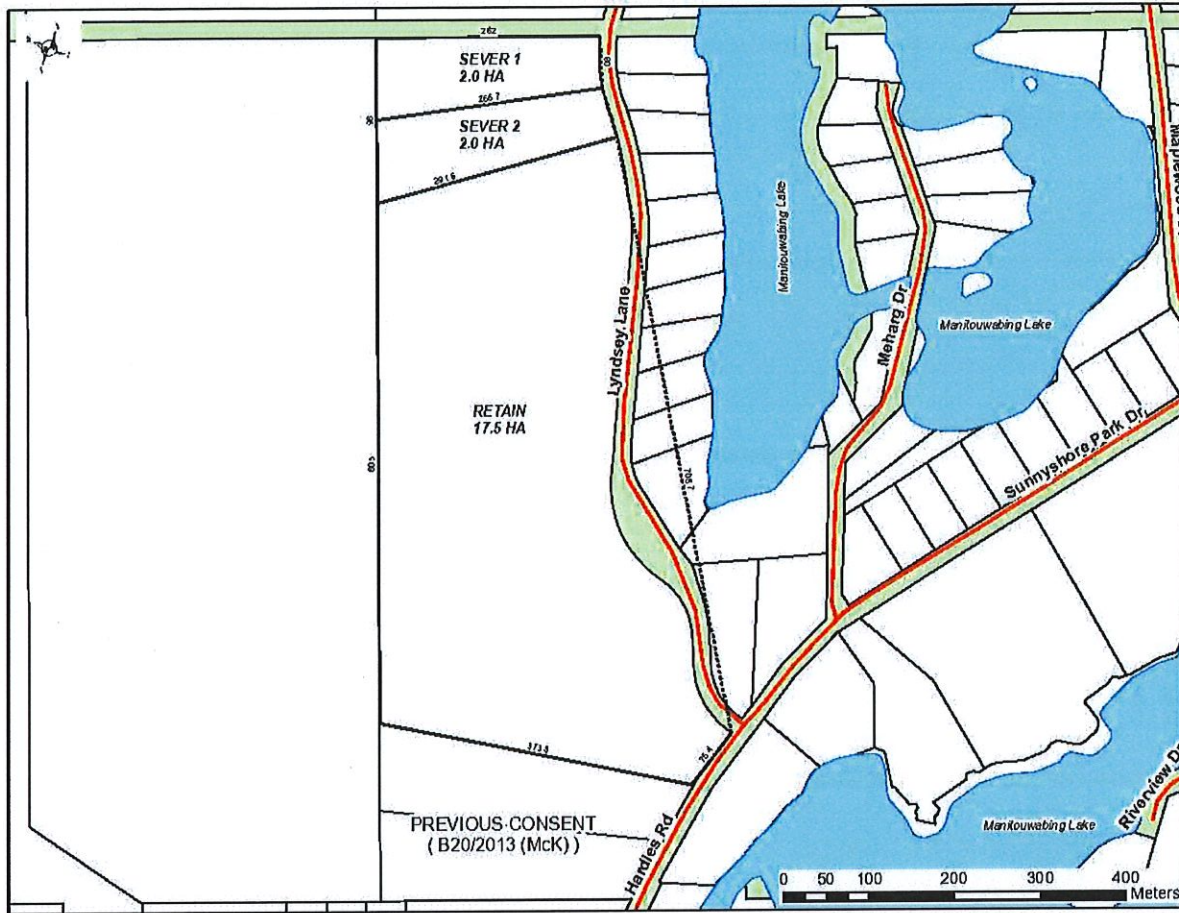


There would appear to be no constraints to the development of the subject lands.



PROPOSED CONSENT

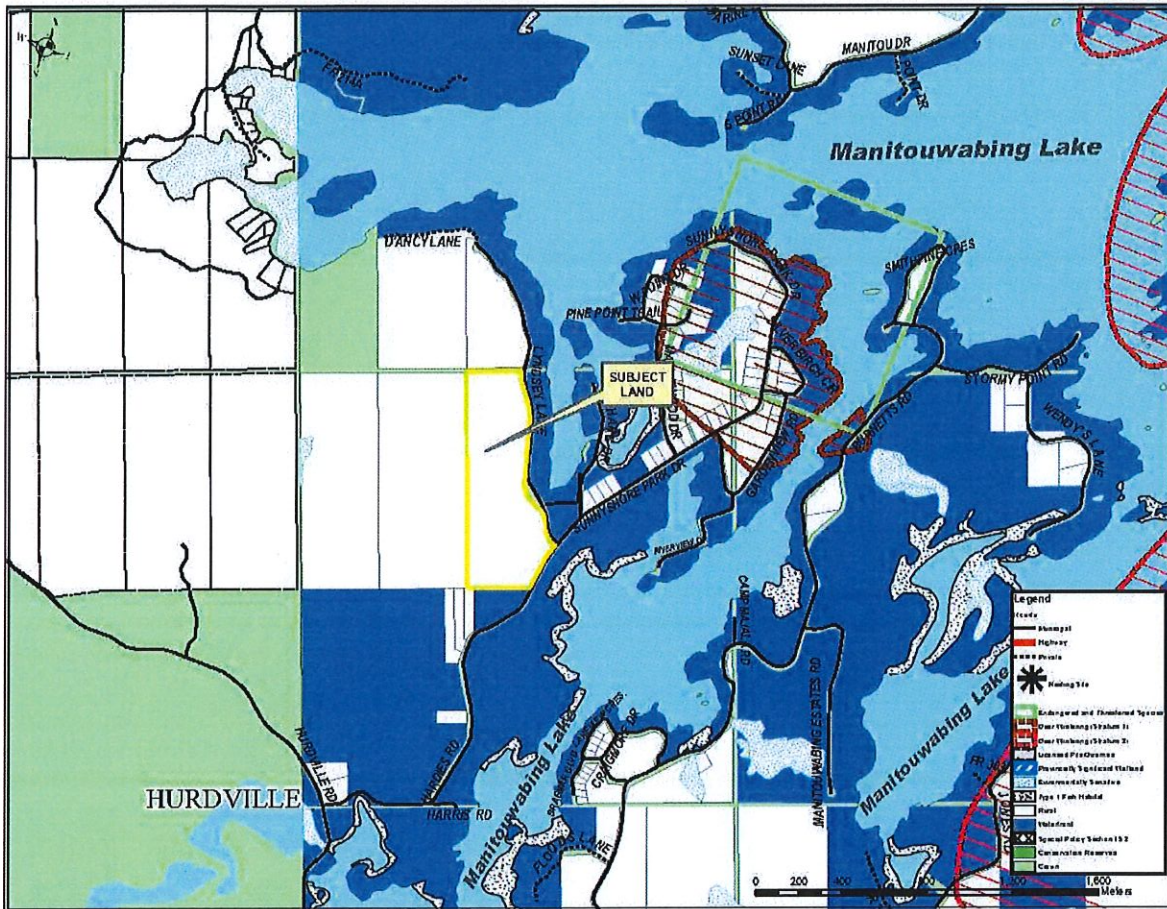
The Hardies are proposing to create two new rural lots with frontage on Lyndsay Lane.



Each lot is proposed to have five acres (2 hectares).

OFFICIAL PLAN

The subject lands are designated Rural in the official plan.

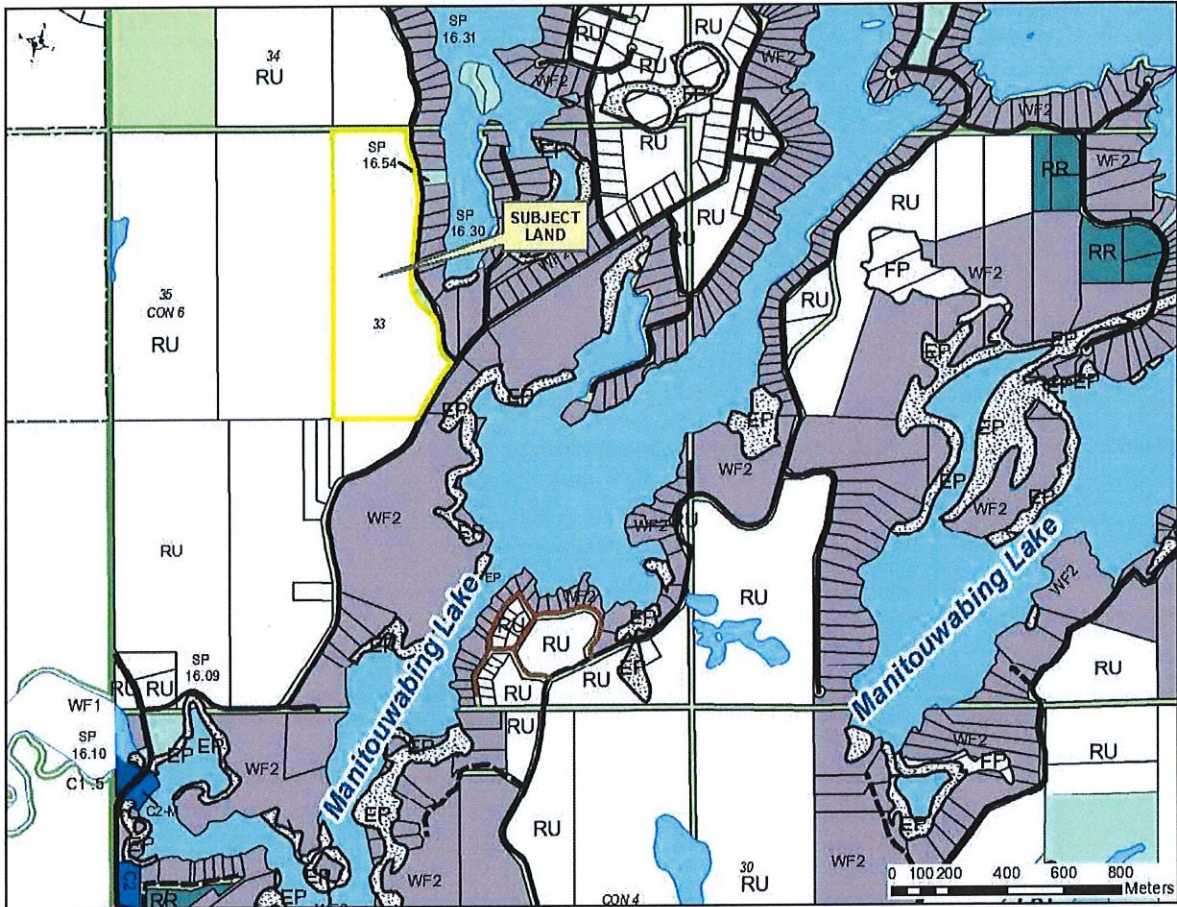


Up to two new rural lots are able to be created in any application.

There are no official plan conflicts.

ZONING

The subject lands are zoned Rural in Zoning By-Law 95-12.



The proposed lots will comply with the minimum standards for new lots in the Rural (RU) Zone.

CONCLUSIONS

That the proposed consent to create two new rural lots by David Hardie as applied for in Consent Application No. B42/2022(McK) be approved subject to the following conditions:

1. That a fee in lieu of parkland dedication be paid to the Township of McKellar in accordance with the Township fee By-Law;
2. 911 Addressing; and
3. Payment of applicable planning fees.

Respectfully submitted,



John Jackson M.C.I.P., R.P.P.

JJ;jc

PARRY SOUND AREA PLANNING BOARD - APPLICATION FOR CONSENT
70 Isabella Street, Unit #110, Parry Sound, Ontario P2A 1M6 (Phone 705-746-5216 Fax 705-746-1439)

No. B 33/2022 (M/K) - LeBlanc

1. Applicant Information

Name of Applicant TD Consulting INC.
 Address 155 St. David Street
Lindsay, Ontario
 Postal Code K9V 4Z6
 E-mail Address tomdeboer@rogers.com

Home Tel No. ()
 Business Tel No. (647)535-9461
 Home Fax Tel No. ()
 Business Fax Tel No. ()

Note: By providing your E-mail address you consent to receiving correspondence regarding this file by E-mail.

1.2 Name of Owner(s) (if different from the applicant). An owner's authorization is required in Section 12, if the applicant is not the owner.

Name of Owner Paul LeBlanc
 Address 90 Morton Ave E
Brantford, Ontario
 Postal Code N3R 7J7
 E-mail Address paul.shooz@gmail.com

Home Tel No. (519)754-6844
 Business Tel No. ()
 Home Fax Tel No. ()
 Business Fax Tel No. ()

Note: By providing your E-mail address you consent to receiving correspondence regarding this file by E-mail.

1.3 Name of the person who is to be contacted about the application, if different than the applicant. (This may be a person or firm acting on behalf of the applicant.)

Name of Contact _____
 Address _____
 Postal Code _____
 E-mail Address _____

Home Tel No. ()
 Business Tel No. ()
 Home Fax Tel No. ()
 Business Fax Tel No. ()

Note: By providing your E-mail address you consent to receiving correspondence regarding this file by E-mail.

2. Purpose of this Application (check appropriate box)

2.1 Type and purpose of transaction for which application is being made

- creation of a new lot lot additions easement right-of-way lease
 correction of title charge other (specify, e.g., partial discharge of mortgage)

Explain: _____

3. Name of person(s) (purchaser, lessee, mortgage, etc.) to whom land or interest is intended to be transferred, charged or leased, if known and specify relationship to present owner, if any.

3.1 Lot 1 _____ Lot 2 _____ Lot 3 _____

4. Location of the Subject Land Roll / PIN No.(s) 492800000147050

4.1 Municipality McKellar Lot(s) No.(s) 56,57 Pt 58 Concession No. _____

Street Name and No. Charles Avenue M-Plan No. M142 Lot(s) _____

Registered Plan No. Part(s) RP 42R11713 PART 1 REM PCL 17978 SSS Parcel No. _____

5. Easements or restrictive covenants

5.1 Are there any easements or restrictive covenants affecting the subject land? NO YES

If YES, describe the easement or covenant and its effect:

6. Description of Lands to be Divided and Servicing Information (Complete each subsection)

There are 2 dwellings on the South portion of the property with a shared well and septic. #6 is to remain and #8 is to be demolished (demo permit pulled).

6.1 Proposed Lot #1
There is 1 dwelling, 2 garages and a shed on the north portion with a well and septic. (Proposed lot #3)

	Frontage (m)	Depth (m)	Area (ha)	Existing Uses	Proposed Uses	Existing Structures	Proposed Structures
Retained Lot	77.48m	48.84m (IRR)	0.28	Vacant - Residential	Residential	None	None at this time
Lot Addition							
Right-of-way							
Benefiting Lot	60.53m	58.53m (IRR)	0.37	Vacant - Residential	Residential	None	Dwelling & garage
Severed Lot 1							
Severed Lot 2							
Severed Lot 3							

6.2 Access (check appropriate space)

	Name	Retained	Benefiting Lot	Sever (Lot 1)	Sever (Lot 2)	Sever (Lot 3)
Provincial Highway						
Municipal (maintained all year)	Charles Ave	X	X			
Municipal (Seasonal)						
Other public road						
Right of way						
Water Access						

If Water Access Only

	Retained	Benefiting Lot	Sever (Lot 1)	Sever (Lot 2)	Sever (Lot 3)
Parking and docking facilities to be used					
Approximate distance of these facilities from the subject land					
The nearest public road					

6.4 Water Supply (enter in appropriate space - E for Existing or P for Proposed)

	Retained	Benefiting Lot	Sever (Lot 1)	Sever (Lot 2)	Sever (Lot 3)
Publicly owned and operated piped water system					
Privately owned and operated individual well	P	P			
Privately owned and operated communal well					
Other public road					
Lake or other waterbody					
Other means					

6.5 Sewage Disposal - enter in appropriate space - **E for Existing or P for Proposed**

	Retained	Benefiting Lot	Sever (Lot 1)	Sever (Lot 2)	Sever (Lot 3)
Publicly owned and operated sanitary sewage system					
Privately owned and operated Individual septic tank	P	P			
Privately owned and operated communal well					
Privately owned and operated communal septic system					
Privately owned and operated communal septic system					
Privy					
Other means					

7. Official Plan

7.1 What is the current designation of the subject land in the Official Plan: RURAL

8. Current Application

8.1 Has the land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act.

- YES NO UNKNOWN

If YES, and if known, specify the appropriate file number and status of application and/or Plan No.

8.2 Has the land ever been the subject of a consent under section 53 of the Planning Act.

- YES NO UNKNOWN

If YES, and if known, specify the appropriate file number and status of application.

8.3 Is the subject land currently the subject of an official plan amendment, zoning by-law, a Minister's zoning order, a minor variance, an approval of a plan of subdivision or a consent.

- YES NO UNKNOWN

If YES, and if known, specify the appropriate file number and status of application.

8.4 Are there additional consents being applied for on these holdings simultaneously with this application, or being considered for the future?

- YES NO UNKNOWN

9. Original Parcel

9.1 Has any land been severed from the parcel originally acquired by the owner of the subject land.

- YES NO UNKNOWN

If YES, and if known, specify the date of the transfer, the name of the transferee and the land use on the severed land. _____

Plans / Sketches	
SKETCHES TO BE SUBMITTED MUST BE BLACK AND WHITE ON PAPER 8 1/2" x 11"	
ONE COPY OF SKETCH, IF REPRODUCABLE	
ALL LETTERING MUST BE LEGIBLE. USE MULTIPLE SKETCHES AT DIFFERENT SCALES IF NECESSARY	
<input checked="" type="checkbox"/>	Key Map – Available on the Planning Board Website (www.psapb.ca) http://psapb.ca/index.php/planning-board/forms/application-forms
<input checked="" type="checkbox"/>	North Arrow
<input checked="" type="checkbox"/>	clearly defined boundaries of severed and retained lots
<input checked="" type="checkbox"/>	if more than one severed lot, label the severed lots according to the application (Section 6)
<input checked="" type="checkbox"/>	the boundaries & dimensions of any land abutting the subject land that is owned by the owner of the subject land
<input checked="" type="checkbox"/>	the distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing
<input checked="" type="checkbox"/>	the dimensions of the subject land, the part that is to be severed and the part that is to be retained
<input type="checkbox"/>	the location of all land previously severed from the parcel originally acquired by the current owner of the subject land
<input checked="" type="checkbox"/>	the approximate location of all natural and artificial features on the subject land and on the land that is adjacent to the subject land that, in the opinion of the applicant may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks
<input checked="" type="checkbox"/>	the existing uses on adjacent land, such as residential, agricultural and commercial uses
<input checked="" type="checkbox"/>	the location, width and name of any roads within or abutting the subject land indicating whether it is an unopened road allowance, a public travelled road, a private road or a right-of-way
<input checked="" type="checkbox"/>	the location and nature of any easement affecting the subject land

PLANNING BOARD

2018 Fees **Base Fee \$1500 + \$750 per lot/lot addition, \$250 for each additional lot addition, \$250 per right-of-way + \$500 deposit for Professional Planning Services**

Change of Condition / Re-approval Fee (before lapsing) \$750 Stamping Fee for Retained Lot (Optional): \$750

A fee of \$325 payable to the Town of Parry Sound is required for any application within the Town of Parry Sound.

A fee of \$333 payable to the Township of Carling is required for any application within the Township of Carling (The Township deposit will be reconciled in accordance with the Townships standard rate for their planner for actual time taken).

NOTE: Additional expenses may be incurred (ie. Legal, Planning, Survey, Rezoning, Minor Variance, Parkland Fee) and are the responsibility of the applicant.

10. Affidavit / Sworn Declaration

The contents of the application and appendices shall be validated by the Applicant (or authorized agent) in the form of the following Affidavit / Sworn Declaration before a Commissioner or other person empowered to take Affidavits.

Dated at the Town of Parry Sound this 8th day of June 20 22

I, Vanessa Archer (TD Consulting INC) of the Town of Lindsay in the County/District/Regional Municipality of City of Kawartha Lakes solemnly declare that all the statements contained in this application are true, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the **CANADA EVIDENCE ACT.**

Vanessa Archer
Signature of Applicant or Agent

I have the authority to bind the corporation

DECLARED BEFORE ME at the Town of Parry Sound in the District of Parry Sound this 8th day of June 20 22

Patrick James Christie
A Commissioner of Oaths

Patrick James Christie, a Commissioner, etc.,
Province of Ontario, for John Jackson Planner Inc.,
Expires October 12, 2024

11. Authorizations

11.1 If the applicant is not the owner of the land that is the subject of this application, the written authorization of the owner that the applicant is authorized to make the application must be included with this form or the authorizations set out below must be completed.

Authorization of Owner for Agent to Make the Application

I, PAUL E. VERBLANC, am the owner of the land that is the subject of this application for Consent and/or Zoning By-law Amendment and I authorize TD Consulting INC. to make this application on my behalf.

Date JUNE 1 / 2022

Signature of Owner [Signature]

11.2 If the applicant is not the owner of the land that is the subject of this application, complete the authorization of the owner concerning personal information set out below.

Authorization of Owner for Agent to Provide Personal Information

I, PAUL E. VERBLANC, am the owner of the land that is the subject of this application for Consent and for the purposes of the **Freedom of Information and Protection of Privacy Act**, I authorize TD Consulting INC., as my agent for this application, to provide any of my personal information that will be included in this application or collected during the processing of the application.

Date JUNE 1 / 2022

Signature of Owner [Signature]

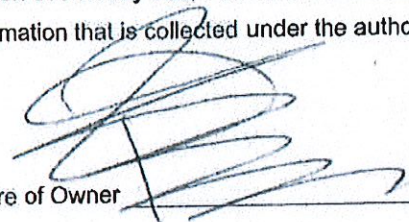
12. **Consent of the Owner** (this section must be completed for the application to be processed)

12.1 Complete the consent of the owner concerning personal information set out below.

Consent of the Owner to the Use and Disclosure of Personal Information

I, PAUL E. IERLAND, am the owner of the land that is the subject of this application and for the purposes of the **Freedom of Information and Protection of Privacy Act**, I authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the **Planning Act** for the purposes of processing this application.

Date JUNE 1 / 2022

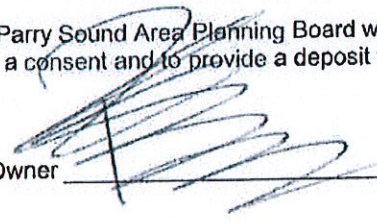
Signature of Owner 

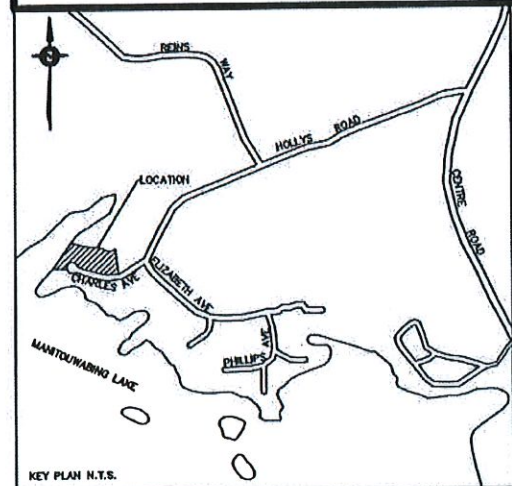
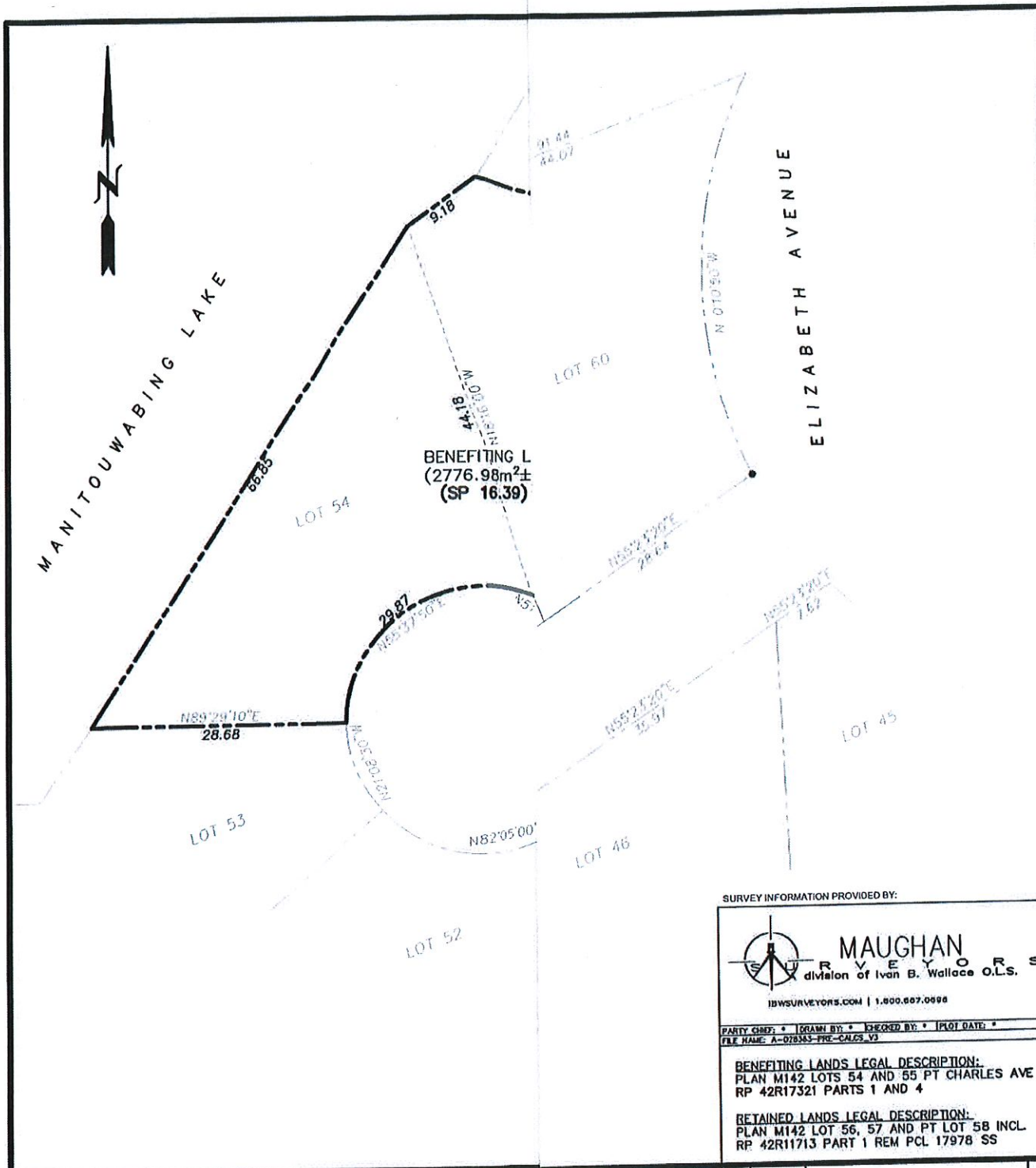
13. **Additional Fees**

The applicant hereby agrees:

- (a) to reimburse the Parry Sound Area Planning Board for any costs incurred in processing this application which are above and beyond the amount of the application fee; and
- (b) to pay all costs legal and otherwise, that may be incurred by the Parry Sound Area Planning Board with respect to an LPAT Hearing, that may be held as a result of this application for a consent and to provide a deposit for such costs at least 45 days prior to any scheduled hearing.

Date JUNE 1 / 2022

Signature of Owner 



LOT LINE ADJ	
CURRENT ZONING	
REQUIRED LOT AREA	
LOT FRONTAGE	
EXISTING LOT AREA	
LOT FRONTAGE	
PROPOSED LOT AREA	
LOT FRONTAGE	

SURVEY INFORMATION PROVIDED BY:

MAUGHAN
SURVEYORS
division of Ivan B. Wallace O.L.S.

IBWSURVEYORS.COM | 1.800.607.0898

PARTY GRID: * DRAWN BY: * CHECKED BY: * PLOT DATE: *
FILE NAME: A-078343-PRC-CALCS_V3

BENEFITING LANDS LEGAL DESCRIPTION:
PLAN M142 LOTS 54 AND 55 PT CHARLES AVE
RP 42R17321 PARTS 1 AND 4

RETAINED LANDS LEGAL DESCRIPTION:
PLAN M142 LOT 56, 57 AND PT LOT 58 INCL
RP 42R11713 PART 1 REM PCL 17978 SS

NO.	DATE	DESCRIPTION	BY
REVISIONS			
PROJECT TITLE:			
CHARLES AVENUE, MCKELLAR P2A 0B4 LOTS 54, 55, 56, 57 AND PART OF LOT 58 TOWNSHIP OF MCKELLAR DISTRICT OF PARRY SOUND			
DRAWING TITLE:			
SEVERANCE SKETCH			
TD Consulting INC. <small>153 St David St London, Ontario N6V 4Z6</small>			
DRAWN BY:		PROJECT RP:	
DESIGNED BY:		022-682	
APPROVED BY:		DRAWING NO.:	
DATE:		SK-1	
MAY 2022		SCALE: 1:300	



CONSENT APPLICATION NO. B33/2022(McK)

PART LOT 56, PLAN M142

CHARLES AVENUE

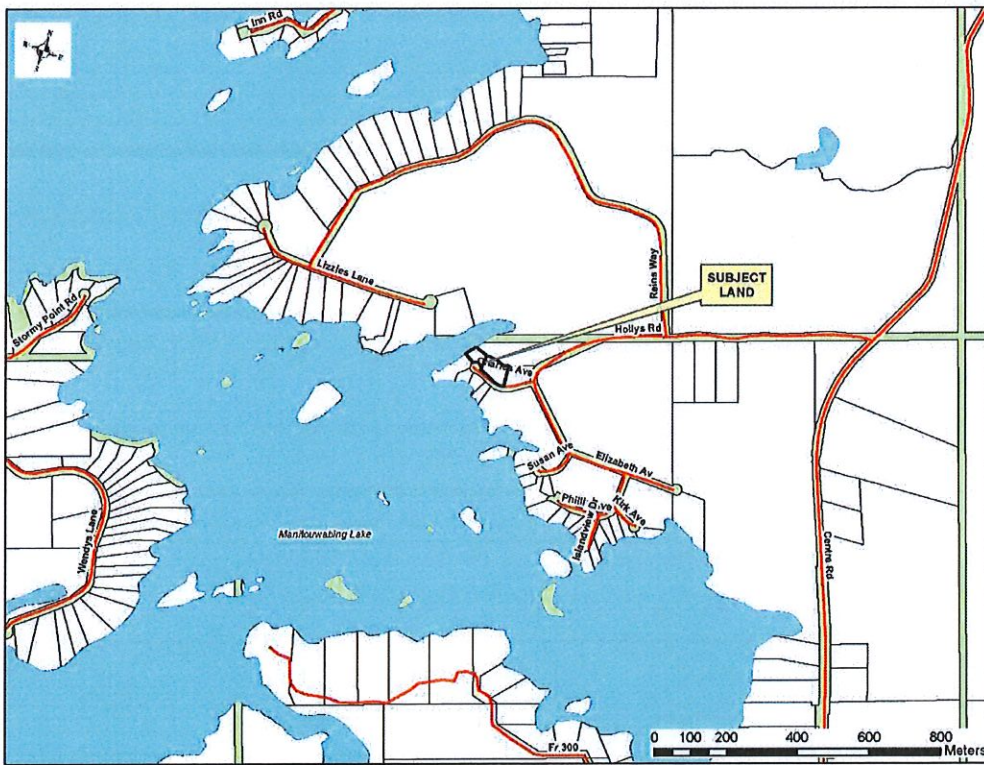
ROLL # 4928 0000 0147 050

APPLICANT: Paul Leblanc

August 4, 2022

APPLICATION PURPOSE

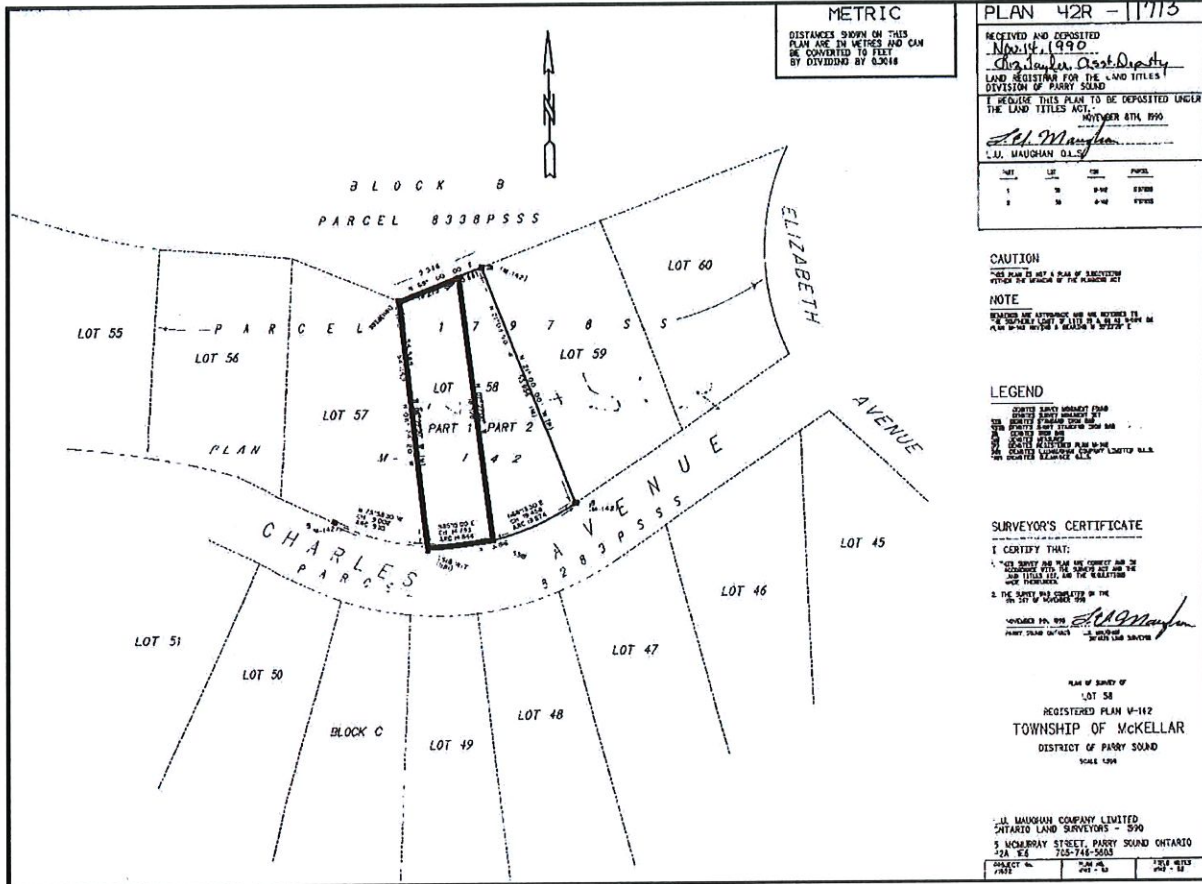
TD Consulting has applied for a consent on behalf of the owner, Paul Leblanc to add a part of a property to a neighbouring property as a lot addition.



The lands are on Charles Avenue off Holly's Road on Lake Manitouwabing.

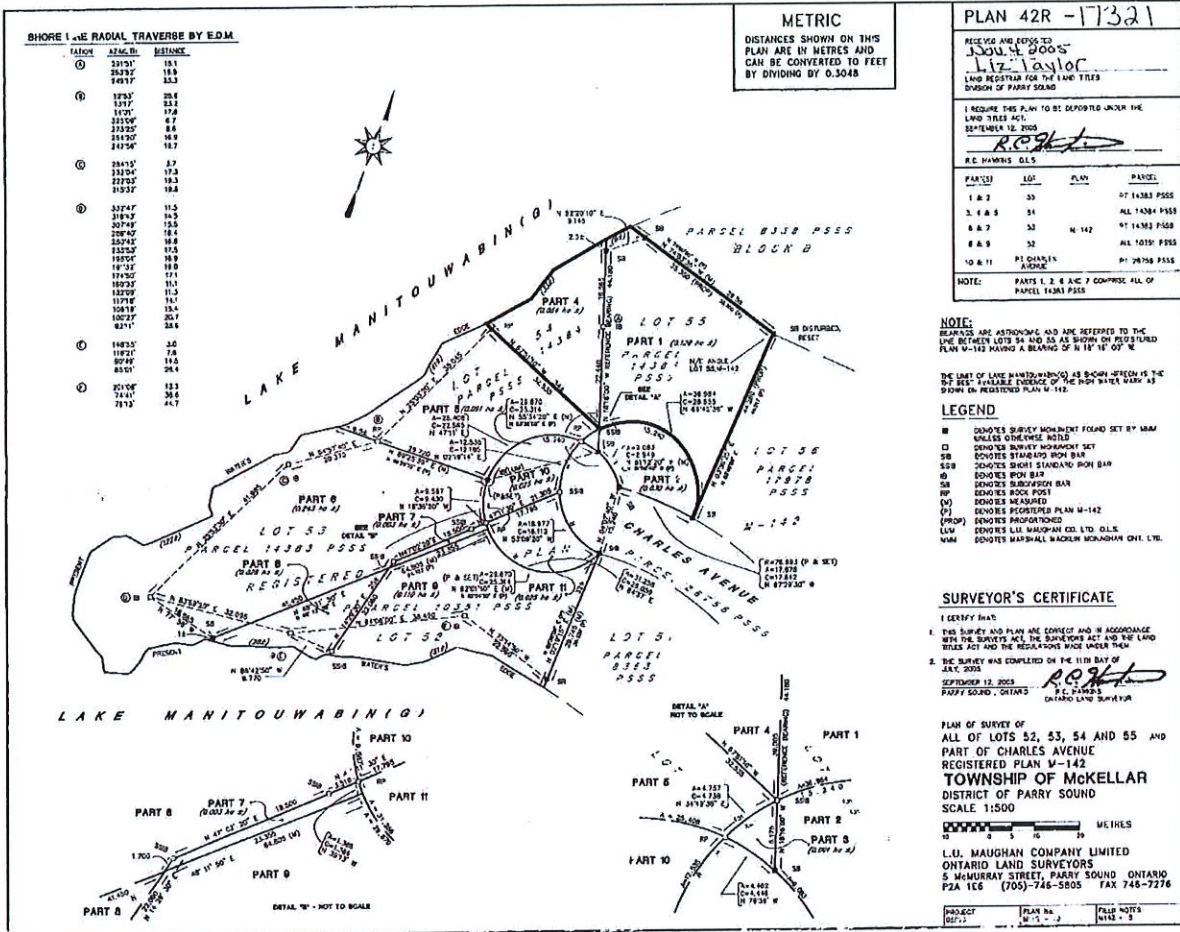
PROPERTY DESCRIPTION

Paul Leblanc owns Lots 56, 57 and half of lot 58 of Plan M-142. (Plan 42R-11713, Part 1).



The lands are presently vacant.

The benefitting property owner is the adjacent lot owner to the west, Van Blanc Ent. Inc. who owns Lots 54 and 55 of Plan M-142 and surveyed as 42R-17321, Parts 1 and 4.



The benefitting lands are also vacant.

The Leblanc lands are 0.94 acres.

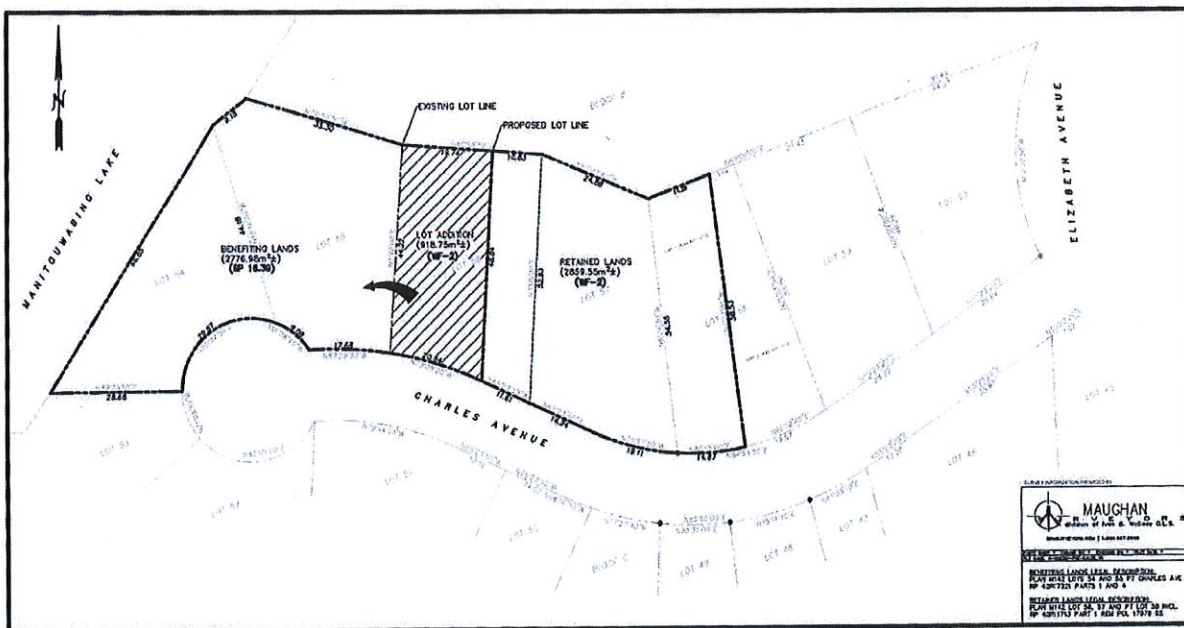
The Blanc lands are 0.45 acres.

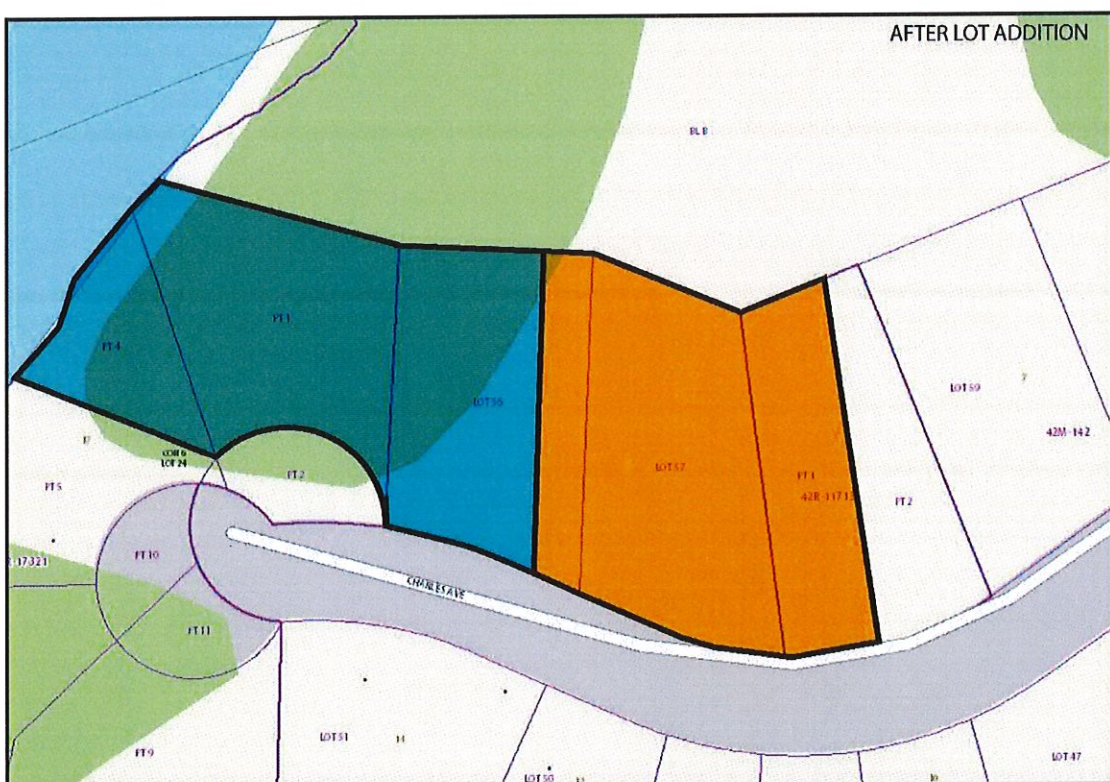
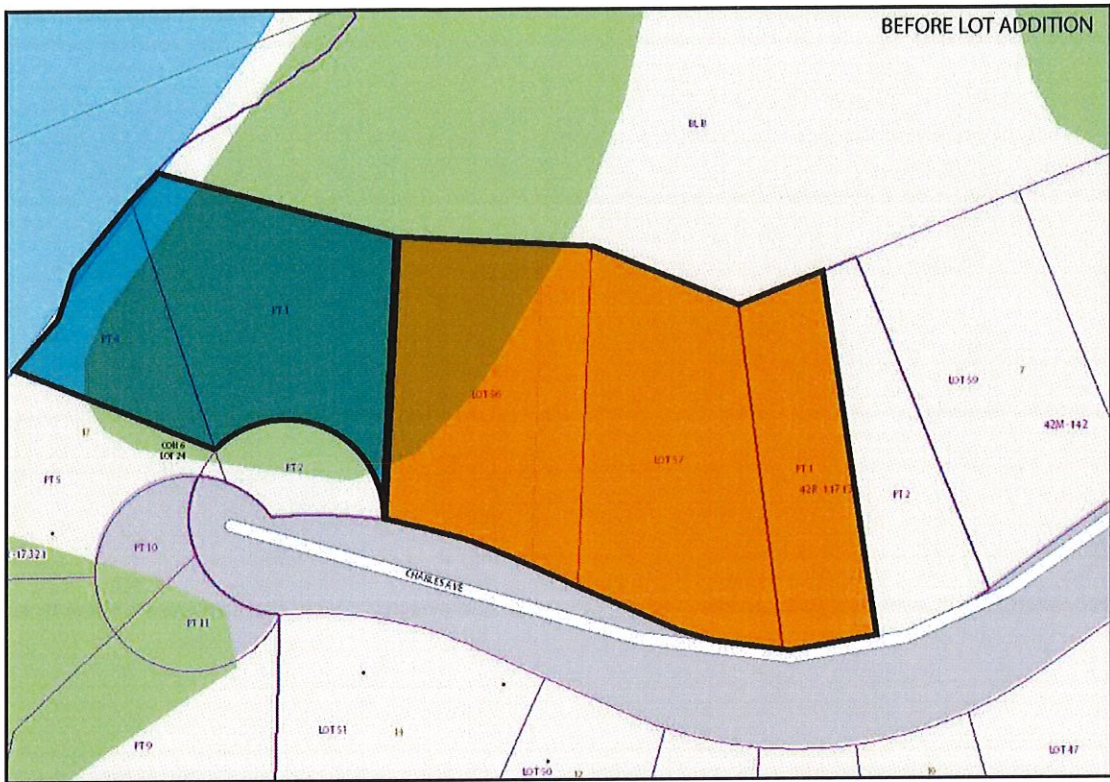
The lands are level with sparse tree cover and meadows.



CONSENT APPLICATION

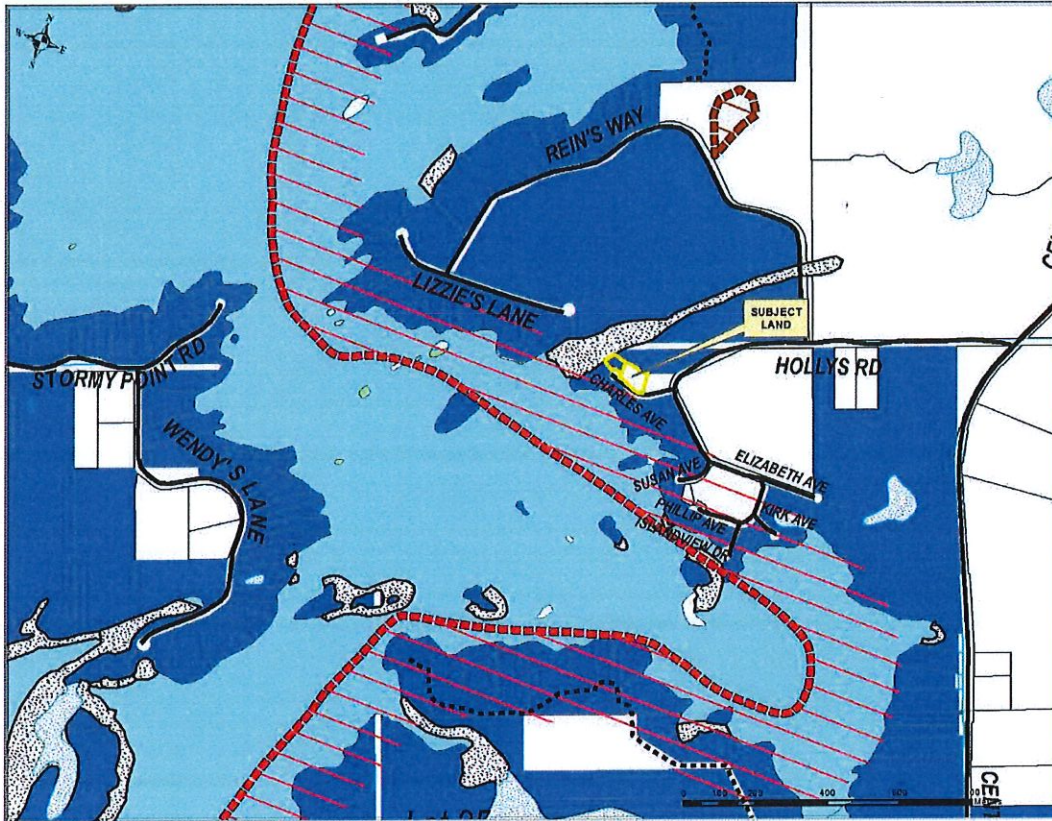
The proposed consent will add approximately 0.25 acres from the Leblanc lands to the Blanc lands.





OFFICIAL PLAN

The lands are designated Waterfront and Rural in McKellar's official plan.

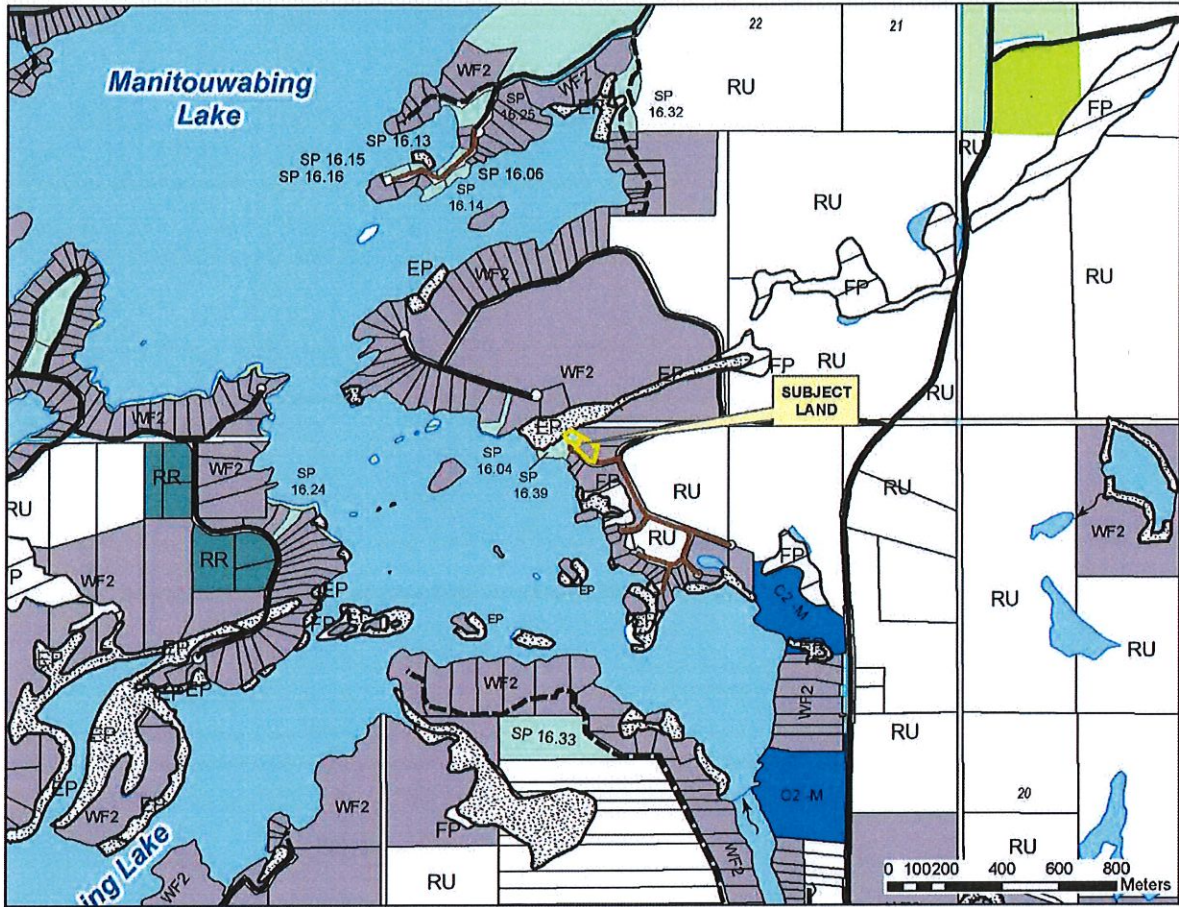


The mapping shows the Manitowabing Lake frontage as Type 1 Fish Habitat. The presence of fish habitat does not affect the proposed consent, as no new lot is being created.

ZONING

Both parcels of land are zoned Waterfront Residential 2 (WF2) in McKellar's zoning By-Law.

It should be noted that the retained lot does not front on water and its zoning should be changed in a subsequent zoning by-law update.



CONCLUSION

That the proposed consent for a lot addition to 42R-17321, Parts 1 and 4 as applied for by TD Consulting on behalf of Paul LeBlanc in Application No. B33/2022(McK) be approved subject to:

1. Confirmation from the owner's solicitor that the lots will merge;
2. Payment of any applicable planning fees.

Respectfully submitted,

John Jackson M.C.I.P., R.P.P.

JJ;jc

Township of McKellar
Sesquicentennial Ad Hoc Committee

August 10, 2022

Date: August 10, 2022

Committee members in Council Chambers: Mary Smith, Joyce Hopkins, Cheryl Saunders, Marianne Henskens, Sheila Hardie

Regrets- Anne Bradley, Morley Haskim, Kathy Spence, Elyse Graf, Lynne Aylsworth

Visitors- NONE

1. Conflict of Interest- NONE

2. Minutes of June 8, 2022 meeting:

Motion #22-21 to accept minutes of the June 8, 2022 Meeting minutes as amended.

Moved by Marianne Henskens, Seconded by Cheryl Saunders.

CARRIED

3. Agenda :

Motion 22-22 to move and accept the agenda for August 10th, 2022 meeting as amended.

Moved by Cheryl Saunders and Seconded by Marianne Henskens.

CARRIED

Correspondance:

4. To appoint Kathy Spence as Vice President

Motion 22-23 to appoint Kathy Spence as Vice President of the Sesquicentennial Ad-Hoc Committee.

Moved by Sheila Hardie and Seconded by Cheryl Saunders.

CARRIED

Lynne Aylsworth to stay on as committee member.

**TOWNSHIP OF McKELLAR
RECREATION COMMITTEE – MINUTES
MAY 26, 2022, 3:30 p.m.**

PRESENT: Al Last, Joyce Hopkins, Kathy Spence, Mel Hammond, Morley Haskim, Judy Ryeland
REGRETS: Dinah Ryeland Brown, Phil Jefkins, Linda Filion, Rick Brear.

VISITORS: None

APPROVAL OF THE MINUTES: Moved by Judy Ryeland and seconded by Kathy Spence that the Recreation Committee of the Township of McKellar does hereby accept the minutes of the April 28, 2022 meeting. Motion Carried (22-17).

APPROVAL OF THE AGENDA: Moved by Mel Hammond and seconded by Al Last that the Recreation Committee of the Township of McKellar do hereby accept the agenda for the May 26, 2022 meeting. Motion Carried (22-18).

DECLARATION OF CONFLICT OF INTEREST: None

CORRESPONDENCE RECEIVED: Joyce received confirmation that the Michael Granka Band has been booked for the 2023 St. Patrick's Day Dance.

REPORTS OF MEMBERS:

1. Morley reported that staff have advertised for a Swimming Instructor and that an applicant has submitted a resume. Joyce and Kathy will sit on the Hiring Committee along with a staff member. Kathy volunteered to draft questions for any interviews. The Recreation Committee agreed to have Judy and Kathy continue to advertise for this position until an applicant is secured. The Recreation Committee with discussion, feel that prices and general format for the Swimming Lessons can remain the same as in 2019.

2. Judy and Mel reported that Indoor Pickleball will continue until the activity is moved to the outdoor rink.

3. Morley reported that Rick Brear has 26 children signed up for T-Ball. The Ball Storage Bin will be moved back to the ball diamond and a new combination lock will be purchased. Staff are purchasing new players benches with funds from a recreation reserve account. With the increase in sign-ups, The Ball Program in McKellar will most likely expand in the coming years.

4. Joyce reported that Movie Nights are continuing and are averaging about 12 people each night.

SEE PAGE 2

PAGE 2

NEW BUSINESS:

Movie Nights- Fridays – May 27 – King Richard, June 10 – Death on the Nile, June 24 – Amadeus. The Committee are also considering a summer movie night.

Outdoor Pickleball – This program will begin when weather permits. Judy will talk to Phil regarding equipment storage at the rink.

Budget – Council has yet to approve the budget but regular recreation programming will continue.

Badminton and the Seniors Walking and Exercise Program have ended for the season and will start up again in October. Tai Chi will continue until June 24.

Kids Fish n Fun Day – Saturday, July 16, 2:30- 4:00. The Committee have moved this event to a later time to allow McKellar Market vendors to exit the park. More details will be discussed at the June meeting.

Canoe/Kayak Trip – Sunday, July 24, 10:00-12:30. This will begin at Minerva Park and return to Minerva Park for a Barbecue Lunch at 12:30. More details will be discussed at the June meeting.

NEXT MEETING: June 23, 2022, 3:30 p.m.

ADJOURNMENT: Moved by Mel Hammond and seconded by Judy Ryeland that the Recreation Committee of the Township of McKellar does hereby adjourn at 4:40 p.m. Motion Carried (22-19).

DRAFT

McKellar Historical Committee Minutes

Wednesday May 4, 2022

Call the meeting to order at 3:35pm

MEMBERS PRESENT: Vivian Moore, Joyce Hopkins, Irva Stewart
Mike Kekkonen,

REGRETS: Carolyn Phillips, Brian Szepaniak

VISITORS: None

DECLARATION OF CONFLICT OF INTEREST: None

Moved by: Joyce Hopkins

Seconded by: Irva Stewart

22-10 That the Agenda for the meeting be Approved as circulated.

Carried

Moved by: Mike Kekkonen

Seconded by: Joyce Hopkins

22-11 That the minutes of the April 6, 2022 Historical Committee meeting be approved as circulated.

Carried

CORRESPONDENCE: None

REPORTS: Councillor Kekkonen reported that there have been no updates on the NOHFC funding application at this point in time.

The Historical committee discussed:

- ideas for future news articles to be placed in the Parry Sound Life magazine.
- the status of the proposed ground penetrating radar research project at the church yard around the McKellar United Church. There would be an effort to obtain an update on when Chris Houser would be able to schedule the process and if this could also include the Church yard around Hemlock Church.
- Joyce Hopkins would review potential updates to the new historical committee website this summer as time permits.
- opportunities to work with the members of the MLCA with experience developing apps that would be part of the McKellar Driving Tour booklet project, and other future projects.
- Revolving displays that may include Century Farms, and the Churches in McKellar.
- the status of the (1873-2023) 150 calendar.
- the Georgian Bay Winds are scheduled to perform a concert January 2023 in McKellar.
- Irva has donated a filing cabinet for organizing some of the paperwork in the Historical room.

Moved by: Irva Stewart

Seconded by: Joyce Hopkins

22-12 Be it resolved that the Historical Committee meeting be adjourned. Meeting adjourned at 4:52 pm.

Carried

Next meeting date scheduled for Wednesday June 1, 2022.

LAKE STEWARDSHIP AND ENVIRONMENTAL STANDING COMMITTEE OF MCKELLAR TOWNSHIP
Draft Minutes
THURSDAY, July 14 2022
7:00 PM

Topic: Maintaining Your Septic System with Danielle Ward AND Lake Stewardship and Environmental Committee July meeting. 11 folks participated

Time: Jul 14, 2022 07:00 PM Eastern Time (US and Canada)

Danielle is from Adam's Bros daniellew@adamsbros.ca in Parry Sound and they are involved from start to finish with septic. Septic system longevity depends on maintenance. There are 5 classes of systems, the most common being a leaching bed system, comprised of 2 compartments inside one tank...solids are separated from the liquid side.

North Bay-Mattawa conservation authority has copies of our septic here in McKellar. Most people pump every 3-7 years, pump truck operators will tell you if you need to pump earlier. When to pump depends on usage.

Make sure you space out loads of laundry, showers etc., the septic needs to rest. Systems are designed not for big parties but for everyday use. Do not put anything heavy on your leaching field as it will damage the pipes. Do not plow snow off the bed.

Effluent filters need to be cleaned!

Do not put any grease into your drain/ system, or food scraps (scrape your plates before putting in dish washer) bleach, baking supplies, hair conditioner, fabric softener, coffee grounds, paint and thinners (including washing your brushes), paper towels, Kleenex, condoms, feminine products, baby or feminine wipes.

Post signs in your bathroom and kitchen telling guests what not to flush!

Camera inspections are available for leaching beds.

Additives can be a good thing...allot of things say they are septic safe but read carefully! Trees can be planted but find out from a nursery how large their root base is, at least 20' away. Spruce trees put out large root systems. Grass or clover is safe.

Drano is not good for your septic system, nor is CLR. Does septobac help the situation? It does! Keep your bacteria healthy.

In an older system can you retrofit a filter in an older tank? Yes!

Thanks to Danielle for a thorough talk on septic systems. Danielle will answer questions, her email is at the beginning of the presentation.

COVID/Illness caused the council chambers to be closed so Nick Ryeland was not on hand in the Community centre. Host of the zoom meeting was Jennifer Ghent-Fuller. This presentation will be streamed on You Tube.

Item	Time	Meeting began at 7:49
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1.8		Earth Day / Clean Up Our Lakes –
2.1		Fish Stocking in Armstrong Lake –
2.2		Fish Catch reporting signs for Armstrong Lake - is the sign up?
2.3	X	Catch and Release Signs – they are up, AI will follow up on posting these and on the back of the Safe Boating flyer
2.4	X	Benthic Study – sampling will take place in July, report end of September, early October and it will be made available.
2.5		Pesticides/Fertilizers – would be included in any Drinking Water Source Protection
2.6	X	Invasive Species – flyer at the market, will be sampling for these
2.7	X	Dark Skies – flyer at the market
2.8		Water Levels – Jennifer would like to amend the report and have it on our web section as a resource
2.9	X	Motion: This committee requests the Township to pay Tianna Burke \$250.00 + HST for a presentation on Birds and Bats in our Environment at the beginning of the Sept 8 th meeting (Resolution 2022 – 04) Moved: Tony Seconded: Susan Approved: Y
2.10	X AI Axy &JGF	Butterflyways – AI has accepted the lead role in this – next steps? – Jennifer made a presentation at the June Council meeting – Council agreed that this committee can arrange for “pollinator patches” on Township property with staff permission. We have books at the market from GBB that are being handed out.
4.1	X	ICECAP – We need information on how the \$8,000 in our budget for ICECAP is spent - Tony. What is ICECAP and what are the benefits, can we discuss this with the town clerk? We will wait to hear from Nick/Ina
4.2		EV Chargers -
4.3		Foodcyclers – Nick – council will not go forward with this at present - Jennifer will discuss Greg Gostick’s idea for composting cooperatively with other area Municipalities with him at a later date
5.		Communication/ Facebook/Flyers/Public Presentations in the Summer-Scheduling-Topics/Township web page Full list of meetings and links up to and including Sept 8 has been sent to the township and are posted on the calendar
6.		Other – New Business - * Email address was established as lsec.mckellar@gmail.com – Jennifer will monitor

Joyce has been speaking with Parry Sound North Star and they are thinking about a 4 Page Feature for the McKellar 150th for next year, this will be great FREE advertising.

Reports:

- 2 Grants entered sitting with the Federal Government at Stage 2
- Budget, see attached chart
- T-shirts are sold out for Adult Sizes, more have been ordered, hoping they will be here before Labour Day Weekend
- What has been sold to date:
 - 88 T-shirts
 - 33 Flags
 - 45 Calendars
- Joyce will be going around to the local businesses and asking if they would like to buy a McKellar 150th Flag in support and also will be good for more promoting
- We will be purchasing 6 Banners and stick paper flags for distribution
- Historical Timeline is still in progress, we need to figure out a plan to piece it together physically in an artistic way. May need local artist to help figure out how to do this, needs to be one piece of art to qualify for Grant
- Marathon du McKellar – see attached draft of marathon route, Marianne has been working on logistics of parking, registration costs, route, medical responders, signs, packets for each runner, waiver, etc.
- Trestle Brewery – still need to talk to them, hoping next week sometime. Need to figure out sketch/logo/photo etc. for the can
- Preliminary Report to Council will be done for October Council Meeting, will include some of the key event dates
- Letters to dignitaries inviting them to the McKellar 150th event July 29, 2022 will be sent out around October this year. Example: Premier, Prime Minister, MP, MPP, Mayor's, Former Mayor's, Councillors, Chief's, etc.
- The McKellar Fall Fair is September 10, 2022 this year, we have McKellar 150th Booth in the vendors, still looking for anyone that can help on this day for any time slots.

NEXT MEETING September 14, 2022 at 9:30am in Council Chambers.

Adjournment

5. Resolution 22-25

Motion to adjourn the meeting of August 10, 2022 @ 10:48 am

Moved by Cheryl Saunders and Seconded by Marianne Henskens

CARRIED

Summer 2022 Swimming Lessons Report

Evelyn Brewster

I taught the swimming lessons in McKellar for the summer of 2022.

In session 1, for the first 3 weeks of July, I taught 7 classes a day with 1-4 students per class. In session 2, the last week of July and the first 2 weeks of August, I taught 5 classes a day, with 1-3 students per class. Lessons ran from 10a.m. until 4 p.m., 5 days a week. I was provided with life jackets, flutter boards, and floating/sinking water toys.

In each class we worked on breathing/bubble activities, strokes/kicking, surface support (floating, treading), and a game. Once a week we did distance swim.

Almost every child completed at least 1 level. One completed 2 levels and several completed almost 2 levels.

The main complication I had was the biggest classes were with the youngest kids who needed the most supervision and support.

The room and facilities for storage, rainy days, and breaks were very good.

Suggestions for consideration:

1. Having parents sign up when they want means classes with too many swim levels. Classes should be single level or 2 consecutive levels.
2. Comments were made about 5 day weeks being too much . I would recommend a Monday - Thursday schedule. This still leaves plenty of time to complete the program.
3. A 10 min break between each class would be sufficient (instead of 15).
4. The current buoy setup is not appropriate for the higher level distance swims. Perhaps a marker or second buoy line from the dock to further out in the lake could be arranged.

Overall I had a good experience teaching the kids. The staff in the office were incredibly helpful and supportive.

Thank you for this fun opportunity.

Evelyn Brewster

Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)

Invoice Number Vendor Date Description Due Date Invoice Amt Approved Amt Account Number Account Description

General Liabilities and Equity

1316	Betty Mallory, 23 Marshall St., Barrie, ON, L4N 3S4								
2-70600	07-29-22 Refundable Entrance/Blgd Fees	08-31-22	\$750.00	\$750.00	01-01-030-617	Refundable Entrance/Blgd			
				\$750.00					

Total General Liabilities and Equity

\$750.00

General Government

36	Bell Mobility Inc., P.O. Box 5102, Burlington, ON, L7R 4R7								
AUG2022	07-13-22 Telephone	08-31-22	\$35.01	\$35.01	01-02-060-007	Telephone			
				\$35.01					

109	Home Hardware, 31 Joseph Street, Parry Sound, ON, P2A 2G3								
174073	07-05-22 Miscellaneous	08-31-22	\$30.51	\$30.51	01-02-060-024	Miscellaneous			
174416	07-28-22 Miscellaneous	08-31-22	\$15.76	\$15.76	01-02-060-024	Miscellaneous			
174422	07-28-22 Miscellaneous	08-31-22	\$28.48	\$28.48	01-02-060-024	Miscellaneous			
174422	07-28-22 Miscellaneous	08-31-22	\$14.91	\$14.91	01-02-060-024	Miscellaneous			
				\$89.66					

1021	MY-TECH INFORMATION TECHNOLOGY, 20 BARTLETT DRIVE, SEGUIN, ON, P2A 2W8								
JULY2022	07-31-22 Information Technology Support	08-31-22	\$1,143.28	\$1,143.28	01-02-060-023	Information Technology			
				\$1,143.28					
1160	HICKS MORLEY, 77 KING STREET WEST, 39TH FLOOR, BOX 371, TD CENTRE, TORONTO, ON,								
616857	07-29-22 Professional Services - Legal / Land Registry etc	08-31-22	\$354.12	\$354.12	01-02-060-020	Professional Services -			
				\$354.12					

Total General Government

\$1,622.07

Township of McKellar
A/P Preliminary Cheque Run
 (Council Approval Report)

Invoice Number Vendor Date Description Due Date Invoice Amt Approved Amt Account Number Account Description

Fire Protection Services

36	Bell Mobility Inc., P.O. Box 5102, Burlington, ON, L7R 4R7								
AUG2022	07-13-22 Telephone	08-31-22	\$45.79	\$45.79	01-03-150-007	Telephone			
AUG2022	07-13-22 Telephone	08-31-22	\$28.49	\$28.49	01-03-150-007	Telephone			
AUG2022	07-13-22 Telephone	08-31-22	\$43.26	\$43.26	01-03-150-007	Telephone			
AUG2022-CR	07-13-22 Telephone	08-31-22	(\$97.50)	(\$97.50)	01-03-150-007	Telephone			
			\$20.04	\$20.04					

Total Fire Protection Services

\$20.04

Building Department

36	Bell Mobility Inc., P.O. Box 5102, Burlington, ON, L7R 4R7					
AUG2022	07-13-22 Telephone	08-31-22	\$35.16	\$35.16	01-04-170-007	Telephone

\$35.16

Total Building Department

\$35.16

Protection to Persons and Property

36	Bell Mobility Inc., P.O. Box 5102, Burlington, ON, L7R 4R7					
AUG2022	07-13-22 Miscellaneous	08-31-22	\$34.45	\$34.45	01-05-190-024	Miscellaneous
665	CHRIS A. EVERITT, 66 MILLER DRIVE, MCDougall, ON,					
JULY2022	08-02-22 Bylaw Enforcement Annual Levy	08-31-22	\$1,600.00	\$1,600.00	01-05-182-030	Bylaw Enforcement
JULY2022	08-02-22 Mileage	08-31-22	\$330.24	\$330.24	01-05-190-006	Mileage

\$1,930.24

Total Protection to Persons and Property

\$1,964.69

Transportation

36	Bell Mobility Inc., P.O. Box 5102, Burlington, ON, L7R 4R7					
AUG2022	07-13-22 Telephone	08-31-22	\$35.61	\$35.61	01-06-200-007	Telephone
845	TOROMONT CAT, WALDEN INDUSTRIAL PARK, 25 MUMFORD DRIVE, LIVELY, ON, P3Y 1K9					
WO900885712	07-16-22 Maintenance Costs/Parts	08-31-22	\$170.97	\$170.97	01-06-248-143	Maintenance Costs/Parts
WO900885713	07-16-22 Maintenance Costs/Parts	08-31-22	\$83.78	\$83.78	01-06-248-143	Maintenance Costs/Parts

\$254.75

Total Transportation

\$290.36

Township of McKellar
A/P Preliminary Cheque Run
 (Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description
Environmental Services								
919	WASTE CONNECTIONS OF CANADA INC., PO BOX 1779, 580 ECCLESTONE DRIVE, BRACEBRIDGE, ON, P1L 1V7							
7113-0000-322155	07-31-22 Recycling Contract			08-31-22	\$1,559.69	\$1,559.69	01-08-301-121	Recycling Contract
					\$1,559.69			
Total Environmental Services								
					\$1,559.69			
Health Services								
196	NORTH BAY PARRY SOUND DISTRICT HEALTH UNIT, 345 OAK STREET WEST, NORTH BAY, ON, P1B 2T2							
JULY2022	07-15-22 North Bay Parry Sound Health Unit Annual Levy			08-31-22	\$3,316.61	\$3,316.61	01-09-330-030	North Bay Parry Sound
					\$3,316.61			
257	Town of Parry Sound, 52 Seguin Street, Parry Sound, ON, P2A 1B4							
JULY2022	07-15-22 EMS Ambulance Annual Levy			08-31-22	\$18,163.00	\$18,163.00	01-09-320-030	EMS Ambulance Annual
					\$18,163.00			
					\$21,479.61			
Total Health Services								
					\$21,479.61			
Parks and Recreation Facilities								
1234	PHIL JEFFKINS, 8 PHILIP AVENUE, MCKELLAR, ON, P2A 0B4							
CA21PV668ACII	07-26-22 Recreation Programs			08-31-22	\$39.06	\$39.06	01-11-360-129	Recreation Programs
					\$39.06			
Total Parks and Recreation Facilities								
					\$39.06			
Community Centre								
554	Alex Herr, 17 John St, Parry Sound, ON, P2A 1R6							
JULY2022	08-03-22 Janitorial Contract			08-31-22	\$2,500.00	\$2,500.00	01-12-370-250	Janitorial Contract
					\$2,500.00			
Total Community Centre								
					\$2,500.00			
Planning and Development								
12	Adams Brothers Construction Ltd, P.O. Box 324, Parry Sound, ON, P2A 2X4							
154442	07-27-22 ICECAP Committee			08-31-22	\$254.40	\$254.40	01-14-411-030	ICECAP Committee
					\$254.40			
1315	Ted Davidson Consultants INC, 125 Cumberland Drive, Mississauga, ON, L5G 3N3							
BR/1/22	07-25-22 Planning Consultant Services			08-31-22	\$3,204.94	\$3,204.94	01-14-400-021	Planning Consultant

**Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)**

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description
CR/1/22		07-21-22	Planning Consultant Services	08-31-22	\$2,555.71	\$2,555.71	01-14-400-021	Planning Consultant
Total Planning and Development						\$6,015.05		

Total Bills To Pay: \$36,275.73

Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description
General Liabilities and Equity								
157	Reg Moore, 6 Fox Farm RD, PO Box 14, McKellar, ON, P0G 1C0	08-08-22	Refundable Entrance/Bldg Fees	08-31-22	\$750.00	\$750.00	01-01-030-617	Refundable Entrance/Bldg
2-42500						\$750.00		

Total General Liabilities and Equity

\$750.00

General Government

109	Home Hardware, 31 Joseph Street, Parry Sound, ON, P2A 2G3	08-08-22	Miscellaneous	08-31-22	\$98.77	\$98.77	01-02-060-024	Miscellaneous
174534						\$98.77		
282	ViaNet, 128 Larch St. Suite 502, Sudbury, ON, P3E 5J8	08-01-22	Telecommunication Service (Internet, Website)	08-31-22	\$170.90	\$170.90	01-02-060-031	Telecommunication
AUG2022						\$170.90		
407	Corporate Express Canada Inc., C.O T04446C, PO BOX 4446, STN A, TORONTO, ON, M5W 4A2	08-03-22	Office Supplies/Materials-speakers	08-31-22	\$46.82	\$46.82	01-02-060-009	Office Supplies/Materials
60154219						\$46.82		
1139	PITNEY WORKS, BOX 280, ORANGEVILLE, ON, L9W 2Z7	07-25-22	Postage/Courier	08-31-22	\$2,035.20	\$2,035.20	01-02-060-010	Postage/Courier
JULY2022						\$2,035.20		

Total General Government

\$2,351.69

Fire Protection Services

642	JIM REVINGSTON, ...	08-10-22	Miscellaneous	08-31-22	\$23.50	\$23.50	01-03-150-024	Miscellaneous
AUG2022						\$23.50		
AUG2022		08-10-22	Miscellaneous	08-31-22	\$35.56	\$35.56	01-03-150-024	Miscellaneous
AUG2022						\$35.56		
AUG2022		08-10-22	Miscellaneous	08-31-22	\$33.66	\$33.66	01-03-150-024	Miscellaneous
AUG2022						\$33.66		
AUG2022		08-10-22	Miscellaneous	08-31-22	\$34.13	\$34.13	01-03-150-024	Miscellaneous
AUG2022						\$34.13		
AUG2022		08-10-22	Miscellaneous	08-31-22	\$28.05	\$28.05	01-03-150-024	Miscellaneous
AUG2022						\$28.05		

Total Fire Protection Services

\$154.90

Transportation

119	Dan Hamel, 53 Brownley Rd, R. R. 1, Parry Sound, ON, P2A 2W7	08-02-22	Personal Protective Equipment Employee Allowance	08-31-22	\$61.05	\$61.05	01-06-200-008	Personal Protective
AUG2022						\$61.05		

\$61.05

Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description
137	MUSKOKA AUTO PARTS, 45 Gibson Street, Parry Sound, ON, P2A 1X1	08-02-22	Maintenance Costs/Parts	08-31-22	\$42.52	\$42.52	01-06-243-143	Maintenance Costs/Parts
752651/4								
218	Parry Sound Auto Parts, 74 Parry Sound Drive, Parry Sound, ON, P2A 0B8	08-09-22	Office Supplies/Materials	08-31-22	\$58.33	\$58.33	01-06-200-009	Office Supplies/Materials
1-2897695		07-07-22	Equipment & Repairs	08-31-22	\$6.74	\$6.74	01-06-210-114	Equipment & Repairs
2895777						\$65.07		
357	Innovative Surface Solutions Canada, 78 Orchard Road, Ajax, ON, L1S 6L1	06-29-22	Materials & Supplies	08-31-22	\$2,812.79	\$2,812.79	01-06-245-145	Materials & Supplies
INV/59122								
572	McDougall Energy Inc, 421 Bay Street, Suite 301, Sault Ste. Marie, ON, P6A 1X3	08-02-22	Fuel - Diesel	08-31-22	\$806.65	\$806.65	01-06-228-142	Fuel - Diesel
5967547		08-02-22	Fuel - Diesel	08-31-22	\$1,957.21	\$1,957.21	01-06-228-142	Fuel - Diesel
5967549						\$2,763.86		
612	MASON PAVEMENT MARKING INC, 201 Luckey Road, Utterson, ON, P0B 1M0	07-27-22	Materials & Supplies	08-31-22	\$10,466.27	\$10,466.27	01-06-245-145	Materials & Supplies
24708								
885	TIREMASTER, 145 ORENDA ROAD, BRAMPTON, ON, L6W 1W3	05-18-22	Maintenance Costs/Parts	08-31-22	\$472.68	\$472.68	01-06-237-143	Maintenance Costs/Parts
P85038		06-30-22	Maintenance Costs/Parts	08-31-22	\$1,569.45	\$1,569.45	01-06-237-143	Maintenance Costs/Parts
P85969		05-18-22	Maintenance Costs/Parts	08-31-22	\$558.16	\$558.16	01-06-243-143	Maintenance Costs/Parts
P85042		05-31-22	Maintenance Costs/Parts	08-31-22	\$2,004.67	\$2,004.67	01-06-243-143	Maintenance Costs/Parts
P85100		05-31-22	Maintenance Costs/Parts	08-31-22	\$1,841.86	\$1,841.86	01-06-243-143	Maintenance Costs/Parts
P85267		05-17-22	Maintenance Costs/Parts	08-31-22	\$632.24	\$632.24	01-06-248-143	Maintenance Costs/Parts
P84626								
982	AIR AUTOMOTIVE TRACKING INC., 160 COLLARD DRIVE, KING CITY, ON, L7B 1E4	08-01-22	Maintenance Costs/Parts	08-31-22	\$20.35	\$20.35	01-06-235-143	Maintenance Costs/Parts
MCK08-22		08-01-22	Maintenance Costs/Parts	08-31-22	\$20.35	\$20.35	01-06-237-143	Maintenance Costs/Parts
MCK08-22		08-01-22	Maintenance Costs/Parts	08-31-22	\$20.35	\$20.35	01-06-241-143	Maintenance Costs/Parts
MCK08-22		08-01-22	Maintenance Costs/Parts	08-31-22	\$20.35	\$20.35	01-06-244-143	Maintenance Costs/Parts
MCK08-22		08-01-22	Maintenance Costs/Parts	08-31-22	\$20.35	\$20.35	01-06-246-143	Maintenance Costs/Parts
MCK08-22		08-01-22	Maintenance Costs/Parts	08-31-22	\$20.35	\$20.35	01-06-247-143	Maintenance Costs/Parts
MCK08-22		08-01-22	Maintenance Costs/Parts	08-31-22	\$20.35	\$20.35	01-06-248-143	Maintenance Costs/Parts
MCK08-22						\$142.45		
Total Transportation						\$23,433.07		

Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description
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Environmental Services

12	Adams Brothers Construction Ltd, P.O. Box 324, Parry Sound, ON, P2A 2X4	08-06-22	Waste Hauling Contract	08-31-22	\$3,306.54	\$3,306.54	01-08-301-122	Waste Hauling Contract
154807						\$3,306.54		

Total Environmental Services

\$9,069.72
 \$9,069.72
 \$12,376.26

Parks and Recreation Facilities

218	Parry Sound Auto Parts, 74 Parry Sound Drive, Parry Sound, ON, P2A 0B8	08-09-22	Materials & Supplies	08-31-22	\$222.08	\$222.08	01-11-360-145	Materials & Supplies
1-2897609						\$222.08		

Total Parks and Recreation Facilities

\$222.08
 \$222.08

Total Bills To Pay: \$42,697.76

Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description
General								
235	RECEIVER GENERAL, CANADA REVENUE AGENCY TECHNOLOGY CENTRE, 875 HERON ROAD, OTTAWA, ON, K1A 1B1							
AUG2022		08-15-22	CPP Deductions	08-31-22	\$6,764.42	\$6,764.42	01-00-000-631	CPP Deductions
AUG2022		08-15-22	EI Deductions	08-31-22	\$2,007.32	\$2,007.32	01-00-000-632	EI Deductions
AUG2022		08-15-22	Income Tax Payable	08-31-22	\$15,327.88	\$15,327.88	01-00-000-633	Income Tax Payable

\$24,099.62

Total General

\$24,099.62

Total Bills To Pay:

\$24,099.62

Township of McKellar
A/P Preliminary Cheque Run
 (Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description
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General Government

206	Municipal Property Assessment Corp, PO Box 3884, Commerce Court Postal Station, Toronto, ON, M5L 1K1	07-01-22	MPAC Annual Levy	08-31-22	\$17,310.91	\$17,310.91	01-02-310-030	MPAC Annual Levy
1800031055								

\$17,310.91

Total General Government

\$17,310.91

Transportation

239	Rona Building Centre, 115 Bowes Street, Parry Sound, ON, P2A 2L8	08-31-22	Dust Control	08-31-22	\$617.74	\$617.74	01-06-223-146	Dust Control
193179								
	CREDITMEMO 19318008-11-22Dust Control Materials/Supplies				(\$45.54)	(\$45.54)	01-06-223-146	Dust Control

\$572.20

845	TOROMONT CAT, WALDEN INDUSTRIAL PARK, 25 MUMFORD DRIVE, LIVELY, ON, P3Y 1K9	08-31-22	Maintenance Costs/Parts	08-31-22	\$52.83	\$52.83	01-06-243-143	Maintenance Costs/Parts
WO900887863								
	WO900887862	08-03-22	Maintenance Costs/Parts	08-31-22	\$13.55	\$13.79	01-06-248-143	Maintenance Costs/Parts

\$66.62

Total Transportation

\$638.82

Total Bills To Pay:

\$17,949.73

Township of McKellar
A/P Preliminary Cheque Run
 (Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description
General								
643	OMERS ADMINISTRATION CORPORATION, 900-100 ADELAIDE STREET WEST, TORONTO, ON, M5H 0E2	08-18-22	Group Benefits Payable	08-31-22	\$12,085.14	\$12,085.14	01-00-000-635	Group Benefits Payable
AUG2022								
					\$12,085.14			

Total General **\$12,085.14**

General Liabilities and Equity								
1223	R.J. BURNSIDE & ASSOCIATES, 15 TOWNLINE, ORANGEVILLE, ON, L9W 3R4	08-16-22	Accrued Liability	08-31-22	\$1,827.61	\$1,827.61	01-01-030-610	Accrued Liability
300053034-0000.13								
					\$1,827.61			
1318	Ronald Voll, 15 Fire Route 300-Cole Point Trail, McKellar, ON, P2A 0B4	08-16-22	Refundable Entrance/Bldg Fees	08-31-22	\$750.00	\$750.00	01-01-030-617	Refundable
					\$750.00			

Total General Liabilities and Equity **\$2,577.61**

General Government								
602	TELIZON, P.O. BOX 627, BARRIE, ON, L4M 4V1	06-10-22	Telephone	08-31-22	\$5.89	\$5.89	01-02-060-007	Telephone
06311020220610		07-10-22	Telephone	08-31-22	\$7.25	\$7.25	01-02-060-007	Telephone
06311020220710		08-10-22	Telephone	08-31-22	\$4.53	\$4.53	01-02-060-007	Telephone
					\$17.67			
1319	Deluxe, PO Box 57422 STN A, Toronto, ON, M5W 5M5	08-12-22	Office Supplies/Materials	08-31-22	\$109.54	\$109.54	01-02-060-009	Office Supplies/Materials
2052027998								
					\$109.54			

Total General Government **\$127.21**

Fire Protection Services								
331	Municipality of McDougall, 5 Baragar Blvd., McDougall, ON, P2A 2W9	07-08-22	Fire Fighting Tools/Equipment	08-31-22	\$4,070.40	\$4,070.40	01-03-150-111	Fire Fighting
212		07-26-22	Fire Fighting Tools/Equipment	08-31-22	\$1,017.60	\$1,017.60	01-03-150-111	Fire Fighting
213								
					\$5,088.00			

Total Fire Protection Services **\$5,088.00**

Township of McKellar
A/P Preliminary Cheque Run
 (Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description
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Building Department

1318	Ronald Voll, 15 Fire Route 300-Cole Point Trail, McKellar, ON, P2A 0B4	08-16-22	Building Permits	08-31-22	\$437.40	\$437.40	01-04-104-541	Building Permits
8-16-22	08-16-22 Building Permits				\$437.40			

Total Building Department

\$437.40

Transportation

14	ARMTEC INC., 2976 DAY STREET, SUNNYSIDE, MB, R5R 0H7	08-31-22	Materials & Supplies	01-06-220-145	\$5,019.20	\$5,019.20		
6-282268	08-17-22 Materials & Supplies				\$5,019.20			

Total Transportation

\$5,019.20

Community Centre

296	Wood Wyant Inc., 190 Annagem Blvd, Mississauga, ON, L5T 2V5	08-31-22	Materials & Supplies	01-12-370-145	\$754.40	\$754.40		
957594	08-15-22 Materials & Supplies				\$754.40			

Total Community Centre

\$754.40

Total Bills To Pay:

\$26,088.96

Township of McKellar
A/P Preliminary Cheque Run
 (Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description
869	PAUL DRAY, LEGAL SERVICES, 82 WATER STREET, ELORA, ON, NOB 1S0	08-17-22	Professional Services - Legal	08-31-22	\$457.92	\$457.92	01-05-190-020	Professional Services -
1619						\$457.92		

Total Protection to Persons and Property

\$492.76

Transportation

36	Bell Mobility Inc., P.O. Box 5102, Burlington, ON, L7R 4R7	08-13-22	Telephone	08-31-22	\$34.42	\$34.42	01-06-200-007	Telephone
AUGUST2022								
239	Rona Building Centre, 115 Bowes Street, Parry Sound, ON, P2A 2L8	08-18-22	Dust Control Materials/Supplies	08-31-22	\$274.65	\$274.65	01-06-223-146	Dust Control
193520						(\$27.47)	01-06-223-146	Dust Control
193523								
393	Cedar Signs, 1507 Clyde Road, RR6, Cambridge, ON, N1R 5S7	06-22-22	Materials & Supplies	08-31-22	\$122.78	\$122.78	01-06-227-145	Materials & Supplies
INV/2022/2168						\$1,044.19	01-06-227-145	Materials & Supplies
INV/2022/2320								
572	McDougall Energy Inc, 421 Bay Street, Suite 301, Sault Ste. Marie, ON, P6A 1X3	08-19-22	Fuel - Diesel	08-31-22	\$2,141.25	\$1,166.97	01-06-228-142	Fuel - Diesel
6000503								
1208	MANITOUWABING COTTAGE ASSOCIATION, FIRE ROUTE 152, MCKELLAR, ON, P0G 1C0	08-19-22	Contracted Services	08-31-22	\$3,663.36	\$3,663.36	01-06-226-147	Contracted Services
2022Roads								

Total Transportation

\$7,253.18

Health Services

196	NORTH BAY PARRY SOUND DISTRICT HEALTH UNIT, 345 OAK STREET WEST, NORTH BAY, ON, P1B 2T2	08-15-22	North Bay Parry Sound Health Unit Annual Levy	08-31-22	\$3,316.61	\$3,316.61	01-09-330-030	North Bay Parry Sound
AUG2022								
257	Town of Parry Sound, 52 Seguin Street, Parry Sound, ON, P2A 1B4	08-15-22	EMS Ambulance Annual Levy	08-31-22	\$18,163.00	\$18,163.00	01-09-320-030	EMS Ambulance Annual
AUG2022								

\$18,163.00

Township of McKellar
A/P Preliminary Cheque Run
 (Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description
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Total Health Services \$21,479.61

Parks and Recreation Facilities

12	Adams Brothers Construction Ltd, P.O. Box 324, Parry Sound, ON, P2A 2X4	08-20-22	Maintenance Costs/Parts	08-31-22	\$839.52	\$839.52	01-11-360-143	Maintenance Costs/Parts
156302					\$839.52	\$839.52		

Total Parks and Recreation Facilities \$839.52

Planning and Development

1320	J.L. Richards & Associates, 864 Lady Ellen Place, Ottawa, ON, K1Z 5M2	08-22-22	Planning Consultant Services	08-31-22	\$2,100.00	\$2,136.96	01-14-400-021	Planning Consultant
106632					\$2,136.96	\$2,136.96		

Total Planning and Development \$2,136.96

Total Bills To Pay: \$36,458.25



McKellar Township Report to Council

Prepared for: Mayor and Council

Department: Public Works

Agenda Date: September 13, 2022

Report No: PW-2022-04

Subject: Boat Launches

Recommendations:

Adopt signage similar to town of Parry Sound boat launches at all McKellar Launches.
Install a dock at Lakeside boat launch.

Analysis/Discussion:

Adopting similar signage to Parry Sound will clean up the current sign clutter. Installing a dock at Lakeside will help ratepayers to safely board a vessel.

Budget Implication:

- Signs \$1200
- Dock \$7000

Policies Affecting Proposal: Procurement Policy – By-law No. 2019-44

Conclusion:

Have in place by 2023 boating season.

Respectfully submitted by:

Reviewed by:



Greg Gostick
Director of Operations



Ina Watkinson
Clerk/Administrator



McKellar Township Report to Council

Prepared for: Mayor and Council

Department: Public Works

Agenda Date: September 13, 2022

Report No: PW-2022-05

Subject: Speed limit extension

Recommendations:

- Community Safety Zone
- 50km/hr sign moved westward
- Radar electronic speed signs

Analysis/Discussion: The CSZ request has been turned down by OPP/MTO citing village has sidewalks, 50km/hr, paved shoulder and no School Zone. MTO is in the process of warranting the 50km/hr extension, along with no parking on shoulders of highway. Once this is completed, electronic signs will be installed.

Budget Implication: Electronic signs have been purchased on previous budgets. No cost to current budgets.

Policies Affecting Proposal: Procurement Policy – By-law No. 2019-44

Conclusion: MTO does take time to meander through bureaucracies. No time frame has been committed.

Respectfully submitted by:

Reviewed by:



Greg Gostick
Director of Operations



Ina Watkinson
Clerk/Administrator



McKellar Township Report to Council

Prepared for: Mayor and Council

Department: Public Works

Agenda Date: September 13, 2022

Report No: PW-2022-06

Subject: Zulak, Harris, McKellar Property Exchange

Recommendations: To rectify the trespass road sections on these property owners.

Analysis/Discussion: By exchanging properties we would then be able to fully maintain the sections of roads affected without the threat of trespassing.

Budget Implication: None.

Policies Affecting Proposal: Procurement Policy – By-law No. 2019-44

Conclusion: Cooperate with the property owners affected.

Respectfully submitted by:

Reviewed by:


Greg Gostick
Director of Operations


Ina Watkinson
Clerk/Administrator



McKellar Township Report to Council

Prepared for: Mayor and Council

Department: Public Works

Agenda Date: September 13, 2022

Report No: PW-2022-07

Subject: Brownley Road Parking

Recommendations: Contact MNRF to ask for a work permit to construct parking area on Crown Land.

Analysis/Discussion:

Budget Implication:

Policies Affecting Proposal: Procurement Policy – By-law No. 2019-44

Conclusion: McKellar Township has no areas available for parking on Brownley Road.

Respectfully submitted by:

Reviewed by:


Greg Gostick
Director of Operations


Ina Watkinson
Clerk/Administrator



McKellar Township Report to Council

Prepared for: Mayor and Council

Department: Public Works

Agenda Date: September 13, 2022

Report No: PW-2022-08

Subject: Winter Maintenance of Municipal Roads for the 2022/23 Winter Season

Recommendation:

That the Council of the Township of McKellar does hereby receive Report PW-2022-08 titled 'Winter Maintenance of Municipal Roads for the 2022/23 Winter Season' and;

That the Council of the Township of McKellar does hereby accept the Director of Operation's recommendation to renew the Snow Removal Contract with Lawson Landscapes Inc. (Kyle Lawson) for the following Municipal roads and facilities;

Charles Avenue, Craigmere Drive, Elizabeth Avenue, Fire Route 200, Lakeview Crescent, Kirk Avenue, Islandview Drive, Braemar Boulevard, Phillip Avenue, Susan Avenue, Fire Station No. 1 (Sharon Park Drive), and Fire Station No. 2 (Hurdville Road)

Deerfield Lane, Fire Route 152 A&B

(Additional Municipal roads to be maintained for the 2022/23 season)

And further, that the term of the contract shall be November 1, 2022 to April 30, 2023.

Background:

Lawson Landscapes Inc. has provided exceptional service for the Township of McKellar since 2019. The Director of Operations requested Lawson Landscapes Inc. to provide a quote for winter maintenance of Municipal roads for the 2022/23 winter season;

In addition to Municipal roads maintained in the 2021/22 winter season, Deerfield Road and Fire Route 152 A&B will be added to this season's contract.

Financial:

The total proposed cost for snow plowing services as recommended is \$52,525.00 plus HST for a **total of \$59,353.00** (as per the attached estimate).

Policies Affecting Proposal:

By-law 2019-44 being a By-law to define procurement of goods and services policies and procedures for the Corporation of the Township of McKellar.

Respectfully Submitted by:



Greg Gostick, Director of Operations

Reviewed by:



Ina Watkinson, Clerk/Administrator

Attachments:

Attachment 1: Lawson Landscapes Inc. Estimate 659 (9/6/2022)

Lawson Landscapes Inc.

9 Rose Point Road
 P.O. Box 597
 Parry Sound, ON P2A 2X5

Estimate

Date	Estimate #
9/6/2022	659

Name / Address
Township of McKellar PO Box 69, 701 Highway 124 McKellar, Ontario P0G 1C0

Item	Description	Rate	Total
Snow Removal	Snow Removal 2022/23 Winter Season for Baleys, Craigmore and firehalls we are offering the same rate as last season	32,525.00	32,525.00
Snow Removal	Snow Removal 2022/23 Winter Season, includes plowing and sanding when call out. location Deerefeild lane.	10,000.00	10,000.00
Snow Removal	Snow Removal 2022/23 Winter Season, includes plowing and sanding when called out. Fire route 152 A&B	10,000.00	10,000.00
HST (ON)@13.0%			Sales Tax Summary
Total Tax			6,828.25
Total			6,828.25
Thank you for your business.		Total	
		\$59,353.25	

Phone:
 (705)746-9189

E-Mail:
 admin@lawsonlandscapes.ca

Web Site:
 www.lawsonlandscapes.ca