



# **Township of McKellar**

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701 Hwy #124, P.O. Box 69, McKellar, Ontario POG 1C0

Phone: (705) 389-2842

Fax: (705) 389-1244

## **Committee of Adjustment - Public Meeting Agenda March 19, 2024 – 4:30 p.m.**

### **1. Call to Order – Res. No. 24-01**

- Introductions are made: Members of the Committee and Staff

### **2. Disclosure of Pecuniary and/ or Personal Interest and General Nature Thereof**

### **3. Meeting Protocol**

- The Chairperson takes a roll call of guests and visitors who are in attendance.
- The Chairperson asks that all comments be addressed through the Chairperson and that the person making comments should state his/her name before speaking.

### **4. Appointments**

### **5. Minutes**

- December 5, 2023 Meeting – **Res. No. 24-02**

### **6. Discussion:**

#### **6.1 Wolsekger – Application No. A/01/2024 Proposed accessory building to exceed the maximum height**

- The Chairperson will ask the Secretary/Treasurer if any letters or related correspondence have been received and, if so, the nature thereof.
- The Applicant will make their presentation and comments, if in attendance
- Questions or comments from Committee of Adjustment members and the public

### **7. Decision of Committee of Adjustment**

#### **7.1 Wolsekger Decision – Res. No. 24-03**

### **8. Adjournment - Res. No. 24-04**



## CORPORATION OF THE TOWNSHIP OF MCKELLAR

Committee of Adjustment Minutes

December 5, 2023

Chair, David Moore called the meeting to order at 5:00 p.m.

### INTRODUCTIONS

Chair, David Moore took Roll Call.

**Present:** Chair, David Moore; Morley Haskim, Mike Kekkonen, Reg Moore, Nick Ryeland, Debbie Zulak

**Staff:** Secretary/Treasurer, Karlee Britton

### DECLARATIONS OF PECUNIARY AND/OR PERSONAL INTEREST AND GENERAL NATURE THEREOF

There were no conflicts of interest declared.

**Moved by: Debbie Zulak**

**Seconded by: Mike Kekkonen**

**23-44** That the Committee of Adjustment meeting agenda is accepted, as presented.

**Carried**

**Moved by: Mike Kekkonen**

**Seconded by: Debbie Zulak**

**23-45** That the Committee of Adjustment Minutes from the November 21, 2023 meeting are accepted, as circulated.

**Carried**

### **6.1 Discussion – Brisbin, Brian Application No. A/13/2023**

Chair, David Moore asked if any letters or related correspondence were received. Secretary-Treasurer, Karlee Britton replied one email, in support of the application, was received from Art and Pat Pol on November 27, 2023.

Chair, David Moore asked if the applicant would like to speak to the application. Brian Brisbin briefly spoke to the application.

Chair, David Moore asked if there were any questions or comments from members and the public, there were no questions.



CORPORATION OF THE TOWNSHIP OF MCKELLAR

Committee of Adjustment Minutes

December 5, 2023

Moved by: Reg Moore

Seconded by: Morley Haskim

**23-46**      **Whereas** the applicant was granted a minor variance in 2007 (A/01/07) to permit a 48 square metre sleeping cabin on the subject property; and

**Whereas** the applicant was granted minor variance A/06/2023 earlier this year to permit an addition to the sleeping cabin allowing a maximum gross floor area of 53.2 square metres; and

**Whereas** the applicant is proposing to construct enclosed porch onto the aforementioned sleeping cabin being 14.4 square metres in size;

**Whereas** the applicant is seeking further relief of the maximum gross floor area of the sleeping cabin to permit a maximum gross floor area of 14.4 square metres from minor variance application A/06/2023;

**Now Therefore, Be It Resolved That** the Committee of Adjustment does hereby grant the Minor Variance Application A/13/2023 – Brisbin to permit relief of one enclosed porch addition to the existing sleeping cabin to have an increased maximum gross floor area as defined in Section 2.150 and regulated in Section 3.39 of By-Law 95-12, as amended, of 67.6 square metres. All other applicable Sections of By-Law 95-12, as amended, are to be complied with.

**Carried**

Moved by: Nick Ryeland

Seconded by: Reg Moore

**23-47**      **That** the Committee of Adjustment does now adjourn.

**Carried**

The meeting adjourned at 5:11 p.m.

David Moore, Chair

Karlee Britton, Secretary/Treasurer



# Township of McKellar

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APPLICATION NO: A-01-24

## APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

The undersigned hereby applies to the Committee of Adjustment for the Township of McKellar under Section 45 of the *Planning Act* R.S.O. 1990, c.P.13, as amended, for relief, as described in this application, from the Township's Comprehensive Zoning By-law. **FAILURE TO PROVIDE ALL OF THE INFORMATION REQUIRED BY THIS APPLICATION MAY CAUSE DELAYS OR DISQUALIFY THE APPLICATION UNTIL FURTHER OR MORE ACCURATE INFORMATION IS OBTAINED.**

<b>OFFICE USE ONLY</b>	
Date Received: <u>Mar. 6/24</u>	Complete Application: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Application No. <u>A1</u>
Date Accepted: <u>Mar. 6/24</u>	Application Fee + Deposit Received <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Date Stamp:	<b>MAR 06 2024</b>

### A. APPLICANT/AGENT INFORMATION

- Name of Owner: BERNIE WOLSEGGER
- Address: Street and Number 94 Polo Cr.  
 City Woodbridge Province/State ONT Postal/Zip Code L4L 8W7  
 Home Phone No. 905 244-1699 Business Phone No. 647 321 1372  
 Email bwolsegger21@gmail.com  
Bernie.wolsegger@ingenuity.ca
- Name of Agent (if any): N/A
- Address: \_\_\_\_\_

Note: Unless otherwise requested, all communications will be sent to the agent, if any.

- Names and Addresses of any mortgagors, holders of charges or other encumbrances:  
N/A

**B. PURPOSE AND TYPE OF APPLICATION**

6.  Minor Variance from Comprehensive Zoning By-law  Permission to extend a legal non-conforming use

From what section of the Zoning By-law is relief being sought?

Schedule B

7. Nature and Extent of Relief Applied for:  
MAXIMUM HEIGHT FOR AIR ACCESSORY BUILDING/GARAGE C/W

SLEEPING CABIN 1.712 metres

8. Why is it not possible to comply with the provisions of the Zoning By-Law?  
ADDITIONAL CEILING HEIGHT IS DESIRED IN SLEEPING CABIN AREA SO AS TO MAXIMIZE THE FUNCTIONALITY OF THE LIMITED SLEEPING CABIN AREA

**C. DESCRIPTION OF PROPERTY**

9. Legal description of subject land (registered plan number and lot number or other legal description and, where applicable, street and street number):

16 SIKEMA POINT RD, BEKARAN, ONT. CONCESSION 7 LUR  
27 PLAN M-401, SUBLOT 82

10. Dimensions of land affected:

Frontage (metres): 41 - 46.0 Depth (metres): 41 - 126.5  
Area (hectares): .615 (1.5 ACRES) Width of Street: \_\_\_\_\_

11. Access to subject land is by:

- Provincial Highway  year-round municipal road  seasonal municipal road  
 other public road  private right of way  water access

12. If access to the subject land is by private road, or if "other public road" or "private right of way" was indicated in Section 11, indicate who owns the land or road, who is responsible for its maintenance and whether it is maintained seasonally or all year:

\_\_\_\_\_  
\_\_\_\_\_

13. If access to the subject land is by water only, describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land and the nearest public road:

\_\_\_\_\_  
\_\_\_\_\_

**D. LAND USE AND ZONING**

14. Date of Acquisition of Subject Lands: JANUARY 2015

15. Date of Construction of all Buildings and Structures on Subject Land:

START OF CONSTRUCTION AUGUST 2015

16. Existing Uses of the Subject Lands: WATERFRONT RESIDENTIAL WFR

17. Length of time the existing uses of the subject property have continued: 2015 TO PRESENT

18. Existing Uses of Abutting Lands: WATERFRONT RESIDENTIAL WFR

19. Services (Check appropriate box):

Water:  Dug Well  Drilled Well  Lake  Other \_\_\_\_\_  
Sewage Disposal:  Septic  Privy  Other \_\_\_\_\_

20. Storm Drainage is provided by (Check appropriate box):

sewers  open ditches  swales  other (please specify) NATURAL INFILTRATION OVERLAND FLOW

21. Present Official Plan provisions applying to the land:

WATERFRONT RESIDENTIAL WFR M-401

22. Present Zoning By-law provisions applying to the land: WATERFRONT RESIDENTIAL WFR 95-12, SHEET 3

23. Are there any easements or rights-of-way affecting the subject lands?

Yes  No

If Yes, indicate and describe the purpose of the easement or rights-of-way:

**E. BUILDINGS AND STRUCTURES (on or proposed for the subject land)**

EXISTING – List all existing buildings and structures					DISTANCE FROM LOT LINES (metres)			
Building/ Structure Type	Date of Construction	# of Storeys / Height	Ground Floor Area (m <sup>2</sup> )	Total Floor Area (m <sup>2</sup> )	Front	Rear	Side L	Side R
DECKING	2015	2	14.8	24.5	16.5	4.99	5.3	4.23
SHED	2015	1	11.1	11.1	4.50	4.73	5.8	4.33
OUTHOUSE	2015	1	2.2	2.2	4.55	4.70	11.6	4.33

PROPOSED – List all buildings and structures					DISTANCE FROM LOT LINES (metres)			
Building/ Structure Type	Date of Construction	# of Storeys / Height	Ground Floor Area (m <sup>2</sup> )	Total Floor Area (m <sup>2</sup> )	Front	Rear	Side L	Side R
GARAGE	2024	2	108.8	158.1	4.59.6	54.7	28.8	15'

**F. HISTORY**

24. Has the owner previously applied for relief in respect of the subject property?

Yes  No If YES, please provide Application Number, if known: \_\_\_\_\_

25. Is the subject land currently the subject of an application for a consent or approval of a plan of subdivision?

Yes  No  Unknown If YES and if KNOWN, specify the appropriate file number and status of the application:  
 \_\_\_\_\_  
 \_\_\_\_\_

26. Has the subject land ever been the subject of a minor variance application?

Yes  No  Unknown

**G. PLANS**

27. Every application shall be accompanied by a sketch [SAMPLE on page 9] (based on a boundary survey plan of the subject land) drawn to an appropriate scale, properly dimensioned and showing thereon:

- The boundaries and dimensions of the subject land
- The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings and structures from the front, rear and side lot lines
- The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks
- The current uses on land that is adjacent to the subject land
- The location, width and name of any roads within or abutting the subject land indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way
- If access to the subject land is by water only, the location of the parking and docking facilities to be used
- The location and nature of any easement affecting the subject land

**H. AFFIDAVIT OR SWORN DECLARATION**

The content of the application and appendices shall be validated by the Applicant (or authorized agent) in the form of the following Affidavit/Sworn Declaration before a Commissioner or other person empowered to take Affidavits.

Dated at the WOODBRIDGE of VAUGHAN this 4 day of MARCH, 2024.  
I, Deen Dhusseggul, of the CITY OF WOODBRIDGE of VAUGHAN  
in the PROVINCE of ONTARIO solemnly declare that all  
the statements contained in this application are true and I make this solemn declaration conscientiously  
believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of  
the Canada Evidence Act.

[Signature]  
Signature of Applicant or Authorized Agent

Declared before me at the Town of Woodbridge in the City  
of Vaughan this 5th day of March, 2024.

Signature of Commissioner of Oaths: [Signature]






**I. CONSENT OF THE OWNER TO THE USE AND DISCLOSURE OF PERSONAL INFORMATION**

Complete the consent of the owner concerning personal information set out below.

I, Barrie Wassenaar, am the owner of the land that is the subject of this application and for the purposes of the *Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M.56, I authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the *Planning Act* R.S.O. 1990, c.P.13, as amended, for the purpose of processing this application. The applicant acknowledges that the Township considers the application forms and all supporting materials, including studies and drawings, filed with this application to be public information and to form part of the public record. With the filing of an application, the applicant consents to the Township photocopying and releasing the application and any supporting material either for its own use in processing the application or at the request of a third party, without further notification to or permission from the applicant. The applicant also hereby states that it has authority to bind its consultants to the terms of this acknowledgement. Questions about this collection of personal information should be directed to the Township Clerk.

Date MARCH 4/24 \_\_\_\_\_  
Signature of Owner 

**J. CONSENT OF THE OWNER TO THE PAYMENT OF REQUIRED FEES AND POTENTIAL FEES**

I, Barrie Wassenaar, acknowledge and agree that applicants must submit the required fee of \$750.00, as well as a Security Deposit of \$500.00 when filing the application. Further, I agree that any costs beyond regular processing costs relating to this application, including but not limited to engineering studies, legal opinions, planning consultant fees, and Ontario Land Tribunal hearing costs, will be the responsibility of the applicant and will submit the balance due upon receipt of an invoice for same.

Date MARCH 4/24 \_\_\_\_\_  
Signature of Owner 

**K. AUTHORIZATIONS**

If the applicant is not the owner of the land that is the subject of this application, the written consent of the owner, authorizing the applicant to make the application, must be included with this form or the authorizations set out below must be completed. Please note: If the Owner is an incorporated company, authorization of the appropriate signing officer(s) is required in accordance with the company's by-laws.

**Authorization of Owner for Agent to Make the Application**

I, \_\_\_\_\_, am the owner of the land that is the subject of this application for a Minor Variance and I authorize \_\_\_\_\_ to make this application on my behalf.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Owner

If the applicant is not the owner of the land that is the subject of this application, complete the authorization of the owner concerning personal information set out below.

**Authorization of the Owner for Agent to Provide Personal Information**

I, \_\_\_\_\_, am the owner of the land that is the subject of this application for a Minor Variance and for the purposes of the *Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M.56, I authorize \_\_\_\_\_, as my agent for this application, to provide any of my personal information that will be included in this application or collected during the processing of the application. The applicant acknowledges that the Township considers the application forms and all supporting materials, including studies and drawings, filed with this application to be public information and to form part of the public record. With the filing of an application, the applicant consents to the Township photocopying and releasing the application and any supporting material either for its own use in processing the application or at the request of a third party, without further notification to or permission from the applicant. The applicant also hereby states that it has authority to bind its consultants to the terms of this acknowledgement.

\_\_\_\_\_  
Date

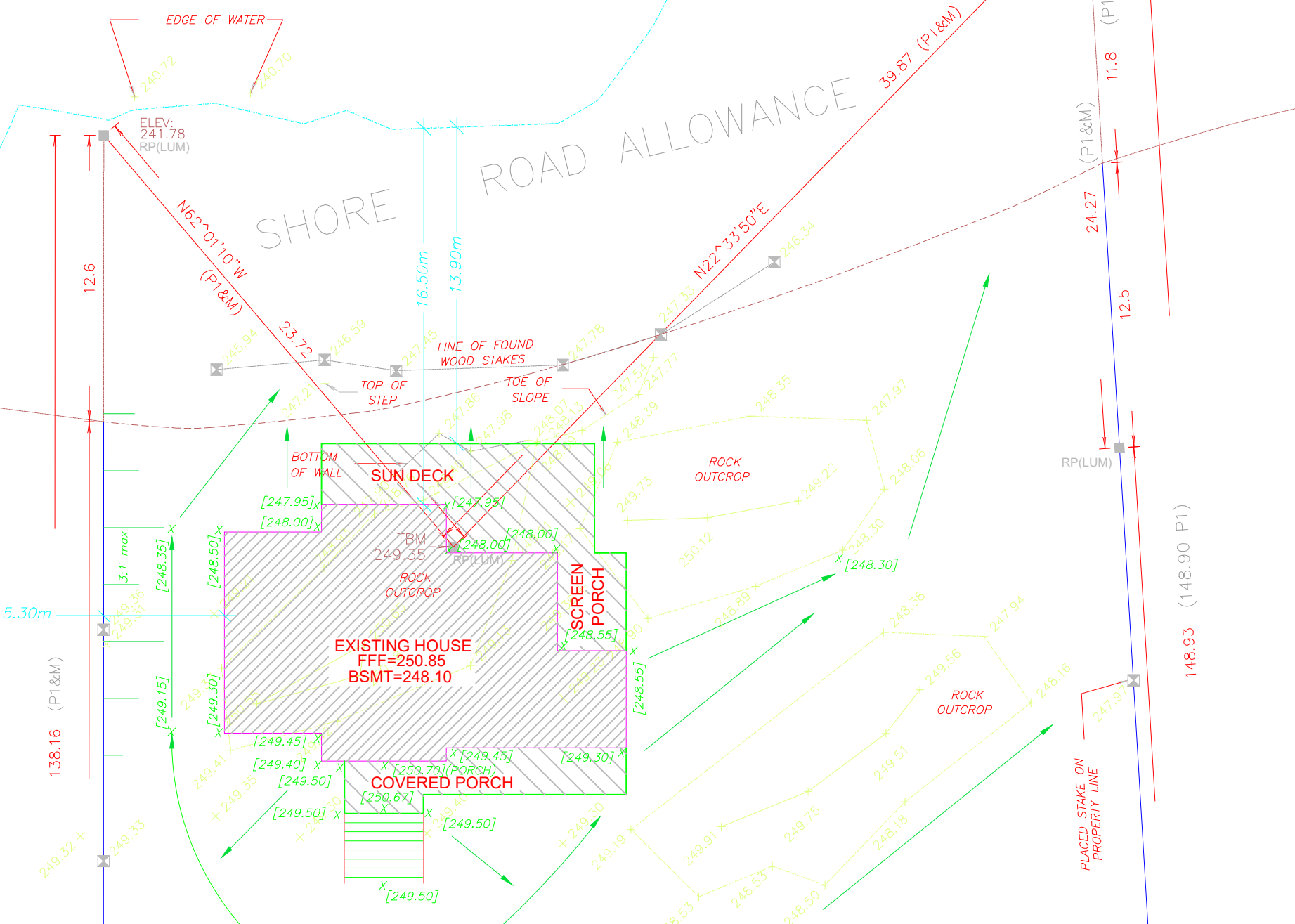
\_\_\_\_\_  
Signature of Owner

LAKE MANITOUWABIN

WATER'S EDGE AS SHOWN ON PLAN OF SURVEY BY L.L. MAUGHAN COMPANY LTD. DATED NOVEMBER 17, 2014

SHORE

ROAD ALLOWANCE 39.87 (P1&M)



PIN 52129-0152(LT)

LOT 81

PIN 52129-0153(LT)

LOT 82

PIN 52129-0154(LT)

LOT 83

PLAN

PROPOSED GARAGE

M-40

ROCK OUTCROP

PROPOSED ROCK RETAINING WALL

EXISTING SHED 120 SQFT

EXISTING OUTHOUSE 24 SQFT

EXISTING CULVERT

EXISTING DRIVEWAY

HYDRO ROCK

Y POINT ROAD  
BY PLAN M-401  
PIN 52129-0163(LT)

N21°37'50"W (REFERENCE BEARING)

125.6 (P1&SET)

138.16 (P1&M)

12.6

5.30m

N82°02'10"W (P1&M)

24.72

16.50m

13.50m

24.27 (P1&M)

11.8 (P1&SET)

12.5

148.93 (148.90 P1)

23.8m

15m

54.7m

52.07 (P1&M)

N68°21'00"E (N68°19'10"E P1)

52.07 (P1&M)

124.66 (124.63 P1)

N25°03'30"W (N25°01'55"W P1)

ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS 6 AND 7  
(KNOWN AS STORMY POINT ROAD)

PIN 52129-0864(LT)

LOT 27

CONCESSION

6

**WOLSEGER GARAGE**  
16 STORMY POINT ROAD  
MCKELLAR, ON

SITE PLAN

13FEB24

NOTE: THIS SHOWS PROPOSED GARAGE LOCATION, ALSO SEE ORIGINAL SURVEY

# NORTH COUNTRY DESIGN & BUILD INC.

General Notes:

1. These designs / drawings remain the property of North Country Design & Build Inc. License is granted for the construction of one only of the project represented herein.
2. The contractor shall verify all dimensions on site prior to the construction and report any discrepancies or omissions immediately to the designer.
3. Under no circumstances shall the contractor or sub-contractors proceed in uncertainty.
4. It is the role of the builder / contractor:
  - to ensure that construction does not proceed unless any permits required under the Building Code Act have been issued.
  - to construct the building in accordance with the permit.
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## PERSPECTIVE VIEW

SCALE: N.T.S.

No.	Revision / Issue	Date
5	FINAL DRAWINGS	15FEB24
4	DESIGN REVISIONS	07FEB24
3	CONSTRUCTION DETAILS	24JAN24
2	DESIGN REVISIONS	11JAN24
1	PRELIMINARY DESIGN	22DEC23

Project Name and Address:

**WOLSEGGER GARAGE**  
16 STORMY POINT ROAD  
MCKELLAR, ON

Scale: NTS

Sheet: PERSPECTIVE VIEW

SH. 1

Designed / Drawn by: JEN SCHWINDT

BCIN: 45837 FIRM BCIN: 46662



NORTH COUNTRY DESIGN & BUILD INC.

PHONE: 705-774-3146  
EMAIL: northcountrydb@gmail.com  
WEB: northcountrydesignbuild.com



**FRONT ELEVATION**

SCALE: N.T.S.



**RIGHT ELEVATION**

SCALE: N.T.S.

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Project Name and Address:

**WOLSEGGER GARAGE**  
16 STORMY POINT ROAD  
MCKELLAR, ON

Scale: NTS

Sheet: FRONT & RIGHT ELEVATIONS **SH. 2**

Designed / Drawn by: JEN SCHWINDT

BCIN: 45837 FIRM BCIN: 46662

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PHONE: 705-774-3146  
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**BACK ELEVATION**

SCALE: N.T.S.



**LEFT ELEVATION**

SCALE: N.T.S.

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**WOLSEGGER GARAGE**  
16 STORMY POINT ROAD  
MCKELLAR, ON

Scale: NTS

Sheet: BACK & LEFT ELEVATIONS **SH. 3**

Designed / Drawn by: JEN SCHWINDT

BCIN: 45837 FIRM BCIN: 46662


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 PHONE: 705-774-3146  
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MCKELLAR, ON

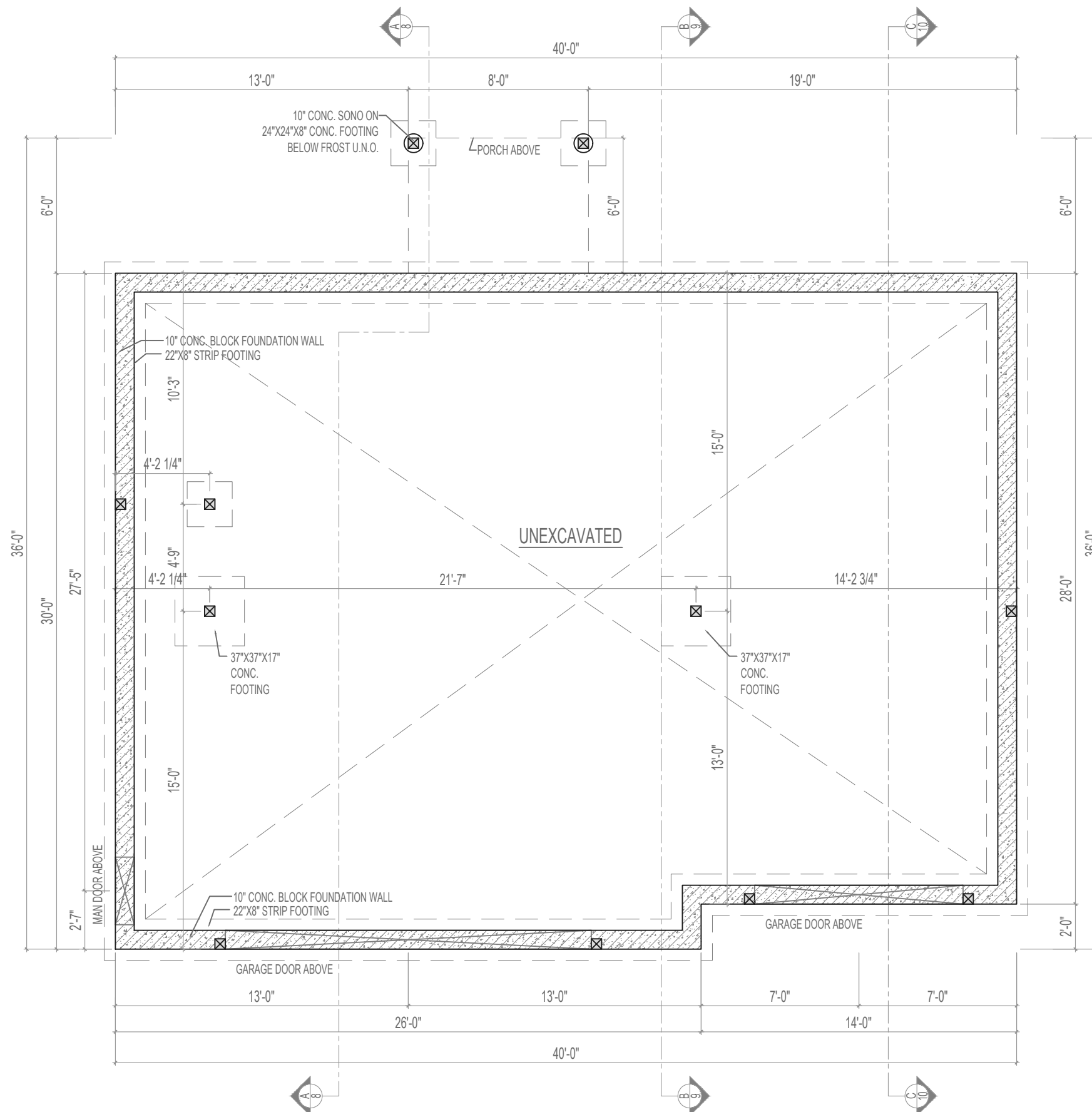
Scale: 3/16"=1'-0"

Sheet: FOUNDATION PLAN SH. 4

Designed / Drawn by: JEN SCHWINDT

BCIN: 45837      FIRM BCIN: 46662

NORTH COUNTRY DESIGN & BUILD INC.  
PHONE: 705-774-3146  
EMAIL: northcountrydb@gmail.com  
WEB: northcountrydesignbuild.com



**FOUNDATION PLAN**  
SCALE: 3/16"=1'-0"





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**WOLSEGGER GARAGE**  
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MCKELLAR, ON

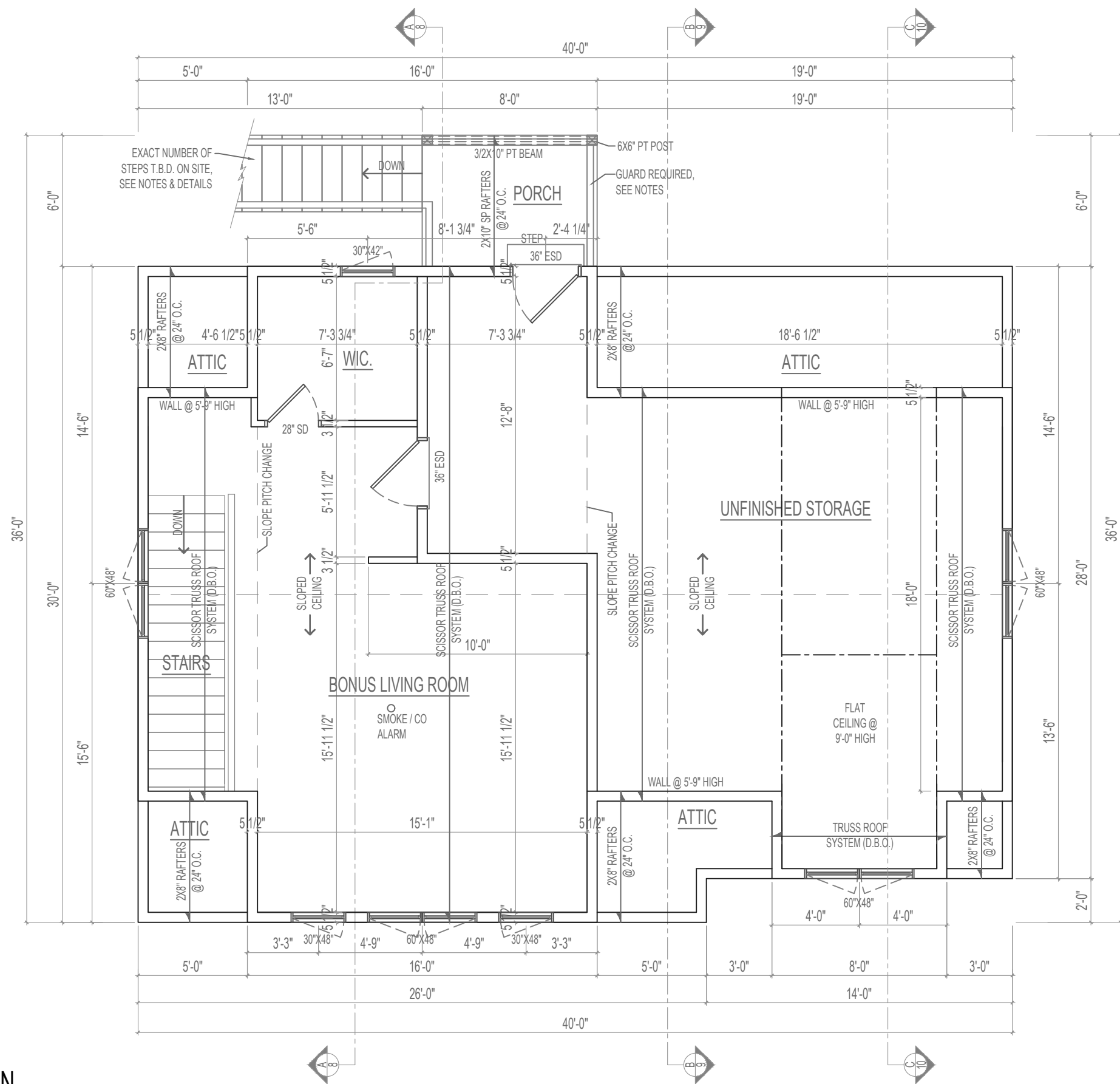
Scale: 3/16"=1'-0"

Sheet: UPPER FLOOR PLAN SH. 6

Designed / Drawn by: JEN SCHWINDT

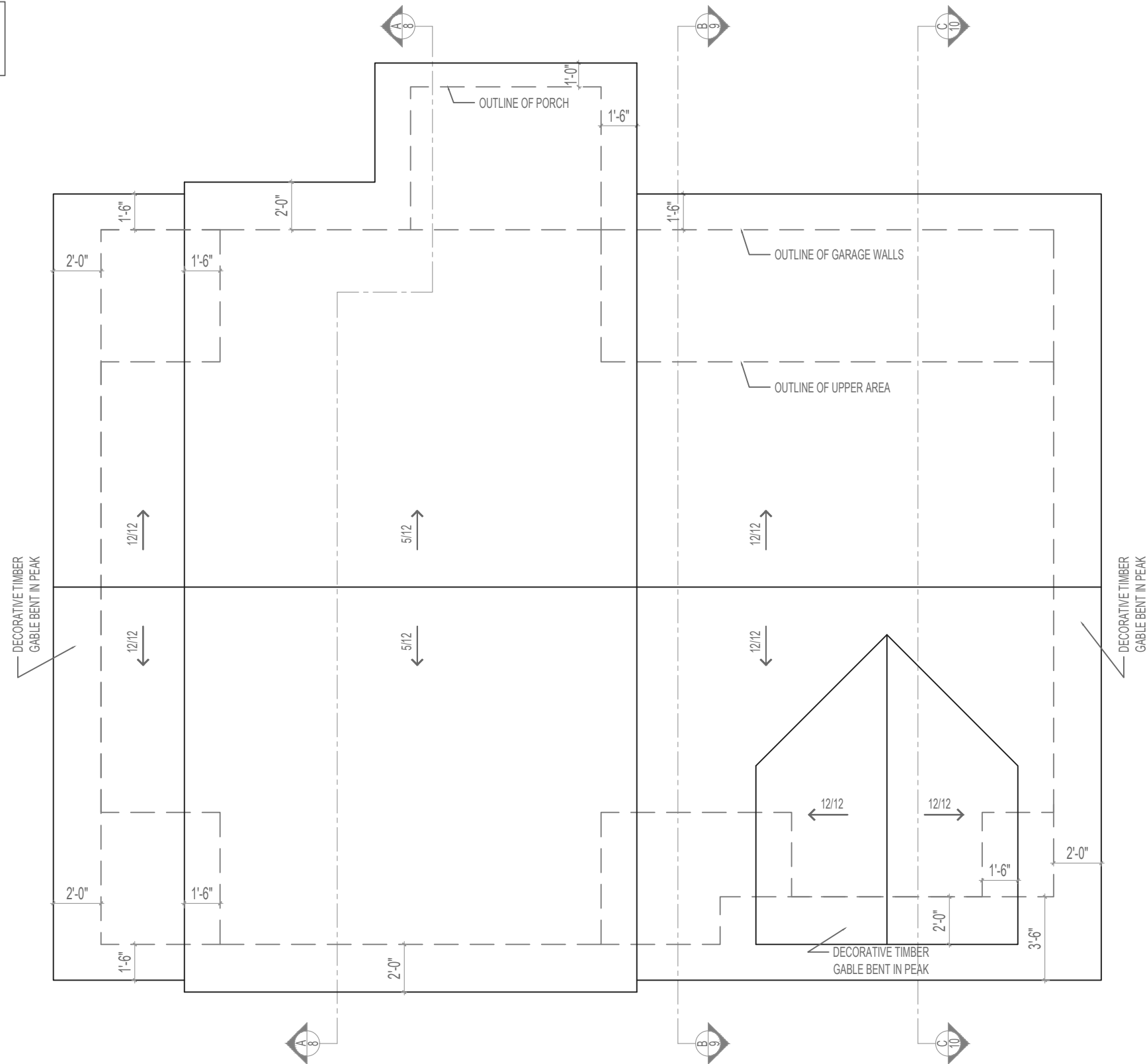
BCIN: 45837      FIRM BCIN: 46662

NORTH COUNTRY DESIGN & BUILD INC.  
PHONE: 705-774-3146  
EMAIL: northcountrydb@gmail.com  
WEB: northcountrydesignbuild.com



**UPPER FLOOR PLAN**  
SCALE: 3/16"=1'-0"

TRUSS ROOF SYSTEM, DESIGNED BY OTHERS. SEE MANUFACTURERS TRUSS LAYOUT FOR DETAILS AND LOAD POINTS.



**ROOF PLAN**  
SCALE: 3/16"=1'-0"

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No.	Revision / Issue	Date
5	FINAL DRAWINGS	15FEB24
4	DESIGN REVISIONS	07FEB24
3	CONSTRUCTION DETAILS	24JAN24
2	DESIGN REVISIONS	11JAN24
1	PRELIMINARY DESIGN	22DEC23

Project Name and Address:

**WOLSEGGER GARAGE**  
16 STORMY POINT ROAD  
MCKELLAR, ON

Scale: 3/16"=1'-0"

Sheet: ROOF PLAN **SH. 7**

Designed / Drawn by: JEN SCHWINDT

BCIN: 45837 FIRM BCIN: 46662

**NORTH COUNTRY DESIGN & BUILD INC.**  
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 WEB: northcountrydesignbuild.com

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Project Name and Address:

**WOLSEGGER GARAGE**  
16 STORMY POINT ROAD  
MCKELLAR, ON

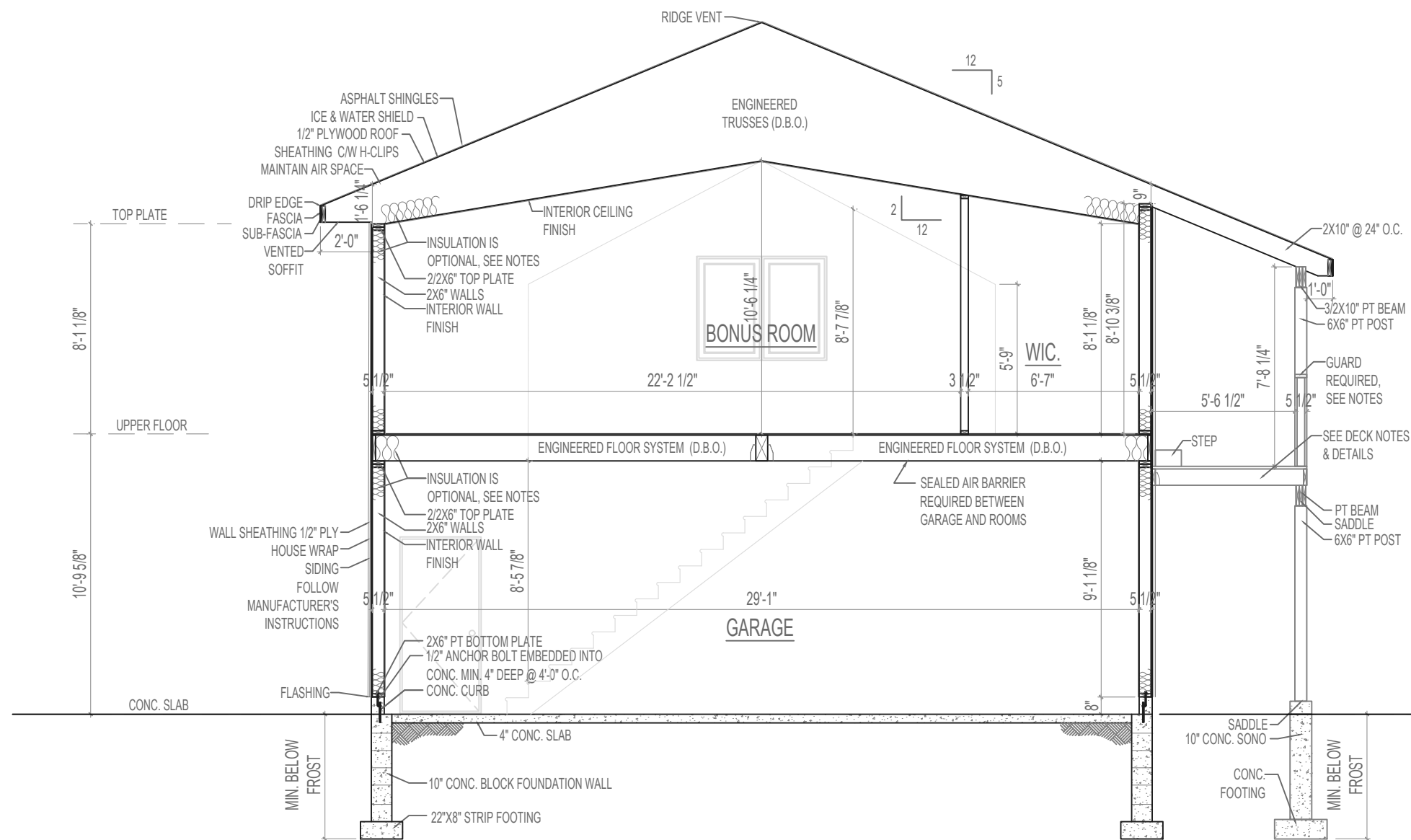
Scale: 3/16"=1'-0"

Sheet: SECTION "A" **SH. 8**

Designed / Drawn by: JEN SCHWINDT

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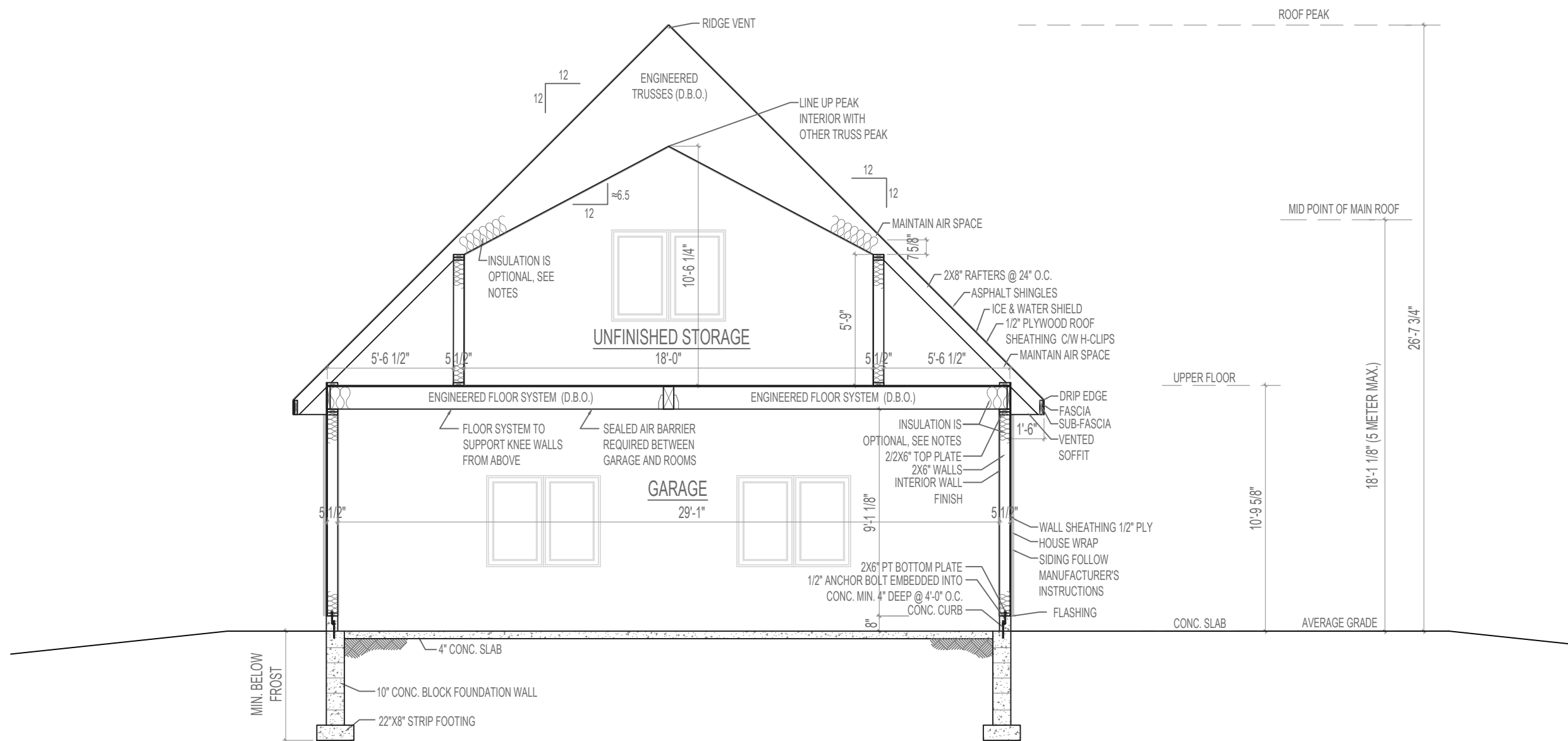


**SECTION "A"**  
SCALE: 3/16"=1'-0"

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**SECTION "B"**  
SCALE: 3/16"=1'-0"

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Project Name and Address:

**WOLSEGGER GARAGE**  
16 STORMY POINT ROAD  
MCKELLAR, ON

Scale: 3/16"=1'-0"

Sheet: SECTION "B" **SH. 9**

Designed / Drawn by: JEN SCHWINDT

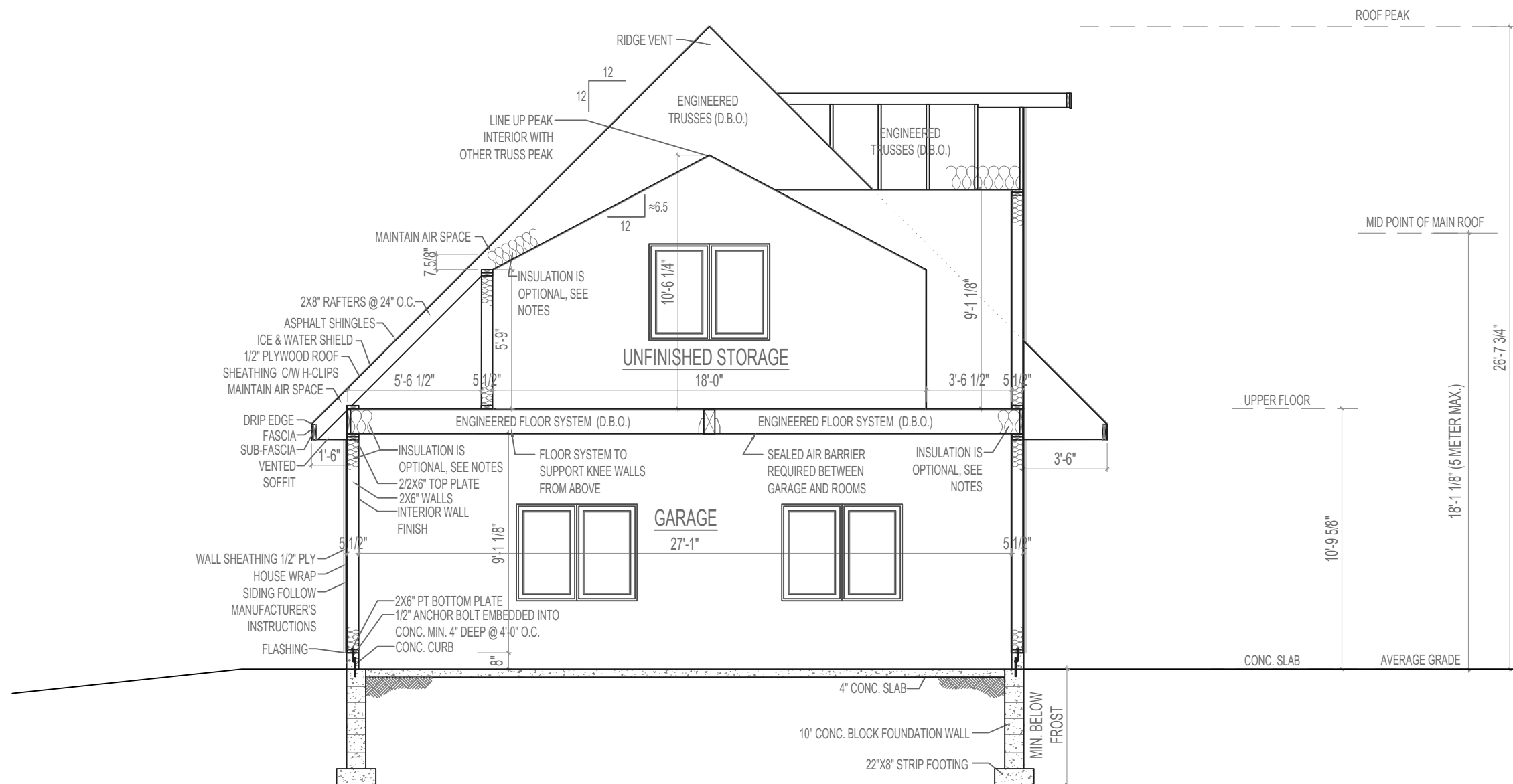
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**SECTION "C"**  
SCALE: 3/16"=1'-0"

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Project Name and Address:

**WOLSEGGER GARAGE**  
16 STORMY POINT ROAD  
MCKELLAR, ON

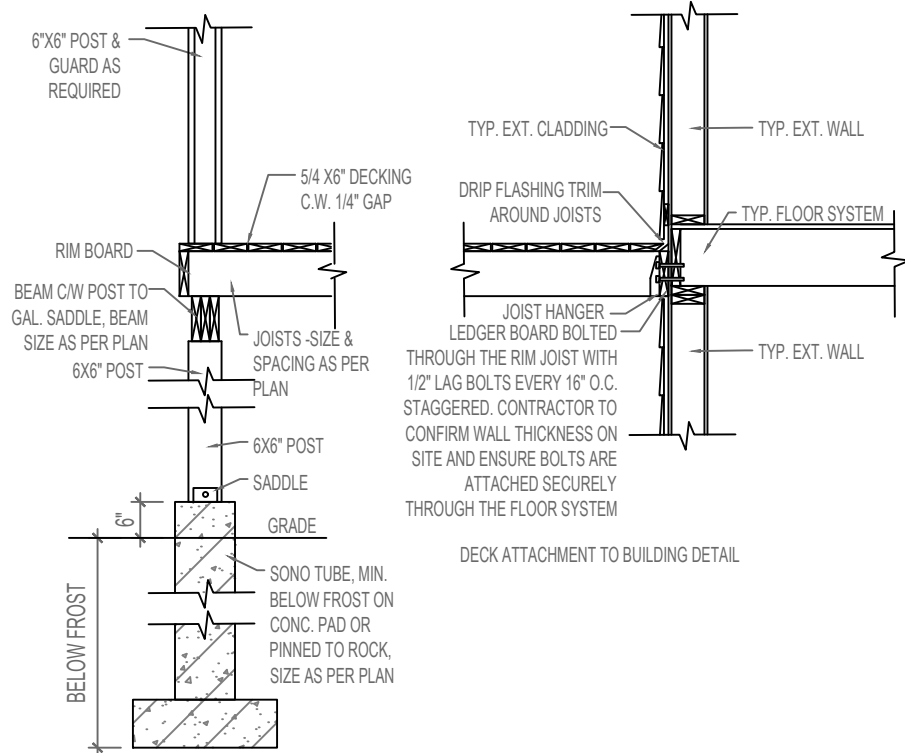
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Sheet: SECTION "C" **SH. 10**

Designed / Drawn by: JEN SCHWINDT

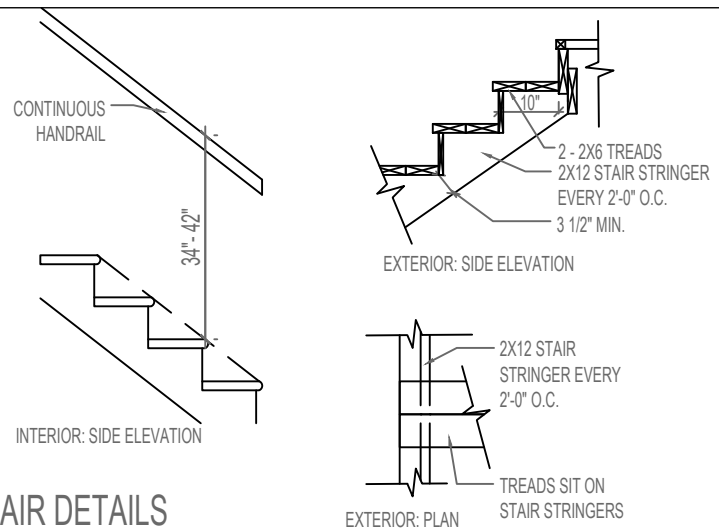
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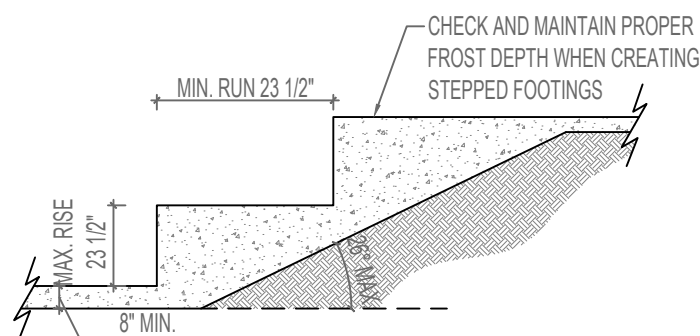
**TYPICAL DECK / PORCH DETAIL**

SCALE: N.T.S.



**TYPICAL STAIR DETAILS**

SCALE: N.T.S.



**STEPPED FOOTING DETAIL**

SCALE: N.T.S.

**GENERAL PROJECT NOTES:**

1. THE DRAWINGS AND DETAILS ARE TO BE READ TOGETHER, NOT AS INDIVIDUAL PAGES.
2. THE OWNER / BUILDER IS RESPONSIBLE FOR THE SITE PLAN AND LOCATION OF THE BUILDING INCLUDING CONFIRMING THE TYPE OF SOIL AND THE BEARING SOIL PRESSURE ALLOWED.
3. ANYTHING LABELED D.B.O. MUST BE DESIGNED BY SOMEONE CERTIFIED TO DESIGN THAT PORTION OF THE STRUCTURE, SUCH AS A STRUCTURAL ENGINEER. NORTH COUNTRY DESIGN AND BUILD INC. CANNOT BE HELD RESPONSIBLE FOR THOSE COMPONENTS.
4. 3D MODELED ELEVATIONS MAY NOT BE A PERFECT REPRESENTATION OF THE FINAL DESIGN. SEE ALL CONSTRUCTION NOTES & DETAILS.

**GENERAL CONSTRUCTION MATERIAL NOTES:**

1. ALL CONSTRUCTION MATERIALS MUST BE APPROVED FOR ITS INTENDED USE IN ITS BUILDING LOCATION
2. LUMBER SHALL CONFORM TO THE REQUIREMENTS IN O.B.C. 9.3.2.

**GENERAL INSULATION AND VENTILATION NOTES:**

1. THIS APPLIES TO INSULATED / HEATED GARAGES ONLY - INSULATION IS OPTIONAL.
2. INSULATION MUST BE INSTALLED IN ACCORDANCE WITH O.B.C.9.25.
3. 6 MIL POLY VAPOUR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF THE INSULATION
4. ALL ROOF SPACES SHALL BE VENTED, EQUALLY DISTRIBUTED BETWEEN THE TOP / PEAK AND THE SOFFIT / OVERHANG.

**GENERAL FOUNDATION NOTES:**

1. 10" CONC. BLOCK FOUNDATION
2. FOOTINGS HAVE BEEN DESIGNED ACCORDING TO O.B.C. 9.15. AND SHALL REST ON STABLE SOILS , ROCK, OR COMPACTED GRANULAR FILL.
3. MUST CONFORM TO O.B.C. 9.13 FOR DRAINAGE REQUIREMENTS
4. MUST CONFORM TO O.B.C. 9.12 FOR EXCAVATION.
5. CONCRETE SHALL CONFORM TO THE REQUIREMENTS IN O.B.C. 9.3. & 9.16.4.
6. EXTERIOR FOUNDATION WALLS SHALL EXTEND A MIN. OF 6" ABOVE FINISHED GRADE AND BE PARGED.

**GENERAL FRAMING NOTES:**

1. ALL LINTELS ARE TO BE 2/2X10" SP UNO.
2. EXTERIOR WALLS ARE TYPICAL 2X6" CONSTRUCTION, INTERIOR 2X4" OR 2X6" AS SHOWN.
3. ALL MEMBERS SHALL BE SO FRAMED, ANCHORED, FASTENED, TIED AND BRACED TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY. O.B.C. 9.23.2.1.
4. PROVIDE ADDITIONAL LATERAL SUPPORT BETWEEN THE POSTS & BEAMS AS REQUIRED, T.B.D. ON SITE.
5. ALL LOAD POINTS ARE TO BE SUPPORTED BY SOLID VERTICAL-GRAIN BLOCKING THROUGH TO THE FOUNDATION.
6. TALL WALL CONSTRUCTION AS PER OBC 9.23.10.1.(2): 2X6" @16" O.C., 1/2" INTERIOR SHEATHING, SOLID BRIDGING @ 4' O.C., STUDS ARE FASTENED TO THE TOP AND BOTTOM PLATES WITH NO FEWER THAN 3-1.5" NAILS, DOUBLE TOP PLATES ARE FASTENED TOGETHER WITH 3" NAIL @ 7.5" O.C.
7. ALL EXPOSED LUMBER TO BE PRESSURE TREATED MATERIAL OR SUITED FOR THE ELEMENTS.

**GENERAL DOOR & WINDOW NOTES:**

1. GLASS SHALL CONFORM TO O.B.C. 9.6.
2. GLASS IN STORM DOOR DOORS, SLIDING DOORS, AND SIDELIGHTS GREATER THAN 19 3/4" MUST BE TEMPERED OR LAMINATED SAFETY GLASS.
3. THE PERFORMANCE OF WINDOWS AND DOORS SHALL CONFORM TO O.B.C. 9.7.3
4. THE INSTALLATION SHALL CONFORM TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
5. WINDOWS & DOORS SHALL BE SEALED TO AIR BARRIERS AND VAPOUR BARRIERS.
6. DRIP FLASHING MUST BE USED ABOVE ALL WINDOWS AND DOORS.
7. DOOR CODE EXAMPLE: 36" ESD - EXTERIOR SINGLE DOOR 36" WIDE, 2/24 DD - TWO 24" DOUBLE DOOR, 36 PD - 36" POCKET DOOR, ETC.

**GENERAL STAIR NOTES FOR INTERIOR & EXTERIOR STAIRS:**

1. THE NUMBER OF STEPS IS TO BE DETERMINED ON SITE.  
MIN. RISE: 5" MAX. RISE: 7 7/8",  
MIN. RUN: 10 1/16" MAX. RUN: 14" FOR RECTANGULAR TREADS
2. THE TREAD NOSING SHALL NOT BE MORE THAN 1" IN LENGTH.
3. STAIRS SHOULD HAVE UNIFORM DIMENSIONS FOR RISERS AND TREADS (OBC: 9.8.4.4.)
4. STAIRS SHOULD HAVE A MINIMUM WIDTH OF NOT LESS THAN 2'-10" BETWEEN WALLS OR GUARDS. (9.8.2.1.)
5. HEAD ROOM HEIGHT ABOVE STAIRS MUST BE MAINTAINED AT 6'-4 3/4" MIN.
6. THE VERTICAL HEIGHT OF A FLIGHT OF STAIRS OR BETWEEN LANDINGS SHALL NOT EXCEED 12'-1".
7. A HANDRAIL IS REQUIRED ON INTERIOR STAIRS IF THERE ARE MORE THAN 2 RISERS AND ON EXTERIOR STAIRS IF THERE ARE MORE THAN 3 RISERS. THE HANDRAIL SHALL NOT BE LESS THAN 34" HIGH AND NOT MORE THAN 38" HIGH. (OBC: 9.8.7.)
8. A GUARD IS REQUIRED WHERE THE DISTANCE BETWEEN SURFACES IS GREATER THAN 23 1/2". (OBC: 9.8.8.1)
9. LOADS ON GUARDS MUST CONFORM TO OBC: 9.8.8.2.
10. INTERIOR GUARDS MUST NOT BE LESS THAN 35 1/2" HIGH.
11. EXTERIOR GUARDS MUST NOT BE LESS THAN 35 1/2" HIGH WHERE THE SURFACE BELOW IS LESS THAN 5'-10 3/4" AND NOT LESS THAN 42 1/4" HIGH WHERE THE SURFACE IS GREATER THAN 5'-10 3/4" BELOW. (OBC: 9.8.8.3.)
12. OPENINGS IN REQUIRED GUARDS MUST NOT BE MORE THAN 4". (OBC: 9.8.8.5.)
13. GUARDS MUST PREVENT CLIMBING. (OBC: 9.8.8.6.)
14. HANDRAIL/GUARDS: PROVIDE PRODUCT / MANUFACTURER SPECIFICATIONS OR CONNECTION DETAILS TO THE BUILDING DEPARTMENT PRIOR TO INSTALLATION. SHALL CONFORM WITH 9.8.7. / 9.8.8. / SB-7 OF THE O.B.C.

**PROJECT DETAILS AND FINISHES:**

1. CONC. BLOCK FOUNDATION
2. WALL FRAMING 2X6" #2 SPRUCE STUDS @ 16" O.C. OR 2X4" #2 SPRUCE INTERIOR STUDS AS SHOWN U.N.O.
3. EXTERIOR SHEATHING - 1/2" PLYWOOD
4. TYVEK HOUSE WRAP
5. FLOOR SYSTEM - TJI ENGINEERED FLOOR SYSTEM (D.B.O.)
6. SUBFLOOR - 5/8" T&G PLYWOOD, GLUED & SCREWED
7. ROOF SYSTEM - ENG. TRUSSES (D.B.O.)
8. ROOF SHEATHING - 1/2" PLY C/W H-CLIPS
9. ICE & WATER SHIELD, EAVE PROTECTION SHALL EXTEND MIN. 3' UP ROOF SLOPE TO A LINE MIN 12" INSIDE INTERIOR FACE OF EXTERIOR WALL
10. ROOFING: ASPHALT SHINGLES
11. SIDING: PREFINISHED WOOD, MATCH TO EXISTING COTTAGE. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS
12. SOFFIT - VENTED
13. FASCIA - T.B.D.
14. WINDOWS - MANUFACTURER T.B.D.
15. PROVIDE FLASHING OVER ALL HORIZONTAL OPENINGS AND ROOF TO WALL INTERSECTIONS.
16. PROVIDE ATTIC HATCH ACCESS IN UPPER AREA. MUST CONFORM TO O.B.C. 9.19.2.1. DOORS OR COVERS ARE TO BE TIGHT FITTING.
17. INSULATION IS OPTIONAL, SEE INSULATION NOTES.

**ABBREVIATIONS:**

THE FOLLOWING IS A LIST OF ABBREVIATIONS USED THROUGHOUT THESE PLANS:

- C/W - COMPLETE WITH
- CONC. - CONCRETE
- R.O. - ROUGH OPENING SIZE
- W/ - WITH
- MIN. - MINIMUM

- MAX. - MAXIMUM
- LB - LOAD BEARING
- TYP. - TYPICAL
- EXT. - EXTERIOR
- INT. - INTERIOR
- HDR. - HEADER
- D.B.O. - DESIGNED BY OTHERS
- O.B.C. - ONTARIO BUILDING CODE
- U.N.O. - UNLESS NOTED OTHERWISE
- BM. - BEAM

- PT - PRESSURE TREATED
- SP - SPRUCE
- DIA. - DIAMETER
- O.C. - ON CENTER
- ELEV. - ELEVATION
- ALUM. - ALUMINUM
- DIM(S). - DIMENSION(S)

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Project Name and Address:

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MCKELLAR, ON

Scale: AS NOTED

Sheet: NOTES & DETAILS **SH. 11**

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