

CORPORATION OF THE TOWNSHIP OF MCKELLAR

November 18, 2025 – 6:30 p.m.

AGENDA

Topic: Regular Meeting of Council

Time: November 18, 2025, 6:30 P.M. (Closed Session to start at 5:00 p.m.)

Location: Council Chambers, 701 Highway 124, McKellar, ON P0G 1C0

Join Zoom Meeting

<https://us06web.zoom.us/j/87806529289>

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25-482 1st Resolution
2025-52 1st By-law

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. DECLARATIONS OF PECUNIARY AND/OR PERSONAL INTEREST AND GENERAL NATURE THEREOF**
- 4. ADOPTION OF AGENDA**
- 5. CLOSED SESSION**
 - 5.1 Minutes of Closed Session – September 16, 2025
 - 5.2 Personal matters about an identifiable individual; pursuant to Ontario Municipal Act Section 239(2)(b) - Appointment to Township Committee and Volunteer Fire Department
 - 5.3 Plans and instructions for negotiations; pursuant to Ontario Municipal Act Section 239(2)(k) - discussing a position and instructions to be applied to potential negotiations regarding the upgrade of a Township-owned Unassumed Road.
 - 5.4 Labour relations or employee negotiations; pursuant to Ontario Municipal Act Section 239(2)(d) - employee negotiations.
- 6. CALL TO ORDER**
- 7. RESPECT AND ACKNOWLEDGMENT DECLARATION**

In the spirit of reconciliation and co-operation, we wish to acknowledge that the land on which we gather is the traditional territory of the Anishinaabe and Mississauga people. Its boundaries fall within the Robinson-Huron Treaty of 1850 and the Williams Treaty of 1923. We are grateful to live here and we thank all the generations of people who have taken care of this land for thousands of years. To honour the suffering of Indigenous people and the love and wisdom they have carried for thousands of years, we pledge to work in community and

harmony with each other and the environment we inhabit and work towards Truth and Reconciliation.

- 8. ROLL CALL - REGULAR SESSION 6:30pm (Public can join via Zoom)**
- 9. DECLARATIONS OF PECUNIARY AND/OR PERSONAL INTEREST AND GENERAL NATURE THEREOF**
- 10. PUBLIC MEETING**
- 11. DELEGATIONS AND PRESENTATIONS**
 - 11.1 2025 OSIM Bridge & Culvert Report, Tulloch Engineering
- 12. COMMITTEE OF THE WHOLE**
- 13. MOTION TO REVIEW A PREVIOUS MOTION**
- 14. ADOPTION OF MINUTES OF PREVIOUS MEETING(S)**
 - 14.1 Minutes of the November 4, 2025, Regular Meeting
- 15. PLANNING MATTERS**
 - 15.1 Appointments to the Committee of Adjustment
 - 15.2 Consent Application No. B18/2025 (Bastiaansen)
 - (i) Letter from Township's Solicitor re. Use of Public Lands
- 16. COMMITTEE/BOARD MINUTES WITH RECOMMENDATIONS FOR APPROVAL**
 - 16.1 McKellar Township Public Library Board Meeting Minutes – September 29, 2025
 - 16.2 McKellar Township Recreation Committee Meeting Minutes – October 23, 2025
- 17. STAFF REPORTS WITH RECOMMENDATIONS FOR APPROVAL**
 - 17.1 PW-2025-11 – Acquisition of Kubota Z252 Series Zero-Turn Lawn Mower
 - 17.2 Accounts Payable Preliminary Cheque Run Report for October 2025
- 18. MAYOR'S REPORT**
- 19. CORRESPONDENCE FOR CONSIDERATION**
 - 19.2 Residents of Middle River Drive Petition to Request Surface Treatment
- 20. MOTION AND NOTICE OF MOTION**
 - 20.1 Donation to the McKellar Whitestone Lions Club – Christmas Toy and Food Drive – 2025
 - 20.2 Donation to the Salvation Army Parry Sound – Christmas Assistance Program – 2025

- 20.3 Council Meeting Schedule for 2026
- 20.4 Holiday/Municipal Office Closure Schedule 2026

21. BY-LAWS

- 21.1 By-law No. 2025-52 - Being a By-law to Establish a Public Notice Policy (Third Reading)

22. UNFINISHED BUSINESS

- 22.1 Unfinished Business as of November 18, 2025

23. NEW BUSINESS

24. PUBLIC NOTICES, ANNOUNCEMENTS, INQUIRIES AND REPORTS BY COUNCIL MEMBERS

25. CONSENT AGENDA – CORRESPONDENCE

- 25.1 AMO Watchfiles – October 30, 2025 & November 6, 2025
- 25.2 The Labour Market Group – Labour Focus – October 2025
- 25.3 The Labour Market Group – Monthly Jobs Report – September 2025
- 25.4 Parry Sound District of Social Services Administration Board – Expression of Interest – Housing Development Opportunities in Parry Sound District – October 28, 2025
- 25.5 The Town of Plympton-Wyoming – Conservation Fee Freeze
- 25.6 Township of Carling – GIS Day and 20th Anniversary of the West Parry Sound Geography Network – November 3, 2025
- 25.7 Town of Parry Sound – Request Near North District School Board Replacement of three tennis courts formerly at Parry Sound High School
- 25.8 Canadian Union of Postal Workers – Upcoming Mandate Review of Canada Post Could Affect Jobs and Services in Your Community
- 25.9 Town of Whitby – Extended Producer Responsibility for Blue Box Recycling Collection and Impacts to Small Businesses located in Mixed-Use Properties – October 17, 2025
- 25.10 Peterborough County Council Resolution – Reinstating the Eligibility for Curbside Blue Box Collection January 1, 2026, for Nonprofit Organizations – November 7, 2025
- 25.11 Township of Edwardsburgh Cardinal – Ontario Community Infrastructure Fund (OCIF) – October 14, 2025
- 25.12 Ministry of Environment, Conservation and Parks – Consultation on the proposed boundaries for the regional consolidation of Ontario's authorities – November 7, 2025

26. QUESTION/COMMENT PERIOD (RELATED TO ITEMS ON AGENDA)

27. CONFIRMING BY-LAW

- 27.1 By-law 2025-59 - Confirming the Proceedings of Council

28. ADJOURNMENT

Instructions for Joining the Council Meeting

1. Please try to sign in between 6:20 p.m. to 6:30 p.m. if possible; you are still welcome to sign in after 6:30 p.m. if necessary.
2. Please wait to be let in the 'meeting room'; this won't take long.
3. Please have your mic and video on mute unless you are speaking; this ensures there are no distractions or background noise to disrupt the meeting.
4. When you sign in, please sign in with your full name (first and last), not a company name.
5. A question-and-answer opportunity will be available at the end of the meeting, as per normal protocol, or during the Public Meeting.
6. If you have permission to speak please identify yourself (first and last name).
7. Please respect meeting protocol and do not interrupt the meeting. The Municipality reserves the right to remove attendees who are disruptive or disrespect meeting protocol.



OSIM Inspection Report 2025



Township of McKellar



McKellar, Ontario



October 2025



Planners | Surveyors | Biologists | Engineers



Township of McKellar

OSIM Inspection Report 2025

McKellar, Ontario

TULLOCH Project No. 25-1166

October 21, 2025	0	FINAL	George Harper	Kevin Louch, P.Eng	Kevin Louch, P.Eng
Date	Rev.	Status	Prepared By	Checked By	Approved By

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1. INTRODUCTION

TULLOCH Engineering Inc. (TULLOCH) has been retained by the Township of McKellar to undertake detailed visual inspections of the Township owned bridges and structural culverts within their jurisdiction. According to Ontario Regulation 104/97 – Standards for Bridges, the structural integrity, safety, and condition of every bridge shall be determined through the performance of at least one inspection in every second calendar year under the direction of a Professional Engineer and in accordance with the Ontario Structure Inspection Manual (OSIM). O. Reg. 472/10, s. 2.

The goal of the structural inspections are to ensure that an acceptable standard is being maintained for each bridge in terms of public safety, comfort, and convenience. The inspection objectives are as follows:

- To identify critical maintenance, rehabilitation, and/or replacement needs of the bridges;
- To protect and prolong the useful life of the bridges;
- To provide a basis for scheduling and funding of the maintenance, rehabilitation, repairs, or replacement of the bridges;

This report contains completed OSIM inspection forms, relevant photographs, suggested repairs, and estimated repair costs at each site. The bridges inspected as part of this assignment are shown on the key map provided in **Figure 1** below.

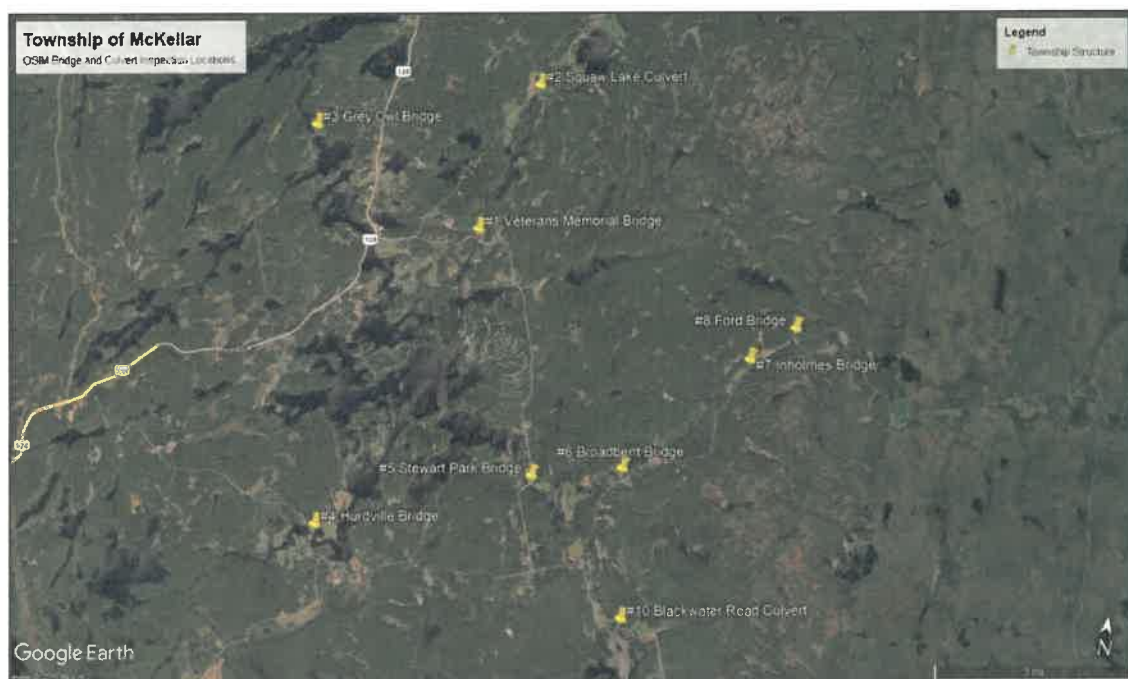


Figure 1: Bridge Locations Key Plan

1.1. Inspection Procedures

Detailed visual inspections involve the review of each primary structural element. The structural elements are identified by primary groupings and sub-groupings of each element. Material defects such as wood rot or concrete spalling were recorded and measured in the field; refer to Appendix A for a full glossary of terms for the material defects. The condition of each element is quantified and assessed with a rating of 'excellent', 'good', 'fair', or 'poor'. The condition ratings are quantified for either a portion of the total structural element, or the entirety of the structural element.

2. INSPECTION SUMMARIES

The results of the detailed visual inspections are recorded using standard Ontario Structure Inspection Manual (OSIM) forms. These forms provide a report of existing data and conditions at the time of the inspection for each bridge. The results of the previous inspections completed in 2023 were used as a template for this round of inspections. Updated OSIM forms are located in Appendix B. The reports identify additional inspections required, and recommended work to repair deficiencies with estimated costs, and a schedule for such repairs. The following summarizes the results of our inspections.

2.1. Township Structure No.1 – Veterans Memorial Bridge

Structure Description:

<u>Year Built:</u>	2010
<u>Bridge Location:</u>	Centre Road, 2.7 km east of Highway 124.
<u>Structure Type:</u>	Steel I-girder with a concrete deck and asphalt wearing surface
<u>Structure Details:</u>	25.9 m long, 9.0 m wide, single span, double lane
<u>Barrier Details:</u>	Steel beam guiderail (SBGR) over approaches and concrete parapet over the deck.
<u>Rehab History:</u>	N/A

Structure Condition Summary:

BCI	74	BSI:	70	Condition: Good
• Light wear, abrasion, light longitudinal cracks, light cracks in crack seals near joints, and light spall pockets in approach wearing surface. Settlement at the west approach has produced a lip at the north approach shoulder. • Deformed bottom C-channel, impact damage, light tears, denting, abrasion with light corrosion at the approach guiderails. The guiderail is sagging and disconnected from posts near the end treatments. • Spalled curb section at the southeast quadrant that is acting as an improvised spillway. Water is not reaching the spillways due to the settlement at the curb and approach slab. Debris accumulation at the southeast spillway. • The southwest snowplough delineator is bent and leaning. No hazard signs installed. • Small sections of ravelling at the center and southwest end of the deck wearing surface. Light longitudinal and transverse cracks throughout the deck. Cracks in approximately 7 sealed cracks. • Moderate spalls, light abrasion, medium and hairline full-height vertical cracks with AAR, light scaling at bases, hairline map cracking with AAR at interior parapets. • Narrow to medium vertical cracks, hairline map cracking, some with AAR, and water staining at the exterior parapets. • Some handrail posts are damaged or not fastened to the handrail. • Water staining near deck joints, hairline map cracking, some sections with AAR, light chipping, light pop-outs, hairline cracks, and undermining at wingwalls. • Incomplete contact of the west bearing pads with girders. • Light pop-out at the east end of the south exterior soffit. Efflorescence, scaling, and hairline vertical cracks with AAR on the north facia. • Light pitting throughout girders. Deflection is visible at the girders. ACR patina is in good condition.				



Overall Comments:

This structure is in overall good condition; the approach slabs and curbs should be monitored for continuous settlement.

Recommended Maintenance

1 year

- Rout and seal cracks in the approach and deck asphalt.
- Straighten southwest snowplough delineator.
- Install hazard signage.
- Monitor settlement at the approach slabs and curbs.

Recommended Repairs

1-5 years

- Fill undermining at the northwest wingwall.
- Replace damaged guiderail.
- Reinstate sagging guiderail.
- Connect guiderail to posts.
- Replace damaged handrail supports.

6-10 years

- Replace settled curbs.
- Regrade, level, compact, and repave settled areas.

2.2. Township Structure No.2 – Squaw Lake Culvert

Structure Description:

<u>Year Built:</u>	1982
<u>Bridge Location:</u>	Balsam Road, 4.9 km north of Centre Road.
<u>Structure Type:</u>	Open-footing structural steel plate arch culvert with concrete headwalls
<u>Structure Details:</u>	6.6m long, 14.2m wide, single span, double lane.
<u>Barrier Details:</u>	Steel beam guiderail (SBGR) over structure.
<u>Rehab History:</u>	New guiderail was installed in 2018, obstructions from the watercourse have been removed since the previous inspection. Asphalt wearing surface has been repaved since previous inspection.

Structure Condition Summary:

BCI:	75	BSI:	72	Condition: Good
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- The approach guiderail is low near all end treatments. Dents at the east end of the south guiderail. Vegetation growth around the guiderail.
- Snowplough delineators at the northwest and south corners are loose and rotated.
- Various hairline to narrow cracks, AAR and/or efflorescence at wingwalls. Sections of segregation at the northeast and southwest wingwalls.
- Light corrosion with light section loss at the base of the barrel. Water is leaking through bolt holes at the east barrel base.
- Pop-out at the east end of the outlet. Map cracking with AAR and efflorescence at the inlet headwall.
- Erosion of the footing beneath the barrel. Undermining at the southeast wingwall where the channel narrows. Medium vertical cracks at the footing.
- Obstructions were removed since the last inspection.

Overall Comments:

This culvert is in overall good condition, undermining and erosion at the culvert outlet should be repaired and protected within 1 – 5 years.

Recommended Maintenance

1 year

- Straighten snowplough delineators.
- Trim vegetation around guiderails.



Recommended Repairs

1-5 years

- Repair undermining and install armour plates at the southwest footing.

2.3. Township Structure No.3 – Grey Owl Bridge

Structure Description:

<u>Year Built:</u>	1984
<u>Bridge Location:</u>	Grey Owl Road, 2.4 km west of Highway 124.
<u>Structure Type:</u>	Steel I-girder with laminated timber deck
<u>Structure Details:</u>	11 m long, 4.9 m wide, single span, single lane.
<u>Barrier Details:</u>	Steel beam guiderail (SBGR) over approaches and deck.
<u>Rehab History:</u>	Approach guiderail and curbs were rehabilitated in 2016

Structure Condition Summary:

BCI:	60	BSI:	52	Condition: Fair
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- Debris accumulation at the shoulders. Small potholes are forming at the south shoulders, likely from turtle nests. Depression on the deck created a shallow lip at the deck-approach joints.
- Crack in the east end of the southeast guiderail. Impact damage at the southwest guiderail.
- Debris accumulation at the asphalt spillway on the northwest embankment.
- There are no snowplough delineators installed,
- Severe crushing has created depressions at the wheel tracks in the laminated timber deck. Medium abrasion and wear. Laminations have separated at the west end of the deck. Debris accumulation on the deck and between the separated boards. Severe decay of approximately 8 laminated boards.
- Impact damage and light abrasion at southwest and northeast barriers.
- Complete corrosion of the steel with rock loss at the base of the northwest basket. The northwest retaining wall base is bowing outward. Light corrosion at the bottom northeast gabion basket.
- Moderate to severe corrosion of the girder flanges. Severe section loss at the top flanges. Medium corrosion and patina flaking at the bottom flanges and web. The bolts connecting the deck to the girders have completely corroded through.
- Light to medium checks, splits, and undermining at the wingwalls.
- Decay of the timbers below the waterline, light to medium splits, checks, and shakes in the timbers, and undermining of abutment cribs. Abutment cribs are only approximately 30% full of ballast material.
- Gap between the crib bearing and the girders at the front of the west abutment.

Overall Comments:

The bridge is in overall fair to poor condition; detailed deck inspection and a structural evaluation are recommended to further evaluate the condition of the deck and to check the loading of the girders after severe section loss. The abutments should also be monitored for movement since the girders do not fully bear on the timber cribs. This bridge should be considered for rehabilitation to install a running board wearing surface over the deck, sandblast and recoat the girders, install blocking in the cribs at the waterline, and fill undermining beneath the abutments within 1 – 5 years.

Recommended Maintenance**Urgent**

- Install snowplough delineators.
- Remove debris from the bridge.

1 year

- Monitor for movement between the top of the abutment wall, bearings, and girders.
- Remove debris from spillway.
- Fill potholes and regrade approaches.
- Add fill to meet future the running boards.

Recommended Repairs**1-5 years**

- Fill abutment cribs with ballast material.
- Fill undermining beneath abutments cribs and wingwalls, and re-level abutments.
- Add blocking next to the rotten end timbers.
- Replace rotten crib sections.
- Replace damaged approach and deck guiderail sections.
- Sandblast and repaint girders.
- Install timber running board wearing surfaces.
- Replace 0.5m at each end of the deck.
- Replace damaged northwest gabion basket.

2.4. Township Structure No.4 – Hurdville Bridge

Structure Description:

<u>Year Built:</u>	1930
<u>Bridge Location:</u>	Located on Hurdville Road, 6.4 km west of Centre Road.
<u>Structure Type:</u>	Concrete T-beam with cast-in-place concrete deck
<u>Structure Details:</u>	26m long, 5.0m wide, 6.0, 3.2, 6.1, and 6.1m span length, single lane.
<u>Barrier Details:</u>	Steel beam guiderail (SBGR) over the approaches and deck.
<u>Rehab History:</u>	The concrete balustrade over the deck was replaced with steel beam guiderails (SBGR) and a cast-in-place concrete curb in July 2025.

Structure Condition Summary:

BCI:	66	BSI:	57	Condition: Fair
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- Alligator cracking in within wheel ruts, ravelling at shoulders, and medium longitudinal cracks at the south approach wearing surface. Wide transverse crack, abrasion, a lip with a cold patch near the joint, and ravelling near the east shoulder at the north approach.
- Medium delamination at the north end, medium wear, abrasion at the joint, medium to wide cracks throughout the deck.
- Wide crack with undermining, light scaling, and patchwork at the southwest wingwall. Wide longitudinal crack, light spalls, and patchwork at the northwest wingwall.
- Severe erosion, medium to severe scaling, and severe spall at the south abutment. Severe delamination, scaling, erosion, and narrow to medium map cracking at the north abutment.
- Moderate spalls with expose rebar at the south soffit bay. Medium delamination at the north soffit bay end.
- Moderate spall with exposed rebar, wide cracks at the soffit-girder interface, wide diagonal cracks, and hairline flexure cracks at the south outer bay girders. Water staining at the west interior girder in the north inner bay.
- Medium to severe erosion at pier bases. Severe erosion, severe spalls, incrustation, and efflorescence at the center pier. Limited inspection due to the dam access.

Overall Comments:

This structure is in overall fair condition. It is recommended that the structure receive a detailed deck condition survey, and a substructure condition survey due to the bridge abutments current condition. After the additional investigations, the substructure should be considered for rehabilitation in the future.



Recommended Maintenance

1 year

- Install snowplough delineators at the guiderail ends.

Recommended Repairs

1-5 years

- Repair concrete defects in the abutment walls, wingwalls, deck, piers, girders, and soffit.
- Repave the approaches and install spillways at the east shoulders.
- Repair erosion and install slope protection at the southwest embankment.
- Repair undermining at the southwest wingwall and piers.

2.5. Township Structure No.5 – Stewart Park Bridge

Structure Description:

<u>Year Built:</u>	1992
<u>Bridge Location:</u>	Located on Centre Road, 9.8 km south of Highway 124.
<u>Structure Type:</u>	Concrete I-girder with concrete deck and asphalt wearing surface
<u>Structure Details:</u>	21.0 m long, 9.4 m wide, single span, double lane.
<u>Barrier Details:</u>	Steel beam guiderail (SBGR) over the approaches and jersey barriers over the deck.
<u>Rehab History:</u>	N/A

Structure Condition Summary:

BCI:	75	BSI:	71	Condition: Good
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- Bond failure at the southeast approach shoulder. Light wear, severe transverse cracks at approach slab ends.
- Impact damage at the guiderail end treatments. Severe rot, and light checks and splits in posts.
- Abrasion of curb faces. Light to moderate spalls from impact damage at curb ends.
- Light to medium longitudinal and transverse cracks on the deck wearing surface.
- Hairline map cracking, narrow vertical cracks, some with efflorescence, light pop-outs, light spalls, and abrasion at the parapet walls.
- The handrail is loose, and a few railing posts are damaged. The northwest and southeast end caps are not installed.
- Small hole at the edge of the northwest parapet. Light erosion at the northeast embankment. Rock loss at the southeast slope protection.
- Hairline to medium cracks, some with efflorescence and/or AAR, light pop-outs, at wingwalls.
- Honeycombing at the northeast ballast wall corner. Concrete drips on the ballast wall.
- Efflorescence at girder-soffit interface. Light to medium honeycombing and scaling at the exterior and end soffits.
- Vertical hairline to medium cracks and light spall at the girder ends.
- Hairline map cracking with AAR, light pop-outs, light spalls, hairline to narrow vertical cracks throughout the abutments. Light erosion at the abutment bases.

Overall Comments:

This bridge is in overall good condition.



Recommended Maintenance

1 year

- Seal wide cracks at approach ends and fill erosion.

2 years

- Rout and seal cracks in the deck wearing surface.
- Install water vessel hazard, bridge clearance, and "no wake" signage.

Recommended Repairs

1-5 years

- Replace damaged handrail posts.
- Seal honeycombing at deck.
- Install approach spillways to direct runoff.

6-10 years

- Replace rotted posts.
- Repair concrete around the armouring plates.

2.6. Township Structure No.6 – Broadbent Bridge

Structure Description

<u>Year Built:</u>	1910 (abutments) 2008 (superstructure)
<u>Bridge Location:</u>	Located on Dickinson Road, 70m north of Broadbent Road.
<u>Structure Type:</u>	Steel I-girder with steel deck and asphalt wearing surface.
<u>Structure Details:</u>	17.3 m long, 4.3 m wide, single span, single lane.
<u>Barrier Details:</u>	Steel beam guiderail (SGBR) system over the approaches and deck.
<u>Rehab History:</u>	Superstructure replaced in 2008

Structure Condition Summary:

BCI:	61	BSI:	53	Condition: Fair
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- Bond failure at the approach shoulders. Light to medium longitudinal and transverse cracks, light wheel rutting at the north approach.
- Northeast end treatment is post are twisted. Various posts are disconnected from the approach guiderails. Impact damage at the southwest guiderail and post.
- Abrasion and tears on the south hazard signs. Hazard signs are not installed at the north approach. Snowplough delineators are not installed.
- Medium asphalt cracks at the bridge joints. 5 circular depressions with light alligator cracking. Light wheel rutting with light longitudinal cracks.
- Minor impact damage, abrasion, and light corrosion of the guiderail over deck.
- Moderate to severe corrosion at the soffit and girder flanges. Section loss throughout the girders, more severe at the girder ends. Patina flaking on soffit.
- Moderate corrosion of the stringers. Very severe corrosion with complete section loss at the stringer ends.
- Bearing pads have completely compressed and failed.
- Wide crack at the east end of the north ballast wall.
- 3 spalls at the south abutment. Light mortar loss, and narrow cracks in the mortar with efflorescence at the abutments.
- Hairline to narrow cracks in mortar with efflorescence, incrustation, and light mortar loss on the wingwalls. Very severe disintegration at the northeast wingwall end.

Overall Comments:

This bridge is in overall fair-poor condition; an enhanced OSIM inspection should take place to inspect the steel deck at the areas of the deck top with the depressed asphalt, a structural evaluation should also take place because of the severe section loss the girders have experienced.

All north deck stringers have completely corroded through and should be replaced immediately. Major rehabilitation should be considered to replace the asphalt, repair the corrosion in the soffit and girders.

Recommended Maintenance

1 year

- Install snowplough delineators and hazard signs at guiderail ends.
- Install "narrow bridge" signs.
- Rout and seal cracks in the approach wearing surface.

Recommended Repairs

Urgent

- Replace corroded stringers.

1 year

- Replace bearing pads.

1-5 years

- Replace northeast end treatment.
- Connect the guiderail to the disconnected posts.
- Replace damaged posts.
- Remove asphalt and conduct a detailed deck inspection.
- Repave deck.

6-10 years

- Sandblast and apply new coating to the soffit and girders to address the corrosion and section loss.

2.7. Township Structure No.7 – Inholmes Bridge

Structure Description

<u>Year Built:</u>	1920
<u>Bridge Location:</u>	Located on Broadbent Road, 7.2 km north of Hurdville Road.
<u>Structure Type:</u>	Steel I-Girder
<u>Structure Details:</u>	19.6m long, 4.9m wide, two 9.8m spans, single lane.
<u>Barrier Details:</u>	Steel beam guiderail (SBGR) over the approaches with a steel and timber barrier on the deck.
<u>Rehab History:</u>	Superstructure was replaced, and substructure had repairs completed in 2023.

Structure Condition Summary:

BCI:	83	BSI:	75	Condition: Good
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- Ravelling of the asphalt around at the joints. Flushing throughout the wearing surfaces.
- Northeast approach guiderail are dented near the end treatment. Guiderails are low near the end treatments. Southeast end treatment appears to be damaged.
- Snowplough delineators are not installed.
- Debris accumulation on the deck joint seals.
- Barrier guiderails and posts over the deck are in excellent condition.
- Vegetation overgrowth and moderate scour at the embankment bases.
- Wide full-height vertical crack in the southwest wingwall.
- Sections of light to medium mortar loss at the north abutment. Light mortar loss at the south abutment.
- Sections of loose rock and light mortar loss at the pier.
- Light undermining of the foundation at the east end of the pier.

Overall Comments:

This structure is in overall good condition; minor rehabilitation should be considered for the substructure to repoint the mortar at the piers and abutments and repair undermining.

Recommended Maintenance

1 year

- Install snowplough delineators at the guiderail ends.
- Remove debris from the spillway.
- Trim vegetation and install slope protection on the embankments.
- Remove debris from the joints.



Recommended Repairs

1-5 years

- Repair and repoint loose and lost mortar in the abutment walls and pier.
- Repair crack in the southwest wingwall.
- Raise guiderail near end treatments and replace the southeast end treatment.
- Repair undermining and install an armouring plate at the east end of the pier.

2.8. Township Structure No.8 – Ford Bridge

Structure Description:

<u>Year Built:</u>	1930
<u>Bridge Location:</u>	Located on Broadbent Road, 8.7 km northeast of Hurdville Road.
<u>Structure Type:</u>	Cast-in-Place Concrete T-Beam Bridge
<u>Structure Details:</u>	12.8m long, 5.6m wide, single span, single lane.
<u>Barrier Details:</u>	Steel beam guiderail (SGBR) over the approaches and concrete parapet wall over the deck.
<u>Rehab History:</u>	Guiderail has been installed at the bridge approaches in 2019.

Structure Condition Summary:

BCI:	58	BSI:	50	Condition: Poor
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- Bond failure and ravelling of cold patches, and light waffling at the west approach. Lip with wide transverse cracks at the west joint. Light wheel rutting with light alligator cracking approaches. Ravelling at the east shoulders making the embankments susceptible to washout.
- Abrasion and light corrosion at the southwest approach guiderail. Light impact damage at the southeast guiderail. The southwest end treatment is dented. The guiderails are low and disconnected from the posts near the end treatments.
- The southeast hazard sign is leaning and there is impact damage to the west signs.
- Abrasion of deck wearing surface near curbs. Wide transverse cracks at the deck joints.
- 3 suspected delamination on the deck identified via chain drag.
- Organic debris trapped in deck drains. Central north drain is covered in asphalt.
- Moss growth on the top, medium to very severe spalls, medium delamination, and medium to severe disintegration with medium to severe corroded rebar at both parapets. Medium vertical cracks and efflorescence at the south interior parapet. Moderate disintegration at the south exterior parapet base. Moss growth on the exterior parapet wall.
- Light to medium spalls and abrasion at both curbs. Medium to wide vertical cracks in the south curb.
- Heavy vegetation growth on the embankments. Erosion at the top of the northeast, and erosion at the top of the southwest embankment.
- Severe delamination at the east wingwalls. Severe disintegration at the south wingwall. Erosion at wingwall-abutment wall corner. Full-length wide crack with efflorescence at the top of the southwest wingwall. Very severe delamination (4 sq.m), light spalls and a wide vertical crack at the base of the northwest wingwall.
- Light erosion at the base of abutment concrete. Light spalls and delamination at the east abutment wall. Very severe delamination, medium map cracking, and medium scaling at the west abutment wall.
- Water staining, light scaling and erosion around drains of the deck soffit.

-
- Light to moderate spalls with exposed rebar and medium width cracks throughout the girders. Moderate scaling at the girder ends.

Overall Comments:

This bridge is in poor condition. This structure is nearing the end of its service life and should be considered for replacement in 1–5 years.

Recommended Maintenance**1 year**

- Replace west hazard signs. Straighten the southeast hazard sign.
- Install snowplough delineators at approach guiderail ends.
- Install deck drain extensions
- Remove organic debris from drains.
- Remove asphalt covering a north center drain.

2 years

- Trim vegetation on embankments.

Recommended Repairs**1-5 years**

- Repair concrete defects and seal cracks in the parapet walls, curbs, abutment walls, wingwalls and girders.
- Repave approaches, install asphalt spillways at approaches.

2.9. Township Structure No.10 – Blackwater Road

Structure Description:

<u>Year Built:</u>	2017
<u>Bridge Location:</u>	Located on Blackwater Road, 2.0 km south of Hurdville Road.
<u>Structure Type:</u>	Structural Steel Plate Arch Culvert
<u>Structure Details:</u>	4.2m long, 15.5m wide, single span, double lane
<u>Barrier Details:</u>	Steel beam guiderail (SGBR) over structure
<u>Rehab History:</u>	N/A

Structure Condition Summary:

BCI:	80	BSI:	77	Condition: Good
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- Undermining at the northwest shoulder. Washout and undermining caused asphalt deterioration at the southeast shoulder.
- The southwest hazard sign is missing a snowplough delineator. The remaining snowplough delineators are loose and/or rotated.
- Light erosion channels at the east embankments between the gabion baskets and the barrel.
- Small section of undermining at the southwest gabion basket.
- Light rust staining of the inlet and outlet near the waterline.
- Light to moderate corrosion of the barrel and bolts around the waterline.
- A fallen tree and other organic debris have collected near the inlet and could form a dam.

Overall Comments:

This culvert is in overall good condition.

Recommended Maintenance

1 year

- Install a snowplough delineator on the southwest hazard sign. Straighten and tighten snowplough delineators.
- Repair washout at southeast shoulder
- Remove debris near the inlet.

Recommended Repairs

1-5 years

- Repair undermining at southwest wingwall.

End of Section.

3. IMPROVEMENT COSTS

The tables below summarize the class D estimated cost of the repair and rehabilitation required for the deficiencies identified through the inspection process. Cost tables have been split into maintenance items and repair item costs. Detailed cost estimates for the repairs and maintenance are outlined on the page after the element data tables of each OSIM form in Appendix B.

Table 1: Summary of Repair & Maintenance Costs

Bridge Details		Repair Costs			Maintenance Costs	
Structure Name	Urgent – Now < 1 year	1-5 years	6-10 years	Urgent – Now < 1 year	1 year	2 years
Structure #1 Veterans Memorial Bridge	\$0	\$40,000	\$70,000	\$0	\$5,000	\$3,000
Structure #2 Squaw Lake Culvert	\$0	\$30,000	\$0	\$0	\$2,000	\$0
Structure #3 Grey Owl Bridge	\$0	\$250,000	0	\$4,000	\$4,500	\$0
Structure #4 Hurdville Bridge	\$50,000	\$275,000	\$0	\$0	\$1,000	\$0
Structure #5 Stewart Park Bridge	\$0	\$20,000	\$25,000	\$0	\$3,000	\$5,000
Structure #6 Broadbent Bridge	\$100,000	\$60,000	\$100,000	\$0	\$8,000	\$0
Structure #7 Inholmes Bridge	\$0	\$110,000	\$0	\$0	\$12,000	\$1,000
Structure #8 Ford Bridge	\$0	\$2,000,000*	\$0	\$0	\$9,000	\$4,000
Structure #10 Blackwater Road Culvert	\$0	\$15,000	\$0	\$0	\$10,000	\$0
Sub totals	\$150,000	\$800,000	\$195,000	\$4,000	\$54,500	\$13,000
Total (actual costs)	\$1,145,000			\$71,500		

* Note the above pricing is based on replacement of the structure, should the Township decide to rehabilitate, capital cost may be reduced. If replacement is recommended, no repair costs are included in the cost summary. Refer to page 4 of the OSIM form for full repair costs.

4. CONCLUSIONS AND RECOMMENDATIONS

Upon completion of the biennial structure inspections, a number of recommendations have been identified for both short and long-term planning with the Township's structures.

4.1. BCI & BSI

Bridge Condition Index (BCI) and Bridge Sufficiency Index (BSI) are values that generally represent the overall condition of a structure as well as the urgency of repairs. The BCI values given are based on a formula that weights each element of a structure differently. A bridge that has a very short span, and therefore a small area of soffit in overall poor condition may have a calculated BCI value higher than expected. This could be a result of having numerous large non-structural elements, such as sidewalks, curbs, handrails, barriers, signage, etc., all in good to excellent condition. Therefore, BCI values should be used only as a guide when determining the overall condition of the structure.

BSI values utilize the BCI value as a base and then subtract socioeconomic factors such as detour length, average annual daily traffic (AADT), economic importance of roadway etc., in order to ascertain a value. Structures that have a larger difference between the BCI and BSI are seen as more critically important to the Township's operation than those structures whose values are only different by one or two points.

Table 2 provides a general description of typical maintenance needs for structures falling within overall Good, Fair and Poor conditions, as well as relating these conditions to a range of BCI values. While Table 3 provides an overview of each structure's BCI, BSI and overall age.

Table 2: BCI & BSI

Rating	Maintenance Schedule
Good: BCI Range 70 - 100	Maintenance is not usually required within the next five years
Fair: BCI Range 60 - 69	Maintenance work is usually scheduled within the next five years. This is the ideal time to schedule major bridge repairs to get the best value from bridge spending.
Poor: BCI Less than 60	Maintenance work is usually scheduled within one year.

Table 3: Condition Ratings

Bridge Name	BCI	BSI	Age (years)
#1 Veterans Memorial Bridge	74	70	15
#2 Squaw Lake Culver	75	72	43
#3 Grey Owl Bridge	60	52	41
#4 Hurdville Bridge	66	57	95

#5 Stewart Park Bridge	75	71	33
#6 Broadbent Bridge	61	53	17
#7 Inholmes Bridge	83	75	2
#8 Ford Bridge	58	50	95
#10 Blackwater Road Culvert	80	77	8
Average	70	64	39

Poor Rating:

- 1 structure is classified as Poor with a BCI value of less than 60. This is approximately 11% of the bridges and culverts inspected. The average age of this structures is 95 years old. The structures that fall under this category should be considered for replacement or major rehabilitation in the near future.

Fair Rating:

- 3 structures are classified as Fair with a BCI value between 60 and 69. This is approximately 33% of the bridges and culverts inspected. The average age of these structures is 51 years old. The structures that fall under this category would benefit from more minor rehabilitations.

Good Rating:

- 5 structures are classified as Good with a BCI value of 70 or greater. This is approximately 56% of the bridges and culverts inspected. The average age of these structures is 20 years old. The age of Inholmes bridge is based on the age of the superstructure, the substructure is 105 years old and has been rehabilitated to extend its life.

Overall, the Townships bridges and culverts are in good condition with an average BCI of 70.

4.2. Maintenance and Repairs

After analyzing Tables 2 and 3 above, it is apparent the effect that age has on a structure. Generally, with age comes an increase in wear and tear on the structure as a result of environmental (rain, snow, ice, flooding), chemical (de-icing solutions), and mechanical (traffic loading) factors. Structures, if not properly maintained, can deteriorate at an accelerated rate as the infrastructure begins to age. Therefore, it is essential that general maintenance and repairs are completed to help reduce the acceleration of bridge deterioration.

Critical items have been noted above and should be scheduled to be undertaken by the Township as soon as possible or practical.

The following bridges should be replaced as noted above. Monitoring for deformation, settlement, and movements within and around the structures should be completed prior to construction and planning.

- Structure No. 8 – Ford Bridge (1 – 5 years)

The following bridges require additional investigation as stated in the OSIM forms

- Structure No. 1 – Veterans Memorial Bridge
 - Monitor areas beyond the approach slabs for continuous settlement (1 year)
- Structure No. 3 – Grey Owl Bridge
 - Structural evaluation to verify girder load capacity after severe section loss. (1 year)
 - Detailed deck condition survey based on the condition of the deck top. (1 year)
 - Monitor the abutment cribs for continuous settlement. (1 year)
- Structure No. 4 – Hurdville Bridge
 - Detailed deck condition survey based on the condition of the deck top. (1 year)
 - Substructure condition survey based on the condition of the abutment and the piers. (1 year)
- Structure No. 6 – Broadbent Bridge
 - Structural evaluation to verify girder load capacity after severe section loss. (1 year)
 - An enhanced OSIM should take place to evaluate the condition of the deck top beneath the asphalt. (1 year)
 - Monitor corrosion throughout the superstructure. (1 year)
- Structure No. 7 – Inholmes Bridge
 - Monitor the step crack widths at the southwest wingwall. (1 year)

5. CLOSURE

We trust that the contents of this report sufficiently outline the requirements for bridge maintenance, repair, and replacement. Should you have any questions or comments regarding the contents of this report, please do not hesitate to contact our office.

Respectfully Submitted,
TULLOCH Engineering Inc.

Prepared by:



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APPENDIX A

Glossary of Definitions

Abutment - A substructure unit which supports the end of the structure and retains the approach fill.

Auxiliary Components - Any component which does not share in the load carrying capacity of the structure.

Biennial Structure Inspection - An inspection performed in every second calendar year to assess the condition of the structure, in accordance with the methodology described in OSIM.

Bridge - A structure which provides a roadway or walkway for the passage of vehicles, pedestrians or cyclists across an obstruction, gap or facility and is greater than or equal to 3 m in span.

Chord - The upper and lower main longitudinal component in trusses or arches extending the full length of the structure.

Coating - The generic term for paint, lacquer, enamel, sealers, galvanizing, metallizing, etc.

Concrete Deck Condition Survey - A detailed inspection of a concrete deck in accordance with The Structure Rehabilitation Manual.

Culvert (Structural) - A Structure that forms an opening through soil and has a span of 3 metres or more

Defect - An identifiable, unwanted condition that was not part of the original intent of design.

- **Scaling** - Scaling is the local flaking, or loss of the surface portion of concrete or mortar as a result of the freeze-thaw deterioration of concrete. Scaling is common in non air-entrained concrete, but can also occur in air-entrained concrete in the fully saturated condition. Scaling is prone to occur in poorly finished or overworked concrete where too many fines and not enough entrained air is found near the surface.
- **Disintegration** - Disintegration is the physical deterioration or breaking down of the concrete into small fragments or particles. The deterioration usually starts in the form of scaling and, if allowed to progress beyond the level of very severe scaling is considered as disintegration. Disintegration may be caused by de-icing chemicals, sulphates, chlorides or by frost action.
- **Erosion** - Erosion is the deterioration of concrete brought about by water-borne sand and gravel particles scrubbing against concrete surfaces. Similar, damage may be caused by flowing ice. Erosion is sometimes combined with the chemical action of air and water-borne pollutants which accelerate the breakdown of the concrete. Erosion is generally an indication that the concrete is not durable enough for the environment in which it has been placed.
- **Corrosion of Reinforcement** - Corrosion is the deterioration of reinforcement by electrolysis. The alkali content in concrete protects the reinforcement from corrosion. However, when chloride ions above a certain concentration are dissolved in water and penetrate through the concrete to the reinforcement this protection breaks down and corrosion starts. In the initial stages, corrosion may appear as a rust-stain on the concrete surface. In the advanced stages, the surface concrete above the reinforcement cracks, delaminates and spalls off exposing heavily rusted reinforcement.

- **Delamination** - Delamination is defined as a discontinuity of the surface concrete which is substantially separated but not completely detached from concrete below or above it. Visibly, it may appear as a solid surface but can be identified as a hollow sound by tapping or chain dragging. Delamination begins with the corrosion of reinforcement and subsequent cracking of the concrete. Delamination or debonding may also occur in concrete that has been patched or overlaid due to the continued deterioration of the older concrete. This may happen even in the absence of any rusting of reinforcing steel.
- **Spalling** - A spall is a fragment, which has been detached from a larger concrete mass. Spalling is a continuation of the delamination process whereby the actions of external loads, pressure exerted by the corrosion of reinforcement or by the formation of ice in the delaminated area results in the breaking off of the delaminated concrete.
- **Cracking** - A crack is a linear fracture in concrete which extends partly or completely through the member. Cracks in concrete occur as a result of tensile stresses introduced in the concrete. Tensile stresses are initially carried by the concrete and reinforcement until the level of the tensile stresses exceeds the tensile capacity of the concrete. After this point the concrete cracks and the tensile force is transferred completely to the steel reinforcement. The crack widths and distribution is controlled by the reinforcement in reinforced and prestressed concrete, whereas in plain concrete there is no such control.
- **Alkali-Aggregate Reaction** - In Ontario, there exists several sources of aggregates that react adversely with the alkalis in cement to produce a highly expansive gel. Currently, these sources of reactive aggregates are generally avoided, but they do exist in many existing structures and still may occur in newer structures. The two general types of reactions in Ontario are alkali-carbonate and alkali-silica reaction. The expansion of the gel and aggregates occurs due to hydroxyl ions in the concrete pore solution, which under moist conditions, leads to cracking and deterioration of the concrete.
- **Surface Defects** - Surface defects are not necessarily serious in themselves; however, they are indicative of a potential weakness in the concrete, and their presence should be noted but not classified as to severity, except for honeycombing and pop-outs.
 - **STRATIFICATION** is the separation of the concrete components into horizontal layers in over-wetted or over-vibrated concrete. Water, laitance, mortar and coarse aggregates occupy successively lower positions. A layered structure in concrete will also result from the placing of successive batches that differ in appearance.
 - **SEGREGATION** is the differential concentration of the components of mixed concrete resulting in nonuniform proportions in the mass. Segregation is caused by concrete falling from a height, with the coarse aggregates settling to the bottom and the fines on top. Another form of segregation occurs where reinforcing bars prevent the uniform flow of concrete between them.
 - **COLD JOINTS** are produced if there is a delay between the placement of successive pours of concrete, and if an incomplete bond develops at the joint due to the partial setting of the concrete in the first pour.
 - **DEPOSITS** are often left behind where water percolates through the concrete and dissolves or leaches chemicals from it and deposits them on the surface.
 - **HONEYCOMBING** is produced due to the improper or incomplete vibration of the concrete which results in voids being left in the concrete where the mortar failed to completely fill the spaces between the coarse aggregate particles.
 - **POP-OUTS** are shallow, typically conical depressions, resulting from the breaking away of small portions of the concrete surface, due to the expansion of some aggregates or due

to frost action. The shattered aggregate particle may be found at the bottom of the depression, with a part of the aggregate still adhering to the pop-out cone.

- ABRASION is the deterioration of concrete brought about by vehicles or snow-plough blades scraping against concrete surfaces, such as, decks, curbs, barrier walls or piers.
- WEAR is usually the result of dynamic and/or frictional forces generated by vehicular traffic, coupled with the abrasive influx of sand, dirt and debris. It can also result from the friction of ice or water-borne particles against partly or completely submerged members. The surface of the concrete appears polished.
- SLIPPERY CONCRETE SURFACES may result from the polishing of the concrete deck surface by the action of repetitive vehicular traffic.

Detailed Visual Inspection - An element by element visual assessment of material defects, performance deficiencies and maintenance needs of a structure.

Deterioration - A defect that has occurred over a period of time.

Distress - A defect produced by loading.

Elements - The individual parts of a structure defined for inspection purposes. Several bridge components may be grouped together to form one bridge element for inspection purposes

Environment - An element's exposure to salt spray:

- Benign - Not exposed (e.g. River Pier)
- Moderate - Exposed but element protected (e.g. Asphalt covered and waterproofed deck)
- Severe - Exposed and element not protected (e.g. Exposed concrete deck, Barrier Wall)

Evaluation - The determination of the load carrying capacity of structures in accordance with the requirements of the Canadian Highway Bridge Design Code.

Maintenance - Any action which is aimed at preventing the development of defects or preventing deterioration of a structure or its components.

Primary Components - The main load carrying components of the structure.

Rehabilitation - Any modification, alteration, retrofitting or improvement to a structure subsystem or to the structure which is aimed at correcting existing defects or deficiencies.

Remaining Service Life - Remaining Service Life is an estimate of the useful remaining life of the structure and is based on the year of construction or major rehabilitation and a service life of 50 years for culverts that are not plastic, polymer coated or concrete, 50 years for bridges constructed prior to 2000, 50 years for steel bridges and 70 years for other structures.

Repair - Any modification, alteration, retrofitting or improvement to a component of the structure which is aimed at correcting existing defects or deficiencies.

Retaining Wall - Any structure that holds back fill and is not connected to a bridge.

Secondary Components - Any component which helps to distribute loads to primary components, or carries wind loads, or stabilizes primary components.

Sign Support - A metal, concrete or timber structure, including supporting brackets, service walks and mechanical devices where present, which support a luminaire, sign or traffic signal and which span or extend over a highway.

Span - The horizontal distance between adjacent supports of the superstructure of a bridge, or the longest horizontal dimension of the cross-section of a culvert or tunnel taken perpendicular to the walls.

Stringers - Stringers span between floor beams and provide the support for the deck above.

Structure - Bridge, culvert, tunnel, retaining wall or sign support.

Suspected Performance Deficiency - A Suspected Performance Deficiency should be recorded during an inspection, if an element's ability to perform its intended function is in question, and one or more performance defects exist.

APPENDIX B

OSIM Forms

Ontario Structure Inspection Manual – Inspection Form

MTO Site Number:

Inventory Data:

Structure Name	No. 1 - Veterans Memorial Bridge		
Main Hwy/Road #	On ☒ Under ☐	Service on structure:	☐ Navig. Water ☐ Non-Navig. Water ☐ Rail ☒ Road ☐ Ped. ☐ Other
Hwy/Road Name	Center Road	Service under structure:	☒ Navig. Water ☐ Non-Navig. Water ☐ Rail ☐ Road ☐ Ped. ☐ Other
Structure Location	2.6km East of Hwy 124		
Latitude	45.512156	Longitude	-79.888252
Owner(s)	Township of McKellar	Heritage Designation:	
MTO Region	Northeastern	☒ Not Considered	☐ Considered / not Applied for
MTO District	Parry Sound	☐ Listed / not Designated	☐ Designated / not Listed
Structure Type	Slab on I-Girder (Steel)	☐ Designated / Listed	
Total Deck Length	25.6 (m)	Road Class: Freeway ☐ Arterial ☐ Collector ☐ Local ☒	
Overall Str. Width	9 (m)	Posted Speed (km/h)	60
Culvert Length	(m)	AADT	
Culvert Width	(m)	Special Routes: ☐ Transit ☐ Truck	☒ School ☐ Bicycle
Total Deck Area	230.4 (sq m)	Detour Length Around Bridge	35 (km)
Roadway Width	8.5 (m)	Direction of Structure	East-west
Skew Angle	(Degrees)	Fill on Structure	(m)
No. of Spans	1		
Span Lengths	22.6		(m)

Historical Data:

Year Built	2010 ☐ Unknown	Year of Last Major Rehab	☒ Unknown
Last OSIM Inspection	September 28, 2023 ☐ Unknown	Last Evaluation	☒ Unknown
Last Enhanced OSIM Inspection	☒ Unknown	Current Load Limit	(tonnes)
Enhanced Access Equipment (ladder, boat, lift, etc.)			
Last Underwater Inspection	Unknown		
Last Condition Survey	☒ Unknown		
Rehab History (date/description):			

Scheduled Improvements:

Regional Priority
Number

Programmed Work
Year

Nature of Program Work:

Appraisal Indices:

Comments

Fatigue

Seismic

Scour

Flood

Geometrics

Barrier

Curb

Load Capacity

Ontario Structure Inspection Manual – Inspection Form

MTO Site Number:

Field Inspection Information:	
Date of Inspection:	July 23, 2025
Type of Inspection:	☒ OSIM ☐ Enhanced OSIM
Inspector:	George Harper EIT
Others in Party:	Jeremy Longhurst ET
Access Equipment Used:	Camera, hammer, tape measure, chain.
Weather:	Sunny
Temperature (°C):	27

Additional Investigations Required:	Priority		
	None	Normal	Urgent
Material Conditions Survey			
Detailed Deck Condition Survey:	☒	☐	☐
Non-destructive Delamination Survey of Asphalt-Covered Deck:	☒	☐	☐
Concrete Substructure Condition Survey:	☒	☐	☐
Detailed Coating Condition Survey:	☒	☐	☐
Detailed Timber Investigation:	☒	☐	☐
Post-Tensioned Strand Investigation:	☒	☐	☐
Underwater Investigation:	☒	☐	☐
Fatigue Investigation:	☒	☐	☐
Seismic Investigation:	☒	☐	☐
Structure Evaluation:	☒	☐	☐
Monitoring			
Monitoring of Deformations, Settlements, and Movements:	☐	☒	☐
Monitoring Crack Widths:	☒	☐	☐
Monitoring _____	☒	☐	☐
Investigation Notes: Monitor for continued settlement beyond approaches slab.			

Overall Structure Notes:	
Recommended Work on Structure:	☒ None ☐ Minor Rehab. ☐ Major Rehab. ☐ Replace
Timing of Recommended Work:	☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years
Overall Comments:	This structure is in overall good condition; the areas beyond approach slabs and curbs should be monitored for continuous settlement.
Date of Next Inspection:	2027
Bridge Condition Index:	74
Bridge Sufficiency Index:	70

Suspected Performance Deficiencies

- | | | |
|--|--|--|
| 01 Load carrying capacity
02 Excessive deformations (deflections & rotations)
03 Continuing settlement
04 Continuing movements
05 Seized bearings | 06 Bearing not uniformly loaded/unstable
07 Jammed expansion joint
08 Pedestrian/vehicular hazard
09 Rough riding surface
10 Surface ponding
11 Deck drainage | 12 Slippery surfaces
13 Flooding/channel blockage
14 Undermining of foundation
15 Unstable embankments
16 Other |
|--|--|--|

Maintenance Needs

- | | | |
|---|--|---|
| 01 Lift and Swing Bridge Maintenance
02 Bridge Cleaning
03 Bridge Handrail Maintenance
04 Painting Steel Bridge Structures
05 Bridge Deck Joint Repair
06 Bridge Bearing Maintenance | 07 Repair to Structural Steel
08 Repair of Bridge Concrete
09 Repair of Bridge Timber
10 Bailey bridges - Maintenance
11 Animal/Pest Control
12 Bridge Surface Repair | 13 Erosion Control at Bridges
14 Concrete Sealing
15 Rout and Seal
16 Bridge Deck Drainage
17 Scaling (Loose Concrete or ACR Steel)
18 Other |
|---|--|---|

Repair and Rehabilitation Required			Priority				Estimated Cost
Element Group	Element Type	Repair and Rehabilitation Required	6 – 10 years	1 – 5 years	Now < 1 year	Urgent	
Abutment	Abutment Walls		☐	☐	☐	☐	
Abutment	Ballast Walls		☐	☐	☐	☐	
Abutment	Bearings		☐	☐	☐	☐	
Abutment	Wingwalls	Fill undermining at northwest wingwall.	☐	☒	☐	☐	\$20,000
Accessories(Attachments and Signs)	Signs		☐	☐	☐	☐	
Approach	Approach Slabs		☐	☐	☐	☐	
Approach	Barriers	Replace damaged rail sections. Reinstate sagging guiderail. Connect guiderail to posts.	☐	☒	☐	☐	\$15,000
Approach	Curb and Gutters	Replace damaged curbs.	☒	☐	☐	☐	\$10,000
Approach	Drainage System		☐	☐	☐	☐	
Approach	Wearing Surface	Regrade, level, compact, and repave settled areas.	☒	☐	☐	☐	\$60,000
Barrier	Barrier/Parapet Walls		☐	☐	☐	☐	
Barrier	Barrier/Parapet Walls		☐	☐	☐	☐	
Barrier	Hand Railings	Replace damaged handrail supports.	☐	☒	☐	☐	\$5,000
Beams/Main Longitudinal Element	Diaphragms (Intermediate)		☐	☐	☐	☐	
Beams/Main Longitudinal Element	Girders (i)		☐	☐	☐	☐	
Coating	Structural Steel		☐	☐	☐	☐	
Deck	Deck Top (Thin Slab)		☐	☐	☐	☐	
Deck	Soffit - Thin Slabs (Exterior)		☐	☐	☐	☐	
Deck	Soffit - Thin Slabs (Interior)		☐	☐	☐	☐	
Deck	Wearing Surface		☐	☐	☐	☐	
Embankments & Streams	Embankments		☐	☐	☐	☐	
Embankments & Streams	Slope Protection		☐	☐	☐	☐	
Embankments & Streams	Stream and Waterway		☐	☐	☐	☐	
Foundation	Foundation (below ground level)		☐	☐	☐	☐	
Retaining Wall	Walls		☐	☐	☐	☐	
Total							\$110,000

Associated Work	Comments	Estimated Cost
Other:	Engineering (15%)	\$16,500
Contingencies:	Contingency (10%)	\$11,000
Total Cost		\$27,500

Total Repair and Rehabilitation Cost	\$137,500
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Replacement Cost	\$3,000,000
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Maintenance Needs			Priority			Estimated Cost
Element Group	Element Type	Maintenance Items	2 Year	1 Year	Urgent	
Abutment	Abutment Walls		☐	☐	☐	
Abutment	Ballast Walls		☐	☐	☐	
Abutment	Bearings		☐	☐	☐	
Abutment	Wingwalls		☐	☐	☐	
Accessories (Attachments and Signs)	Signs	Straighten southwest snowplough delineator. Install hazard signage.	☐	☒	☐	\$1,000
Approach	Approach Slabs	Monitor settlement.	☐	☒	☐	\$500
Approach	Barriers		☐	☐	☐	
Approach	Curb and Gutters	Monitor settlement.	☐	☒	☐	\$500
Approach	Drainage System		☐	☐	☐	
Approach	Wearing Surface	Rout and seal cracks.	☐	☒	☐	\$3,000
Barrier	Barrier/Parapet Walls		☐	☐	☐	
Barrier	Barrier/Parapet Walls		☐	☐	☐	
Barrier	Hand Railings		☐	☐	☐	
Beams/Main Longitudinal Element	Diaphragms (Intermediate)		☐	☐	☐	
Beams/Main Longitudinal Element	Girders (i)		☐	☐	☐	
Coating	Structural Steel		☐	☐	☐	
Deck	Deck Top (Thin Slab)		☐	☐	☐	
Deck	Soffit - Thin Slabs (Exterior)		☐	☐	☐	
Deck	Soffit - Thin Slabs (Interior)		☐	☐	☐	
Deck	Wearing Surface	Rout and seal cracks.	☒	☐	☐	\$3,000
Embankments & Streams	Embankments		☐	☐	☐	
Embankments & Streams	Slope Protection		☐	☐	☐	
Embankments & Streams	Stream and Waterway		☐	☐	☐	
Foundation	Foundation (below ground level)		☐	☐	☐	
Retaining Wall	Walls		☐	☐	☐	
Total						\$8,000

Overall Site Photos

Photo 1: Elevation



Photo 2: Approach

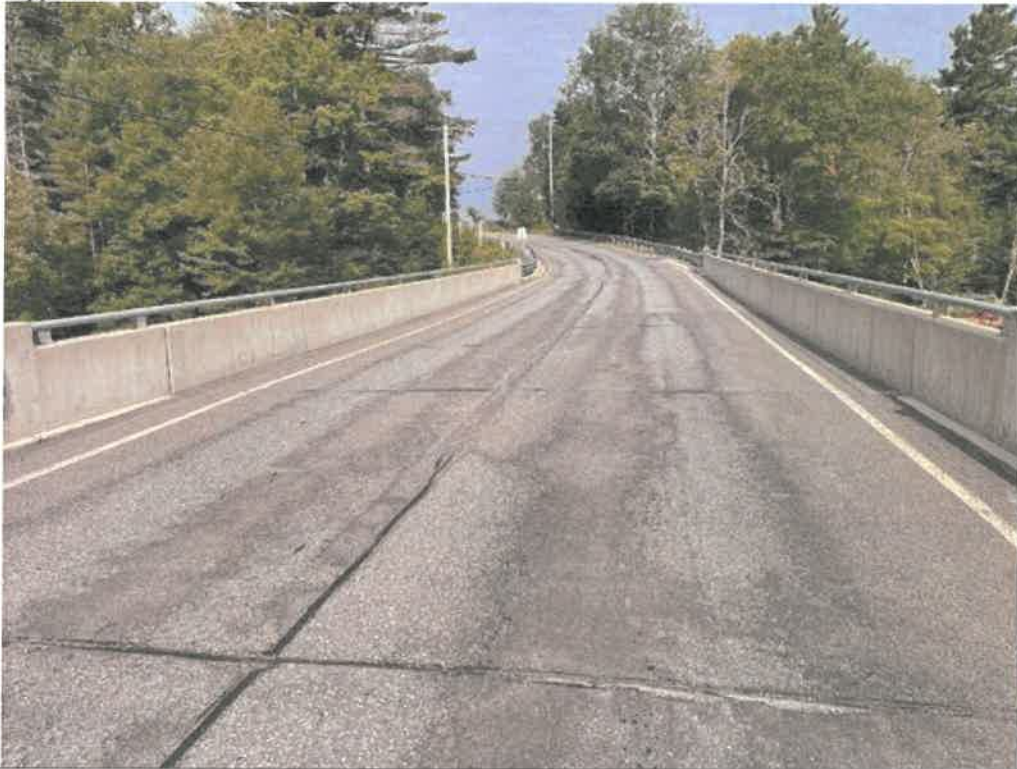


Photo 3: Soffit



Element Data

Element Group:	Abutment	Length:				
Element Name:	Abutment Walls	Width:	9			
Location:	Beneath E/W girder ends	Height:	1.25			
Material:	Cast-in-place concrete	Count:	1			
Element Type:	N/A	Total Quantity:	11.25			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	0	11.25	0	0	none
Comments: Hairline vertical crack at the north end of the east abutment. Narrow vertical crack at the center of the east abutment. Patchwork at west abutment.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Center of east abutment wall				Photo 2: Patchwork at west abutment.		
						

Element Data

Element Group:	Abutment	Length:				
Element Name:	Ballast Walls	Width:	9			
Location:	Above abutment wall at E/W girder ends	Height:	0.81			
Material:	Cast-in-place concrete	Count:	2			
Element Type:	N/A	Total Quantity:	14.58			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	0	14.58	0	0	none
Comments: Light pop-outs and 3 narrow vertical cracks at each ballast wall.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Narrow vertical crack in north ballast wall				Photo 2: Narrow vertical crack in south ballast wall		
						

Element Data

Element Group:	Abutment	Length:				
Element Name:	Bearings	Width:				
Location:	Between E/W girder ends and abutment walls	Height:				
Material:	Rubber	Count:	8			
Element Type:	Elastomeric	Total Quantity:	8			
Environment:	Benign	Limited Inspection ☐ Yes ☒ No				
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units each	Exc. 4	Good 0	Fair 4	Poor* 0	
Comments: East bearing pads in excellent condition. Incomplete contact of bearing pads with girder at the west abutment.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Incomplete contact if west girder end and bearing pad. 						

Element Data

Element Group:	Abutment	Length:	3
Element Name:	Wingwalls	Width:	
Location:	All quadrants	Height:	1.55
Material:	Cast-in-place concrete	Count:	4
Element Type:	N/A	Total Quantity:	18.6
Environment:	Benign	Limited Inspection	☐ Yes ☒ No
Protection System:	N/A	Perform. Deficiencies	
Condition Data:	Units m2	Exc. 7	Good 9.6
			Fair 1.5
			Poor* 0.5
			14
Comments: Water staining at southeast wing wall under deck joint. Small section of map cracking and minor chipping at southeast abutment. Minor pop-outs at northeast wingwall. Water staining and hairline cracks at southwest wingwall. Undermining, hairline maps cracking with AAR, water staining, and minor pop-outs at northwest wingwall.			
Recommended Work:	☒ Rehab ☐ Replace	Maintenance Needs:	18
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments: Fill undermining at northwest wingwall.		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Southeast wingwall		Photo 2: Northeast wingwall	
			
Photo 3: Southwest wingwall		Photo 4: Northwest wingwall	
			

Element Data

Element Group:	Accessories(Attachments and Signs)		Length:			
Element Name:	Signs		Width:			
Location:	Approaches		Height:			
Material:	Steel		Count:		6	
Element Type:	Snowplow delineators, bridge identification		Total Quantity:		6	
Environment:	Severe		Limited Inspection ☐ Yes ☒ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units each	Exc.	Good 5	Fair 1	Poor*	
Comments: 4 snowplough delineators. The southwest snowplough delineator is bent and leaning. 2 "Veteran's Memorial Bridge" signs. No hazard signs installed.						
Recommended Work:			☐ Rehab ☐ Replace ☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years		Maintenance Needs: none ☐ Urgent ☒ 1 year ☐ 2 Year	
Comments:				Comments: Straighten southwest snowplough delineator. Install hazard signage.		
* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.						
Photo 1: Bent and leaning snowplough delineator 				Photo 2: Northeast snowplough delineator 		

Element Data

Element Group:	Approach	Length:	6			
Element Name:	Approach Slabs	Width:	9			
Location:	East and West	Height:				
Material:	Cast-in-place concrete	Count:	2			
Element Type:	N/A	Total Quantity:	108			
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2		100	8		none
Comments: Limited inspection, condition based on wearing surface. There appears to be settlement beyond the west approach slab.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments: Monitor settlement.		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: West approach slab 	Photo 2: East approach slab 
Photo 3: Settlement at west approach slab 	

Element Data

Element Group:	Approach	Length:	28
Element Name:	Barriers	Width:	
Location:	All quadrant	Height:	0.85
Material:	Steel	Count:	4
Element Type:	SBGR	Total Quantity:	112
Environment:	Severe	Limited Inspection	☐ Yes ☒ No
Protection System:			
Condition Data:	Units	Exc.	Good
	m	0	88
			Fair
			12
			Poor*
			12
			Perform. Deficiencies
			02
Comments: Warped bottom C-channel at southeast approach guiderail. Impact damage near the southeast end treatment. Small tears and denting at the northeast railing sections. Small section of abrasion with minor corrosion at the northwest guiderail. Denting at the northwest guiderail. The guiderail is sagging at the west end treatments. The guiderail is disconnected from the posts near the end treatments. Impact damage at the southwest end treatment. Abrasion with light corrosion at the southwest guiderail.			
Recommended Work:		☒ Rehab ☐ Replace	Maintenance Needs:
☐ Urgent	☐ 1 Year	☒ 1-5 Years ☐ 6-10 Years	18
			☐ Urgent ☐ 1 year ☐ 2 Year
Comments: Replace damaged rail sections. Reinstate sagging guiderail. Connect guiderail to posts.			Comments:

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Warped C-channel 	Photo 2: Impact damage near southeast end treatment 
Photo 3: Small tears, abrasion, and denting at northeast guiderail 	Photo 4: Southwest guiderail sagging and disconnected from posts 

Element Data

Element Group:	Approach	Length:	14.5			
Element Name:	Curb and Gutters	Width:				
Location:	All quadrants	Height:				
Material:	Cast-in-place concrete	Count:	4			
Element Type:		Total Quantity:	58			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m	0	46	6	6	10,03
Comments: Debris accumulation and abrasion at curbs. Light spalling due to impact damage and a removed curb section at southeast curb. Settlement with significant elevation difference beyond approach slabs. Curbs should be monitored for continuous settlement.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☒ 6-10 Years		none				
		☐ Urgent ☒ 1 year ☐ 2 Year				
Comments: Replace damaged curbs.				Comments: Monitor settlement.		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Abrasion damage 	Photo 2: Light spall 
Photo 3: Broken curb section 	Photo 4: Settlement with significant elevation difference 

Element Data

Element Group:	Approach	Length:	
Element Name:	Drainage System	Width:	
Location:	NE/SW/SE Approach	Height:	
Material:	Cast-in-place concrete	Count:	3
Element Type:		Total Quantity:	3
Environment:	Severe	Limited Inspection	☐ Yes ☒ No
Protection System:			
Condition Data:	Units	Exc.	Good
	each	0	3
			Fair
			0
			Poor*
			0
Perform. Deficiencies			
none			
Comments: 3 concrete spillways. Removed curb section acting as improvised spillway. Some water does not reach the spillways due to the curb settlement. Debris accumulation at the southeast spillway.			
Recommended Work:	☐ Rehab	☐ Replace	Maintenance Needs:
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years
			none
Comments:			☐ Urgent ☐ 1 year ☐ 2 Year
			Comments:
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Southwest spillway		Photo 2: Debris at southeast spillway	
			

Element Data

Element Group:	Approach	Length:	6
Element Name:	Wearing Surface	Width:	8.5
Location:	East and West	Height:	
Material:	Asphalt	Count:	2
Element Type:	N/A	Total Quantity:	102
Environment:	Severe	Limited Inspection	☐ Yes ☒ No
Protection System:	N/A	Perform. Deficiencies	
Condition Data:	Units m2	Exc. 0	Good 90
			Fair 8
			Poor* 4
Comments: Light wear of the approach wearing surface. Small longitudinal crack at the east approach. Light cracks around crack seals at the approach joints. Light raveling at the center of the approaches. Settlement at the west approach has produced a lip at the north shoulder. Abrasion at the north end of the west approach.			
Recommended Work:	☒ Rehab ☐ Replace	Maintenance Needs:	15
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☒ 6-10 Years		☐ Urgent ☒ 1 year ☐ 2 Year	
Comments: Regrade, level, compact, and repave settled areas.		Comments: Rout and seal cracks.	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Light wear of approach wearing surface		Photo 2: Crack forming around crack seal at east approach slab-deck joint	
			
Photo 3: Light raveling at east approach		Photo 4: Lip at northwest shoulder from settlement	
			

Element Data

Element Group:	Barrier	Length:	31.6			
Element Name:	Barrier/Parapet Walls	Width:				
Location:	Interior parapet, N/S edges of deck	Height:	1.1			
Material:	Cast-in-place concrete	Count:	2			
Element Type:	N/A	Total Quantity:	69.52			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	63.02	6	0.5	none
Comments: Moderate spall at northeast and southwest parapet. Light abrasion at the top interior parapet corner. 13 medium full-height vertical cracks with AAR and 2 hairline cracks with AAR at the north parapet. Light scaling at the parapet bases. Small sections of hairline map cracking with AAR. 12 medium full-height vertical cracks with AAR at the south parapet.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
				☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Moderate spall at northeast corner 	Photo 2: Abrasion at top interior parapet corner 
Photo 3: Full-height medium vertical crack with AAR 	Photo 4: Light scaling at parapet base 

Element Data

Element Group:	Barrier	Length:	31.6
Element Name:	Barrier/Parapet Walls	Width:	
Location:	Exterior parapet, N/S deck	Height:	0.85
Material:	Cast-in-place concrete	Count:	2
Element Type:	N/A	Total Quantity:	53.72
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No
Protection System:	N/A	Perform. Deficiencies	
Condition Data:	Units m2	Exc. 0	Good 51.72
			Fair 2
			Poor* 0
Comments: 2 medium vertical cracks and map cracking at the east end of the south exterior parapet. 3 narrow cracks with AAR at the east end of the north exterior parapet. 3 sections of hairline vertical and map cracking with AAR, and water staining at west end of south exterior parapet. 2 narrow vertical cracks with AAR and water staining at the west end of the north exterior parapet.			
Recommended Work:	☐ Rehab ☐ Replace	Maintenance Needs:	none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments:		Comments:	

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Southeast exterior parapet 	Photo 2: Northeast exterior parapet 
Photo 3: Southwest exterior parapet 	

Element Data

Element Group:	Barrier	Length:	29.6
Element Name:	Hand Railings	Width:	
Location:	Top of parapet	Height:	
Material:	Steel	Count:	2
Element Type:	60mm pipe	Total Quantity:	59.2
Environment:	Severe	Limited Inspection	☐ Yes ☒ No
Protection System:			
Condition Data:	Units	Exc.	Good
	m	0	52.2
			Fair
			4
			Poor*
			3
			Perform. Deficiencies
			none
Comments: 3 handrail supports are damaged. 4 posts are not fastened to handrail.			
Recommended Work:	☒ Rehab ☐ Replace	Maintenance Needs:	none
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments: Replace damaged handrail supports.		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Damaged support		Photo 2: Support not fastened to handrail	
			
Photo 3: North handrail		Photo 4: South handrail	
			

Element Data

Element Group:	Beams/Main Longitudinal Element	Length:	0.1			
Element Name:	Diaphragms (Intermediate)	Width:	2.5			
Location:	Between girders	Height:	0.46			
Material:	Steel	Count:	12			
Element Type:	C-channel	Total Quantity:	12			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:					Perform. Deficiencies	
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	0	12	0	0	none
Comments: Diaphragm bottom flanges. Light flaking of the ACR patina.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs: none		
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Diaphragm						
						

Element Data

Element Group:	Beams/Main Longitudinal Element	Length:	22.6			
Element Name:	Girders (i)	Width:	0.3			
Location:	Beneath deck	Height:	1			
Material:	Steel	Count:	4			
Element Type:	I-section	Total Quantity:	262.16			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	0	262.16	0	0	none
Comments: Light pitting throughout the girders. Slight deflection noted. ACR patina is in good condition.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs: none		
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year				
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Girders				Photo 2: ACR patina		
						
Photo 3: Light pitting				Photo 4: Epoxied girder ends		
						

Element Data

Element Group:	Coating	Length:				
Element Name:	Structural Steel	Width:				
Location:	End diaphragms and girder ends	Height:				
Material:	Epoxy	Count:	25			
Element Type:		Total Quantity:				
Environment:	Benign	Limited Inspection ☐ Yes ☒ No				
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units m2	Exc. 0	Good 20	Fair 5	Poor* 0	
Comments: Peeling of coating at the diaphragm						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: East end girder coating						
						

Element Data

Element Group:	Deck	Length:	25.6
Element Name:	Deck Top (Thin Slab)	Width:	9
Location:	Above girders	Height:	
Material:	Cast-in-place concrete	Count:	
Element Type:	N/A	Total Quantity:	230.4
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No
Protection System:			
Condition Data:	Units	Exc.	Good
	m2	0	225.4
			Fair
			5
			Poor*
			0
Perform. Deficiencies			
none			
Comments: Limited inspection of deck due to wearing surface. Condition based on wearing surface and soffit.			
Recommended Work:		☐ Rehab	☐ Replace
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years
Comments:		Maintenance Needs:	none
		☐ Urgent	☐ 1 year ☐ 2 Year
		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Deck			
			

Element Data

Element Group:	Deck	Length:	22.6			
Element Name:	Soffit - Thin Slabs (Exterior)	Width:	1.8			
Location:		Height:				
Material:		Count:				
Element Type:		Total Quantity:	40.68			
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No			
Protection System:			Perform. Deficiencies			
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	0	38.68	2	0	none
Comments: Light pop-out at the east end of the south exterior soffit. Efflorescence, scaling, and hairline vertical cracks with AAR on the north facia.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Southeast exterior soffit 	Photo 2: Efflorescence and hairline vertical crack with AAR at east end of north facia 
Photo 3: North facia 	

Element Data

Element Group:	Deck	Length:	22.6			
Element Name:	Soffit - Thin Slabs (Interior)	Width:	9			
Location:	Underside of deck	Height:				
Material:	Cast-in-place concrete	Count:				
Element Type:	N/A	Total Quantity:	203.4			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	200	3.4	0	none
Comments: Hairline longitudinal and transverse cracks at the east end of the interior soffit.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
Comments:				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Hairline transverse crack				Photo 2: Hairline longitudinal crack		
						

Element Data

Element Group:	Deck	Length:	25.6
Element Name:	Wearing Surface	Width:	8.5
Location:		Height:	
Material:	Asphalt	Count:	1
Element Type:	N/A	Total Quantity:	217.6
Environment:	Severe	Limited Inspection	☐ Yes ☒ No
Protection System:	N/A	Perform. Deficiencies	
Condition Data:	Units m2	Exc. 0	Good 213.6
			Fair 4
			Poor* 0
Comments: Small sections of raveling at center and southwest end of deck. Light longitudinal and transverse cracks throughout. Cracks forming around approximately 7 sealed cracks.			
Recommended Work:	☐ Rehab ☐ Replace	Maintenance Needs:	15
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☒ 2 Year	
Comments:		Comments: Rout and seal cracks.	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Raveling at center of deck		Photo 2: Sealed and unsealed, longitudinal and transverse cracks	
			
Photo 3: Cracks around sealed cracks			
			

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Embankments	Width:				
Location:	Behind wingwalls	Height:				
Material:		Count:	4			
Element Type:	N/A	Total Quantity:	4			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	4	0	0	0	none
Comments: Excellent condition.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Southwest embankment				Photo 2: Southeast embankment		
						

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Slope Protection	Width:				
Location:	In front of abutments.	Height:				
Material:	Rip-rap	Count:	2			
Element Type:		Total Quantity:	2			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	0	2	0	0	none
Comments: Good condition.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Slope protection						
						

Element Data

Element Group:		Embankments & Streams		Length:			
Element Name:		Stream and Waterway		Width:			
Location:				Height:			
Material:				Count:		1	
Element Type:				Total Quantity:		1	
Environment:		Benign		Limited Inspection ☐ Yes ☒ No			
Protection System:		N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*		
	All	0	1	0	0	0	none
Comments: Watercourse is unobstructed.							
Recommended Work:				☐ Rehab		☐ Replace	
☐ Urgent				☐ 1 Year		☐ 1-5 Years	
				☐ 6-10 Years			
Comments:				Maintenance Needs:		none	
				☐ Urgent		☐ 1 year	
						☐ 2 Year	
Comments:							
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.							
Photo 1: Watercourse							
							

Element Data

Element Group:	Foundation	Length:				
Element Name:	Foundation (below ground level)	Width:				
Location:		Height:				
Material:		Count:	1			
Element Type:		Total Quantity:	1			
Environment:		Limited Inspection	☒ Yes ☐ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	n/a	0	1	0	0	none
Comments: No evidence of settlement of the bridge abutments, minor undermining beneath the south wingwall.						
Recommended Work:			☐ Rehab ☐ Replace		Maintenance Needs:	none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years					☐ Urgent ☐ 1 year ☐ 2 Year	
Comments:			Comments:			
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Foundation						
						

Element Data

Element Group:	Retaining Wall	Length:	13			
Element Name:	Walls	Width:				
Location:		Height:	2			
Material:	Gabion basket	Count:	3			
Element Type:		Total Quantity:	78			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2		78			none
Comments: Gabion basket retaining walls at the east and northwest embankments are in good condition. Sandbags are visible from behind the northwest retaining wall.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Sandbags visible at top of gabion basket				Photo 2: Northwest retaining wall		
						

Ontario Structure Inspection Manual – Inspection Form

MTO Site Number:

Inventory Data:

Structure Name	No. 2 - Squaw Lake Culvert		
Main Hwy/Road #	☒ On ☐ Under		Service on structure: ☐ Navig. Water ☐ Non-Navig. Water
Hwy/Road Name	Balsam Road		☐ Rail ☒ Road ☐ Ped. ☐ Other
Structure Location	4.9km North of Center Road		Service under structure: ☐ Navig. Water ☒ Non-Navig. Water ☐ Rail ☐ Road ☐ Ped. ☐ Other
Latitude	45.546578	Longitude	-79.877422
Owner(s)	Township of McKellar		
MTO Region	Northeastern	☒ Not Considered ☐ Considered / not Applied for	
MTO District	Parry Sound	☐ Listed / not Designated ☐ Designated / not Listed	
Structure Type	Pipe Arch Culvert	☐ Designated / Listed	
Total Deck Length	(m)	Road Class:	Freeway ☐ Arterial ☐ Collector ☐ Local ☒
Overall Str. Width	(m)	Posted Speed (km/h)	60 No. of Lanes 2
Culvert Length	14.2 (m)	AADT	% Trucks
Culvert Width	6.6 (m)	Special Routes:	☐ Transit ☐ Truck ☒ School ☐ Bicycle
Total Deck Area	(sq m)	Detour Length Around Bridge	29 (km)
Roadway Width	7.2 (m)	Direction of Structure	East-West
Skew Angle	(Degrees)	Fill on Structure	1.1 (m)
No. of Spans	1		
Span Lengths	6.6 (m)		

Historical Data:

Year Built	1982 ☐ Unknown	Year of Last Major Rehab	☒ Unknown
Last OSIM Inspection	September 9, 2023 ☐ Unknown	Last Evaluation	☒ Unknown
Last Enhanced OSIM Inspection	☐ Unknown	Current Load Limit	(tonnes)
Enhanced Access Equipment (ladder, boat, lift, etc.)			
Last Underwater Inspection	Unknown		
Last Condition Survey	☒ Unknown		

Rehab History (date/description): New guiderail was installed in 2018, obstructions from the watercourse have been removed since the previous inspection. Asphalt wearing surface has been repaved since previous inspection.

Scheduled Improvements:	
Regional Priority Number	Programmed Work Year
Nature of Program Work:	

Appraisal Indices:		Comments
Fatigue		
Seismic		
Scour		
Flood		
Geometrics		
Barrier		
Curb		
Load Capacity		

Field Inspection Information:	
Date of Inspection:	July 23, 2025
Type of Inspection:	☒ OSIM ☐ Enhanced OSIM
Inspector:	George Harper EIT
Others in Party:	Jeremy Longhurst ET
Access Equipment Used:	Camera, hammer, tape measure.
Weather:	Sunny
Temperature (°C):	25

Additional Investigations Required:	Priority		
	None	Normal	Urgent
Material Conditions Survey			
Detailed Deck Condition Survey:	☒	☐	☐
Non-destructive Delamination Survey of Asphalt-Covered Deck:	☒	☐	☐
Concrete Substructure Condition Survey:	☒	☐	☐
Detailed Coating Condition Survey:	☒	☐	☐
Detailed Timber Investigation:	☒	☐	☐
Post-Tensioned Strand Investigation:	☒	☐	☐
Underwater Investigation:	☒	☐	☐
Fatigue Investigation:	☒	☐	☐
Seismic Investigation:	☒	☐	☐
Structure Evaluation:	☒	☐	☐
Monitoring			
Monitoring of Deformations, Settlements, and Movements:	☒	☐	☐
Monitoring Crack Widths:	☒	☐	☐
Monitoring _____	☒	☐	☐
Investigation Notes: No further investigation required.			

Overall Structure Notes:	
Recommended Work on Structure:	☐ None ☒ Minor Rehab. ☐ Major Rehab. ☐ Replace
Timing of Recommended Work:	☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years
Overall Comments:	This structure is in overall good condition. Concrete footing erosion should be repaired within 1 - 5 years.
Date of Next Inspection:	2027
Bridge Condition Index:	75
Bridge Sufficiency Index:	72

Suspected Performance Deficiencies

- | | | |
|--|--|--|
| 01 Load carrying capacity
02 Excessive deformations (deflections & rotations)
03 Continuing settlement
04 Continuing movements
05 Seized bearings | 06 Bearing not uniformly loaded/unstable
07 Jammed expansion joint
08 Pedestrian/vehicular hazard
09 Rough riding surface
10 Surface ponding
11 Deck drainage | 12 Slippery surfaces
13 Flooding/channel blockage
14 Undermining of foundation
15 Unstable embankments
16 Other |
|--|--|--|

Maintenance Needs

- | | | |
|---|--|---|
| 01 Lift and Swing Bridge Maintenance
02 Bridge Cleaning
03 Bridge Handrail Maintenance
04 Painting Steel Bridge Structures
05 Bridge Deck Joint Repair
06 Bridge Bearing Maintenance | 07 Repair to Structural Steel
08 Repair of Bridge Concrete
09 Repair of Bridge Timber
10 Bailey bridges - Maintenance
11 Animal/Pest Control
12 Bridge Surface Repair | 13 Erosion Control at Bridges
14 Concrete Sealing
15 Rout and Seal
16 Bridge Deck Drainage
17 Scaling (Loose Concrete or ACR Steel)
18 Other |
|---|--|---|

Repair and Rehabilitation Required			Priority				Estimated Cost
Element Group	Element Type	Repair and Rehabilitation Required	6 – 10 years	1 – 5 years	Now < 1 year	Urgent	
Abutment	Wingwalls		☐	☐	☐	☐	
Accessories (Attachments and Signs)	Signs		☐	☐	☐	☐	
Approach	Wearing Surface		☐	☐	☐	☐	
Barrier	Railing Systems		☐	☐	☐	☐	
Culvert	Barrel (Steel)		☐	☐	☐	☐	
Culvert	Inlet Component (Concrete)		☐	☐	☐	☐	
Culvert	Outlet Component (Concrete)		☐	☐	☐	☐	
Embankments & Streams	Embankments		☐	☐	☐	☐	
Embankments & Streams	Stream and Waterway		☐	☐	☐	☐	
Foundation	Foundation (below ground level)	Repair undermining and install armour plates at southwest footing.	☐	☒	☐	☐	\$30,000
Retaining Wall	Walls		☐	☐	☐	☐	
Total							\$30,000

Associated Work	Comments	Estimated Cost
Other:	Engineering (15%)	\$4,500
Contingencies:	Contingency (10%)	\$3,000
		\$7,500

Total Repair and Rehabilitation Cost	\$37,500
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Replacement Cost	\$750,000
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Maintenance Needs			Priority			Estimated Cost
Element Group	Element Type	Maintenance Items	2 Year	1 Year	Urgent	
Abutment	Wingwalls		☐	☐	☐	
Accessories(Attachments and Signs)	Signs	Straighten snowplough delineators.	☐	☒	☐	\$1,000
Approach	Wearing Surface		☐	☐	☐	
Barrier	Railing Systems	Trim vegetation	☐	☒	☐	\$1,000
Culvert	Barrel (Steel)		☐	☐	☐	
Culvert	Inlet Component (Concrete)		☐	☐	☐	
Culvert	Outlet Component (Concrete)		☐	☐	☐	
Embankments & Streams	Embankments		☐	☐	☐	
Embankments & Streams	Stream and Waterway		☐	☐	☐	
Foundation	Foundation (below ground level)		☐	☐	☐	
Retaining Wall	Walls		☐	☐	☐	
Total						\$2,000

Overall Site Photos

Photo 1: Elevation



Photo 2: Approach



Photo 3: Barrel soffit



Element Data

Element Group:	Abutment	Length:	3
Element Name:	Wingwalls	Width:	
Location:	All quadrants	Height:	3.1
Material:	Cast-in-place Concrete	Count:	4
Element Type:		Total Quantity:	37.2
Environment:	Benign	Limited Inspection	☐ Yes ☒ No
Protection System:			
Condition Data:	Units	Exc.	Good
	m2	0	36.2
			Fair
			1
			Poor*
			0
			Perform. Deficiencies
			none
Comments: Hairline cracks with AAR at southeast wingwall. Segregation and map cracking with efflorescence at northeast wingwall. Map cracking with efflorescence and AAR, and 2 sections of segregation at the southwest wingwall.			
Recommended Work:	☐ Rehab	☐ Replace	Maintenance Needs:
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years
			none
			☐ Urgent ☐ 1 year ☐ 2 Year
Comments:			Comments:
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Southeast wingwall		Photo 2: Northeast wingwall.	
			
Photo 3: Southwest wingwall		Photo 4: Northwest wingwall	
			

Element Data

Element Group:	Accessories(Attachments and Signs)	Length:				
Element Name:	Signs	Width:				
Location:		Height:				
Material:		Count:	8			
Element Type:	Hazards, Plough Delineator	Total Quantity:	8			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	0	6	2	0	none
Comments: 4 hazard signs with snowplough delineators. Snowplough delineators at the northwest and south corners are loose and twisted.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		18
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☒ 1 year ☐ 2 Year		
Comments:				Comments: Straighten snowplough delineators.		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Hazard sign and twisted snowplough delineator			Photo 2: Hazard sign and snowplough delineator			
						

Element Data

Element Group:	Approach	Length:	18			
Element Name:	Wearing Surface	Width:	7.2			
Location:	Travelled way	Height:				
Material:	Asphalt	Count:	1			
Element Type:	N/A	Total Quantity:	129.6			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	129.6	0	0	0	none
Comments: Wearing surface was repaved recently. Excellent condition.						
Recommended Work:				Maintenance Needs:		
☐ Rehab ☐ Replace ☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Wearing surface						
						

Element Data

Element Group:	Barrier	Length:	56			
Element Name:	Railing Systems	Width:				
Location:	North and South	Height:				
Material:	Steel	Count:	2			
Element Type:	SBGR	Total Quantity:	112			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m	0	104	8	0	none
Comments: Guiderail is low near all end treatments. Dents at east end of south guiderail. Vegetation growth throughout.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		18
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☒ 1 year ☐ 2 Year		
Comments:				Comments: Trim vegetation		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Low guiderail				Photo 2: Dents in east end of south guiderail		
						

Element Data

Element Group:	Culvert	Length:	6.6
Element Name:	Barrel (Steel)	Width:	14.2
Location:		Height:	
Material:	Steel	Count:	1
Element Type:	Corrugated plate steel	Total Quantity:	294.43
Environment:	Benign	Limited Inspection	☒ Yes ☐ No
Protection System:	Galvanization	Perform. Deficiencies	
Condition Data:	Units	Exc.	Good
	m2	0	288.43
			Fair
			3
			Poor*
			0
Comments: Moderate corrosion at the base of the barrel. Water leaching through the bolt holes at the east base of the barrel. Oxidization around boltss at the south end of the barrel.			
Recommended Work:	☐ Rehab	☐ Replace	Maintenance Needs:
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years
Comments:			Comments:
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: West side of barrel		Photo 2: Top of barrel	
			
Photo 3: Light corrosion at barrel base and leaching water at east barrel			
			

Element Data

Element Group:	Culvert	Length:	6.6			
Element Name:	Inlet Component (Concrete)	Width:	0.6			
Location:	North barrel	Height:	3.1			
Material:	Cast-in-place concrete	Count:	1			
Element Type:		Total Quantity:	7.68			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	7.68	0	0	none
Comments: Hairline map cracking with AAR at inlet headwall.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Map cracking with AAR at inlet						
						

Element Data

Element Group:	Culvert	Length:	6.6			
Element Name:	Outlet Component (Concrete)	Width:	0.6			
Location:		Height:	3.1			
Material:	Cast-in-place Concrete	Count:	1			
Element Type:		Total Quantity:	7.68			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	7.68	0	0	none
Comments: Light pop-out at the east end of the outlet headwall.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
Comments:				☐ Urgent ☐ 1 year ☐ 2 Year		
				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Pop-out at outlet						
						

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Embankments	Width:				
Location:	All quadrants	Height:				
Material:		Count:	4			
Element Type:		Total Quantity:	4			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	0	4	0	0	none
Comments: Limited inspection due to vegetation.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Stream and Waterway	Width:				
Location:		Height:				
Material:		Count:	1			
Element Type:		Total Quantity:	1			
Environment:			Limited Inspection ☐ Yes ☒ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	All	1	0	0	0	none
Comments: Watercourse is unobstructed. Obstructions were removed since the last inspection. Excellent condition.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		none
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Watercourse						
						

Element Data

Element Group:	Foundation	Length:				
Element Name:	Foundation (below ground level)	Width:				
Location:	Concrete footing	Height:				
Material:	Cast-in-place concrete	Count:	1			
Element Type:		Total Quantity:	1			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	n/a	0	0	1	0	14
Comments: Erosion of the footing beneath the barrel. Undermining at southeast wingwall where channel narrows. Medium-wide vertical cracks at footing.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		18
☐ Urgent	☐ 1 Year	☒ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments: Repair undermining and install armour plates at southwest footing.				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Water flowing beneath footing			Photo 2: Erosion of footing			
						
Photo 3: Medium-wide vertical cracks in footing						
						

Element Data

Element Group:	Retaining Wall	Length:	5			
Element Name:	Walls	Width:				
Location:	West embankments	Height:	2.3			
Material:		Count:	2			
Element Type:	Gabion basket	Total Quantity:	23			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	0	23	0	0	none
Comments: Good condition.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
				☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Northwest retaining wall				Photo 2: Southwest retaining wall		
						

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MTO Site Number:

Inventory Data:

Structure Name	No. 3 - Grey Owl Bridge		
Main Hwy/Road #	On ☒ Under ☐	Service on structure:	☐ Navig. Water ☐ Non-Navig. Water ☐ Rail ☒ Road ☐ Ped. ☐ Other
Hwy/Road Name	Grey Owl Road	Service under structure:	☒ Navig. Water ☐ Non-Navig. Water ☐ Rail ☐ Road ☐ Ped. ☐ Other
Structure Location	2.4km west of Hwy 124		
Latitude	45.528652	Longitude	-79.945102
Owner(s)	Township of McKellar	Heritage Designation:	
MTO Region	Northeastern	☒ Not Considered ☐ Considered / not Applied for ☐ Listed / not Designated ☐ Designated / not Listed ☐ Designated / Listed	
MTO District	Parry Sound		
Structure Type	Slab on I-Girder (Steel)		
Total Deck Length	11 (m)	Road Class: Freeway ☐ Arterial ☐ Collector ☐ Local ☒	
Overall Str. Width	4.9 (m)	Posted Speed (km/h)	40
Culvert Length	(m)	AADT	
Culvert Width	(m)	Special Routes: ☐ Transit ☐ Truck ☐ School ☐ Bicycle	
Total Deck Area	53.9 (sq m)	Detour Length Around Bridge	(km)
Roadway Width	4.5 (m)	Direction of Structure	East-West
Skew Angle	(Degrees)	Fill on Structure	(m)
No. of Spans	1		
Span Lengths	5.9	(m)	

Historical Data:

Year Built	1984 ☐ Unknown	Year of Last Major Rehab	☒ Unknown
Last OSIM Inspection	September 28, 2023 ☐ Unknown	Last Evaluation	☒ Unknown
Last Enhanced OSIM Inspection	☒ Unknown	Current Load Limit	(tonnes)
Enhanced Access Equipment (ladder, boat, lift, etc.)			
Last Underwater Inspection	Unknown		
Last Condition Survey	☒ Unknown		

Rehab History (date/description): Approach guiderail was installed in 2016. Curbs were also replaced in 2016.

Scheduled Improvements:

Regional Priority
Number

Programmed Work
Year

Nature of Program Work:

Appraisal Indices:		Comments
Fatigue		
Seismic		
Scour		
Flood		
Geometrics		
Barrier		
Curb		
Load Capacity		

Ontario Structure Inspection Manual – Inspection Form

MTO Site Number:

Field Inspection Information:	
Date of Inspection:	July 23, 2025
Type of Inspection:	☒ OSIM ☐ Enhanced OSIM
Inspector:	George Harper EIT
Others in Party:	Jeremy Longhurst ET
Access Equipment Used:	Camera, hammer, measuring tape.
Weather:	Partial Cloudy
Temperature (°C):	15

Additional Investigations Required:	Priority		
	None	Normal	Urgent
Material Conditions Survey			
Detailed Deck Condition Survey:	☒	☐	☐
Non-destructive Delamination Survey of Asphalt-Covered Deck:	☒	☐	☐
Concrete Substructure Condition Survey:	☒	☐	☐
Detailed Coating Condition Survey:	☒	☐	☐
Detailed Timber Investigation:	☐	☒	☐
Post-Tensioned Strand Investigation:	☒	☐	☐
Underwater Investigation:	☒	☐	☐
Fatigue Investigation:	☒	☐	☐
Seismic Investigation:	☒	☐	☐
Structure Evaluation:	☐	☒	☐
Monitoring			
Monitoring of Deformations, Settlements, and Movements:	☐	☒	☐
Monitoring Crack Widths:	☒	☐	☐
Monitoring _____	☒	☐	☐
Investigation Notes: The above noted investigations should take place.			

Overall Structure Notes:	
Recommended Work on Structure:	☐ None ☐ Minor Rehab. ☒ Major Rehab. ☐ Replace
Timing of Recommended Work:	☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years
Overall Comments:	This bridge is in overall fair condition, running boards should be installed at the deck, the girders should be sandblasted and recoated, blocking should be installed at the cribs bases and undermining should be filled within 1-5 years.
Date of Next Inspection:	2027
Bridge Condition Index:	60
Bridge Sufficiency Index:	52

Suspected Performance Deficiencies

- | | | |
|--|--|--|
| 01 Load carrying capacity
02 Excessive deformations (deflections & rotations)
03 Continuing settlement
04 Continuing movements
05 Seized bearings | 06 Bearing not uniformly loaded/unstable
07 Jammed expansion joint
08 Pedestrian/vehicular hazard
09 Rough riding surface
10 Surface ponding
11 Deck drainage | 12 Slippery surfaces
13 Flooding/channel blockage
14 Undermining of foundation
15 Unstable embankments
16 Other |
|--|--|--|

Maintenance Needs

- | | | |
|---|--|---|
| 01 Lift and Swing Bridge Maintenance
02 Bridge Cleaning
03 Bridge Handrail Maintenance
04 Painting Steel Bridge Structures
05 Bridge Deck Joint Repair
06 Bridge Bearing Maintenance | 07 Repair to Structural Steel
08 Repair of Bridge Concrete
09 Repair of Bridge Timber
10 Bailey bridges - Maintenance
11 Animal/Pest Control
12 Bridge Surface Repair | 13 Erosion Control at Bridges
14 Concrete Sealing
15 Rout and Seal
16 Bridge Deck Drainage
17 Scaling (Loose Concrete or ACR Steel)
18 Other |
|---|--|---|

Repair and Rehabilitation Required			Priority				Estimated Cost
Element Group	Element Type	Repair and Rehabilitation Required	6 – 10 years	1 – 5 years	Now < 1 year	Urgent	
Abutment	Abutment Walls	Fill abutment cribs with ballast material and re-level abutments. Replace rotten crib sections. Add blocking next to the rotting timber ends.	☐	☒	☐	☐	\$50,000
Abutment	Wingwalls	Fill undermining.	☐	☒	☐	☐	\$15,000
Accessories (Attachments and Signs)	Signs		☐	☐	☐	☐	
Approach	Barriers	Replace damaged guiderail sections.	☐	☒	☐	☐	\$10,000
Approach	Drainage System		☐	☐	☐	☐	
Approach	Wearing Surface		☐	☐	☐	☐	
Barrier	Posts		☐	☐	☐	☐	
Barrier	Railing Systems	Replace damaged guiderail sections.	☐	☒	☐	☐	\$10,000
Beams/Main Longitudinal Element	Girders (i)	Sandblast and repaint.	☐	☒	☐	☐	\$80,000
Deck	Deck Top (Thin Slab)	Install running board wearing surfaces. Replace 0.5m at each end of the deck.	☐	☒	☐	☐	\$40,000
Deck	Soffit - Thin Slabs (Interior)		☐	☐	☐	☐	
Embankments & Streams	Embankments		☐	☐	☐	☐	
Embankments & Streams	Slope Protection		☐	☐	☐	☐	
Embankments & Streams	Stream and Waterway		☐	☐	☐	☐	
Foundation	Foundation (below ground level)	Fill undermining and re-level abutments.	☐	☒	☐	☐	\$30,000
Retaining Wall	Walls	Replace damaged northwest gabion baskets.	☐	☒	☐	☐	\$15,000
Sidewalk/Curb	Curbs		☐	☐	☐	☐	
Total							\$250,000

Associated Work	Comments	Estimated Cost
Other:	Engineering (15%)	\$37,500
Contingencies:	Contingency (10%)	\$25,000
Total Cost		\$62,500

Total Repair and Rehabilitation Cost	\$312,500
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Replacement Cost	\$1,400,000
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Maintenance Needs			Priority			Estimated Cost
Element Group	Element Type	Maintenance Items	2 Year	1 Year	Urgent	
Abutment	Abutment Walls	Monitor for movement between the top of abutment wall, bearing, and girders.	☐	☒	☐	\$1,000
Abutment	Wingwalls		☐	☐	☐	
Accessories (Attachments and Signs)	Signs	Install snowplough delineators.	☐	☐	☒	\$2,000
Approach	Barriers		☐	☐	☐	
Approach	Drainage System	Remove debris from spillway.	☐	☒	☐	\$500
Approach	Wearing Surface	Fill potholes. regrade approaches. Add fill to meet future running boards.	☐	☒	☐	\$3,000
Barrier	Posts		☐	☐	☐	
Barrier	Railing Systems		☐	☐	☐	
Beams/Main Longitudinal Element	Girders (i)		☐	☐	☐	
Deck	Deck Top (Thin Slab)	Remove debris from bridge.	☐	☐	☒	\$2,000
Deck	Soffit - Thin Slabs (Interior)		☐	☐	☐	
Embankments & Streams	Embankments		☐	☐	☐	
Embankments & Streams	Slope Protection		☐	☐	☐	
Embankments & Streams	Stream and Waterway		☐	☐	☐	
Foundation	Foundation (below ground level)		☐	☐	☐	
Retaining Wall	Walls		☐	☐	☐	
Sidewalk/Curb	Curbs		☐	☐	☐	
Total						\$8,500

Overall Site Photos

Photo 1: Elevation



Photo 2: Approach



Photo 3: Soffit



Element Data

Element Group:	Abutment	Length:	
Element Name:	Abutment Walls	Width:	4.9
Location:	East and West	Height:	2.4
Material:	Timber	Count:	2
Element Type:	8x8 timber crib	Total Quantity:	23.52
Environment:	Benign	Limited Inspection	☐ Yes ☒ No
Protection System:			
Condition Data:	Units	Exc.	Good
	m2	0	16.52
			Fair
			5
			Poor*
			2
			Perform. Deficiencies
			14,03
Comments: Very severe soft rot with section loss in southwest and north crib timbers below the waterline. Light to medium splits, checks, and shakes in the crib timbers. Abutment cribs are only approximately 30% full. Moderate to severe sections of undermining at the west crib corners. Gap between the crib top and the girders at the front of the west abutment.			
Recommended Work:		☒ Rehab ☐ Replace	Maintenance Needs:
☐ Urgent	☐ 1 Year	☒ 1-5 Years ☐ 6-10 Years	18
			☐ Urgent ☒ 1 year ☐ 2 Year
Comments: Fill abutment cribs with ballast material and re-level abutments. Replace rotten crib sections. Add blocking next to the rotting timber ends.			Comments: Monitor for movement between the top of abutment wall bearing and girders.
* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.			
Photo 1: Very severe soft rot below the waterline at the south end of the west abutment wall		Photo 2: End checks, splits, and shakes	
			
Photo 3: Gap between top of abutment wall and girders		Photo 4: East abutment	
			

Element Data

Element Group:	Abutment	Length:	1.7			
Element Name:	Wingwalls	Width:				
Location:	All quadrants	Height:	2.4			
Material:	Timber	Count:	4			
Element Type:	8x8 timber crib	Total Quantity:	16.32			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:			Perform. Deficiencies			
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	0	15.32	0.5	0.5	14
Comments: 3 moderate checks and 4 moderate splits at southwest wingwall. Shakes at timber ends with a small area of section loss at the northwest wingwall. Light splits and checks at the wingwalls. Undermining at the wingwall corners.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		18
☐ Urgent	☐ 1 Year	☒ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments: Fill undermining.				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Checks in wingwall 	Photo 2: End checks, splits, and shakes 
Photo 3: Undermining at southwest wingwall 	Photo 4: Northwest wingwall 

Element Data

Element Group:	Accessories(Attachments and Signs)	Length:	
Element Name:	Signs	Width:	
Location:	Approaches	Height:	
Material:	Steel	Count:	6
Element Type:	Hazard, Slow No Wake Zone.	Total Quantity:	6
Environment:	Severe	Limited Inspection	☐ Yes ☒ No
Protection System:			
Condition Data:	Units	Exc.	Good
	each	0	6
			Fair
			0
			Poor*
			0
			Perform. Deficiencies
			none
Comments: 4 hazard signs, no snowplough delineators installed, 2 "Slow, No Wake" signs installed on east wingwalls. The coating is scraped at the southwest hazard sign. Map cracking in paint at the southeast hazard. Impact damage to the northeast hazard.			
Recommended Work:	☐ Rehab	☐ Replace	Maintenance Needs: 18
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☒ Urgent ☐ 1 year ☐ 2 Year
Comments:	Comments: Install snowplough delineators.		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Scraping at southwest hazard 	Photo 2: Southeast hazard 
Photo 3: "Slow No Wake" sign 	

Element Data

Element Group:	Approach	Length:	16						
Element Name:	Barriers	Width:							
Location:	All quadrants	Height:							
Material:	Steel	Count:	4						
Element Type:	SBGR	Total Quantity:	64						
Environment:	Severe	Limited Inspection	☐ Yes ☒ No						
Protection System:						Perform. Deficiencies			
Condition Data:	Units	Exc.	Good	Fair	Poor*				
	m	0	56	5	3	none,02			
Comments: Crack in the east end of the southeast guiderail. Impact damage at the southwest guiderail. Very light abrasion of the south and northeast guiderails. Abrasion with light corrosion at the west end of the southwest guiderail.									
Recommended Work:	☐ Rehab	☒ Replace	Maintenance Needs:		18				
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☒ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year			
Comments: Replace damaged guiderail sections.				Comments:					
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.									
Photo 1: Crack in southeast guiderail.			Photo 2: impact damage and light abrasion.						
									
Photo 3: Light corrosion at west end of southwest guiderail									
									

Element Data

Element Group:	Approach	Length:				
Element Name:	Drainage System	Width:				
Location:	Northwest deck corner.	Height:				
Material:	Asphalt	Count:	1			
Element Type:	Spillway	Total Quantity:	1			
Environment:	Severe	Limited Inspection ☐ Yes ☒ No				
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units each	Exc. 0	Good 0	Fair 1	Poor* 0	
Comments: Sand debris accumulation at asphalt spillway.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		02
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☒ 1 year ☐ 2 Year		
Comments:				Comments: Remove debris from spillway.		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Spillway						
						

Element Data

Element Group:	Approach	Length:	6			
Element Name:	Wearing Surface	Width:	4.5			
Location:	East and West	Height:				
Material:	Gravel	Count:	2			
Element Type:	N/A	Total Quantity:	54			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A	Perform. Deficiencies				
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	0	51	2	1	10
Comments: Debris accumulation at the shoulders. Small potholes are forming at the south shoulders. Depression from the deck wearing surface has created a shallow lip at the joint on approach.						
Recommended Work:	☐ Rehab	☐ Replace	Maintenance Needs:		18	
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent	☒ 1 year	☐ 2 Year
Comments:				Comments: Fill potholes. regrade approaches. Add fill to meet future running boards.		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Potholes 	Photo 2: Debris accumulation at shoulders 
Photo 3: Lip forming at east end of deck 	

Element Data

Element Group:	Barrier	Length:	
Element Name:	Posts	Width:	
Location:	N/S edges of deck	Height:	
Material:	Steel	Count:	12
Element Type:	HSS	Total Quantity:	12
Environment:	Severe	Limited Inspection	☐ Yes ☒ No
Protection System:			Perform. Deficiencies
Condition Data:	Units each	Exc. 0	Good 12
			Fair 0
			Poor* 0
Comments: Good condition.			

Recommended Work:	☐ Rehab	☐ Replace	Maintenance Needs:	none
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent ☐ 1 year ☐ 2 Year
Comments:			Comments:	

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: North posts

Element Data

Element Group:	Barrier	Length:	11			
Element Name:	Railing Systems	Width:				
Location:	N/S edges of deck	Height:				
Material:	Steel	Count:	2			
Element Type:	SBGR	Total Quantity:	22			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:			Perform. Deficiencies			
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m	0	10	5	7	none
Comments: Impact damage and light abrasion at both guiderails. Stop-blocks are beginning to twist. Brown rot in stop-blocks.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☒ 1-5 Years	☐ 6-10 Years	none		
Comments: Replace damaged guiderail sections.				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Impact damage and abrasion at north guiderail 	Photo 2: Impact damage at the southwest railing 
Photo 3: Brown rot in stopblocks 	

Element Data

Element Group:	Beams/Main Longitudinal Element	Length:	11
Element Name:	Girders (i)	Width:	0.31
Location:	Beneath deck	Height:	0.31
Material:	Steel	Count:	7
Element Type:	I-section	Total Quantity:	119.35
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No
Protection System:	ACR steel	Perform. Deficiencies	
Condition Data:	Units	Exc.	Good
	m2	0	64.35
			Fair
			35
			Poor*
			20
Comments: Medium to severe corrosion throughout the girders. Severe section loss at the top flanges. Medium corrosion and patina flaking at the bottom flanges and web. Severe corrosion and failure of the bolts in the top flange/deck connection. Girder corrosion is more prevelant at the interior girders and girder ends. A structural evaluation is recommended to evaluate the capacity of the girders in the areas of severe section loss.			
Recommended Work:	☒ Rehab ☐ Replace	Maintenance Needs:	none
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments: Sandblast and repaint.		Comments:	

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Severe section loss at top of top flange 	Photo 2: Flaking of the patina on web and section loss at top flange 
Photo 3: Shear failure at bolt hole 	

Element Data

Element Group:	Deck	Length:	11			
Element Name:	Deck Top (Thin Slab)	Width:	4.5			
Location:		Height:				
Material:	Timber	Count:				
Element Type:	2x6 laminated timber	Total Quantity:	49.5			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	19	22	8.5	none
Comments: Severe crushing causing depressions at wheel tracks in the deck. Light to medium abrasion and wear. Gravel debris accumulation on the surface. Laminations have separated at the west end of the deck and have accumulated debris. Severe decay of approximately 8 laminated boards.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs: 02,12		
☐ Urgent	☐ 1 Year	☒ 1-5 Years	☐ 6-10 Years	☒ Urgent	☐ 1 year	☐ 2 Year
Comments: Install running board wearing surfaces. Replace 0.5m at each end of the deck.				Comments: Remove debris from bridge.		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Debris accumulation and crushing at wheel tracks 	Photo 2: Light to medium abrasion and wear 
Photo 3: Severe decay in members 	Photo 4: Separated laminations 

Element Data

Element Group:	Deck	Length:	11
Element Name:	Soffit - Thin Slabs (Interior)	Width:	4.9
Location:	Underside of deck	Height:	
Material:	Timber	Count:	
Element Type:	Laminated 2x6 timber	Total Quantity:	53.9
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No
Protection System:			
Condition Data:	Units	Exc.	Good
	m2	0	53.9
			Fair
			0
			Poor*
			0
Perform. Deficiencies			
none			
Comments: Water staining on the soffit. No signs of depression/deflection as shown on the deck top portion.			
Recommended Work:		☐ Rehab	☐ Replace
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years
Comments:		Maintenance Needs:	none
		☐ Urgent	☐ 1 year ☐ 2 Year
		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Water staining on soffit			
			

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Embankments	Width:				
Location:	All quadrants	Height:				
Material:		Count:	4			
Element Type:		Total Quantity:	4			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	0	4	0	0	none
Comments: Embankments are in good condition.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Southwest embankment			Photo 2: Southeast embankment			
						

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Slope Protection	Width:				
Location:	East embankments	Height:				
Material:	Armour stone	Count:	2			
Element Type:		Total Quantity:	2			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	0	2	0	0	none
Comments: Slope protection on east embankments in good condition.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
				☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Armour stone slope protection.						
						

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Stream and Waterway	Width:				
Location:		Height:				
Material:		Count:	1			
Element Type:		Total Quantity:	1			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	All	0	1	0	0	none
Comments: Watercourse is unobstructed.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Watercourse under bridge						
						

Element Data

Element Group:	Foundation	Length:				
Element Name:	Foundation (below ground level)	Width:				
Location:		Height:				
Material:		Count:	1			
Element Type:		Total Quantity:	1			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	n/a	0	0	1	0	14
Comments: Undermining at the front of the crib abutments.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		18
☐ Urgent ☐ 1 Year		☒ 1-5 Years	☐ 6-10 Years	☐ Urgent ☐ 1 year ☐ 2 Year		
Comments: Fill undermining and re-level abutments.				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Underming at south end of west abutment						
						

Element Data

Element Group:	Retaining Wall	Length:	4.8			
Element Name:	Walls	Width:				
Location:	Embankments	Height:	2.4			
Material:		Count:	4			
Element Type:	Gabion basket	Total Quantity:	46.08			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	30.08	8	8	14
Comments: Very severe corrosion of the fencing with 100% section loss and rock spilling at the base of the northwest cage. The northwest gabion basket base is bowing. Light corrosion at northeast bottom gabion basket.						
Recommended Work:		☐ Rehab ☒ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments: Replace damaged northwest gabion baskets.				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.						
Photo 1: Very severe corrosion and rock spilling at northwest gabion basket				Photo 2: northwest bottom gabion basket bowing		
						
Photo 3: North end of bowing retaining wall				Photo 4: Light corrosion at northeast bottom gabion basket		
						

Element Data

Element Group:	Sidewalk/Curb	Length:	11
Element Name:	Curbs	Width:	0.19
Location:	N/S edges of deck	Height:	0.21
Material:	Timber	Count:	2
Element Type:	8x8 timber	Total Quantity:	8.8
Environment:	Severe	Limited Inspection	☐ Yes ☒ No
Protection System:			
Condition Data:	Units	Exc.	Good
	m2	0	8.8
			Fair
			0
			Poor*
			0
			Perform. Deficiencies
			none
Comments: Light to medium checks and splits throughout the curbs. Sand debris accumulation in the curb joints and checks. Light splintering at the west end of the north curb.			
Recommended Work:		Maintenance Needs:	
☐ Rehab ☐ Replace ☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years		none ☐ Urgent ☐ 1 year ☐ 2 Year	
Comments:		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Light to medium checks and splits 		Photo 2: Debris accumulation in check 	
Photo 3: Debris accumulation in curb joint 		Photo 4: Light splintering at west end of north curb 	

Ontario Structure Inspection Manual – Inspection Form

MTO Site Number:

Inventory Data:

Structure Name	No. 4 - Hurdville Bridge		
Main Hwy/Road #	On ☒ Under ☐	Service on structure:	☐ Navig. Water ☐ Non-Navig. Water ☐ Rail ☒ Road ☐ Ped. ☐ Other
Hwy/Road Name	Hurdville Road	Service under structure:	☐ Navig. Water ☒ Non-Navig. Water ☐ Rail ☐ Road ☐ Ped. ☐ Other
Structure Location	6.4km west of Centre Road		
Latitude	45.441321	Longitude	-79.921226
Owner(s)	Township of McKellar		
MTO Region	Northeastern	Heritage Designation: ☒ Not Considered ☐ Considered / not Applied for ☐ Listed / not Designated ☐ Designated / not Listed ☐ Designated / Listed	
MTO District	Parry Sound		
Structure Type	Concrete T-Beam		
Total Deck Length	26 (m)	Road Class: Freeway ☐ Arterial ☐ Collector ☐ Local ☒	
Overall Str. Width	5 (m)	Posted Speed (km/h)	60
Culvert Length	(m)	AADT	
Culvert Width	(m)	Special Routes: ☐ Transit ☐ Truck ☐ School ☐ Bicycle	
Total Deck Area	130 (sq m)	Detour Length Around Bridge	34.6 (km)
Roadway Width	4.2 (m)	Direction of Structure	North-South
Skew Angle	(Degrees)	Fill on Structure	(m)
No. of Spans	4		
Span Lengths	6.0, 3.2, 6.1, 6.1 (m)		

Historical Data:

Year Built	1930 ☐ Unknown	Year of Last Major Rehab	☒ Unknown
Last OSIM Inspection	September 28, 2023 ☐ Unknown	Last Evaluation	☒ Unknown
Last Enhanced OSIM Inspection	☒ Unknown	Current Load Limit	(tonnes)
Enhanced Access Equipment (ladder, boat, lift, etc.)			
Last Underwater Inspection	Unknown		
Last Condition Survey	☒ Unknown		
Rehab History (date/description): July 2025: Concrete balustrade was replaced with SBGR and concrete curb			

Scheduled Improvements:

Regional Priority
Number

Programmed Work
Year

Nature of Program Work:

Appraisal Indices:		Comments
Fatigue		
Seismic		
Scour		
Flood		
Geometrics		
Barrier		
Curb		
Load Capacity		

Field Inspection Information:	
Date of Inspection:	August 11, 2025
Type of Inspection:	☒ OSIM ☐ Enhanced OSIM
Inspector:	George Harper EIT
Others in Party:	Jeremy Longhurst ET
Access Equipment Used:	Camere, measuring tape, hammer, chain
Weather:	Sunny
Temperature (°C):	32

Additional Investigations Required:	Priority		
	None	Normal	Urgent
Material Conditions Survey			
Detailed Deck Condition Survey:	☐	☒	☐
Non-destructive Delamination Survey of Asphalt-Covered Deck:	☒	☐	☐
Concrete Substructure Condition Survey:	☐	☒	☐
Detailed Coating Condition Survey:	☒	☐	☐
Detailed Timber Investigation:	☒	☐	☐
Post-Tensioned Strand Investigation:	☒	☐	☐
Underwater Investigation:	☒	☐	☐
Fatigue Investigation:	☒	☐	☐
Seismic Investigation:	☒	☐	☐
Structure Evaluation:	☒	☐	☐
Monitoring			
Monitoring of Deformations, Settlements, and Movements:	☒	☐	☐
Monitoring Crack Widths:	☒	☐	☐
Monitoring _____	☒	☐	☐
Investigation Notes: The above noted investigations should take place.			

Overall Structure Notes:	
Recommended Work on Structure:	☐ None ☐ Minor Rehab. ☒ Major Rehab. ☐ Replace
Timing of Recommended Work:	☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years
Overall Comments:	This bridge is in overall fair condition, the substructure should go through extensive rehabilitation within the next 1-5 years.
Date of Next Inspection:	2027
Bridge Condition Index:	66
Bridge Sufficiency Index:	57

Suspected Performance Deficiencies

- | | | |
|--|--|--|
| 01 Load carrying capacity
02 Excessive deformations (deflections & rotations)
03 Continuing settlement
04 Continuing movements
05 Seized bearings | 06 Bearing not uniformly loaded/unstable
07 Jammed expansion joint
08 Pedestrian/vehicular hazard
09 Rough riding surface
10 Surface ponding
11 Deck drainage | 12 Slippery surfaces
13 Flooding/channel blockage
14 Undermining of foundation
15 Unstable embankments
16 Other |
|--|--|--|

Maintenance Needs

- | | | |
|---|--|---|
| 01 Lift and Swing Bridge Maintenance
02 Bridge Cleaning
03 Bridge Handrail Maintenance
04 Painting Steel Bridge Structures
05 Bridge Deck Joint Repair
06 Bridge Bearing Maintenance | 07 Repair to Structural Steel
08 Repair of Bridge Concrete
09 Repair of Bridge Timber
10 Bailey bridges - Maintenance
11 Animal/Pest Control
12 Bridge Surface Repair | 13 Erosion Control at Bridges
14 Concrete Sealing
15 Rout and Seal
16 Bridge Deck Drainage
17 Scaling (Loose Concrete or ACR Steel)
18 Other |
|---|--|---|

Repair and Rehabilitation Required			Priority				Estimated Cost
Element Group	Element Type	Repair and Rehabilitation Required	6 – 10 years	1 – 5 years	Now < 1 year	Urgent	
Abutment	Abutment Walls	Repair concrete defects on the abutment walls.	☐	☒	☐	☐	\$80,000
Abutment	Wingwalls	Repair concrete defects on the southwest wingwall.	☐	☒	☐	☐	\$30,000
Accessories (Attachments and Signs)	Signs		☐	☐	☐	☐	
Approach	Barriers		☐	☐	☐	☐	
Approach	Wearing Surface	Repave the approaches and install spillways at the east shoulders.	☐	☒	☐	☐	\$5,000
Barrier	Posts		☐	☐	☐	☐	
Barrier	Railing Systems		☐	☐	☐	☐	
Beams/Main Longitudinal Element	Girders (Box)	Repair concrete defects in girders.	☐	☒	☐	☐	\$30,000
Deck	Deck Top (Thin Slab)	Repair concrete deck defects.	☐	☒	☐	☐	\$15,000
Deck	Drainage System		☐	☐	☐	☐	
Deck	Soffit - Thin Slabs (Interior)	Repair concrete defects on the soffit.	☐	☒	☐	☐	\$50,000
Embankments & Streams	Embankments	Repair erosion and install slope protection at the southwest embankment.	☐	☒	☐	☐	\$15,000
Embankments & Streams	Stream and Waterway		☐	☐	☐	☐	
Foundation	Foundation (below ground level)	Repair undermining.	☐	☐	☒	☐	\$50,000
Pier	Shafts/Columns/Pile Bents (Rectangular)	Repair concrete defects and repair undermining at piers.	☐	☒	☐	☐	\$50,000
Sidewalk/Curb	Curbs		☐	☐	☐	☐	
Total							\$325,000

Associated Work	Comments	Estimated Cost
Other:	Engineering (15%)	\$48,750
Contingencies:	Contingency (10%)	\$32,500
Total Cost		\$81,250

Total Repair and Rehabilitation Cost	\$406,250
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Replacement Cost	\$3,000,000
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Maintenance Needs			Priority			Estimated Cost
Element Group	Element Type	Maintenance Items	2 Year	1 Year	Urgent	
Abutment	Abutment Walls		☐	☐	☐	
Abutment	Wingwalls		☐	☐	☐	
Accessories(Attachments and Signs)	Signs	Install snowplough delinators at guide rail ends.	☐	☒	☐	\$1,000
Approach	Barriers		☐	☐	☐	
Approach	Wearing Surface		☐	☐	☐	
Barrier	Posts		☐	☐	☐	
Barrier	Railing Systems		☐	☐	☐	
Beams/Main Longitudinal Element	Girders (Box)		☐	☐	☐	
Deck	Deck Top (Thin Slab)		☐	☐	☐	
Deck	Drainage System		☐	☐	☐	
Deck	Soffit - Thin Slabs (Interior)		☐	☐	☐	
Embankments & Streams	Embankments		☐	☐	☐	
Embankments & Streams	Stream and Waterway		☐	☐	☐	
Foundation	Foundation (below ground level)		☐	☐	☐	
Pier	Shafts/Columns/Pile Bents (Rectangular)		☐	☐	☐	
Sidewalk/Curb	Curbs		☐	☐	☐	
Total						\$1,000

Overall Site Photos

Photo 1: Elevation



Photo 2: Approach



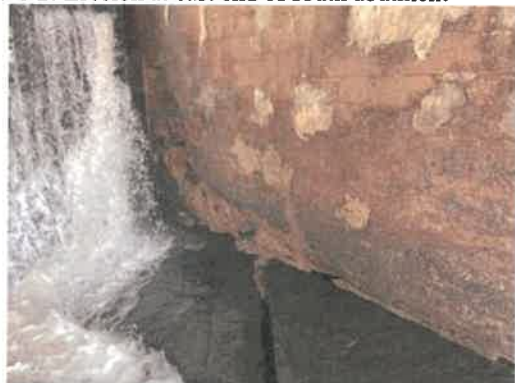
Photo 3: Soffit



Element Data

Element Group:	Abutment	Length:				
Element Name:	Abutment Walls	Width:	5			
Location:	Beneath N/S deck ends	Height:	3.5			
Material:	Cast-in-place concrete	Count:	2			
Element Type:	N/A	Total Quantity:	35			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2		23.5	7	4.5	none
Comments: Severe erosion at the east end close to the dam, medium to severe scaling, and severe spalling near the top of the south abutment. Severe delamination (1.5m), scaling, and severe erosion at east end of the north abutment. Narrow to medium map cracking at the top of the west abutment. Flowing water through a crack at the base of the north abutment. Cold joints running across the top of both abutments.						
Recommended Work:		☐ Rehab ☐ Replace ☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years		Maintenance Needs:		08
				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments: Repair concrete defects on the abutment walls.				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: South abutment 	Photo 2: Erosion at east end of south abutment 
Photo 3: North abutment 	Photo 4: Erosion at north abutment with flowing water 

Element Data

Element Group:	Abutment	Length:	4.2
Element Name:	Wingwalls	Width:	
Location:	Northwest and Southwest	Height:	3.5
Material:	Cast-in-place concrete	Count:	2
Element Type:	N/A	Total Quantity:	29.4
Environment:	Benign	Limited Inspection	☐ Yes ☒ No
Protection System:	N/A	Perform. Deficiencies	
Condition Data:	Units	Exc.	Good
	m2	0	20.9
			Fair
			4.5
			Poor*
			4
			14
Comments: Wide vertical crack with efflorescence, undermining, light scaling, and patchwork at the southwest wingwall. Wide longitudinal crack, light spalls, efflorescence, and patchwork at the northwest wingwall.			
Recommended Work:	☒ Rehab ☐ Replace	Maintenance Needs:	18
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments: Repair concrete defects on the southwest wingwall.		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Southwest wingwall		Photo 2: Undermining at southwest wingwall	
			
Photo 3: Northwest wingwall			
			

Element Data

Element Group:	Accessories(Attachments and Signs)	Length:				
Element Name:	Signs	Width:				
Location:	Approach guiderail ends	Height:				
Material:	Steel	Count:	7			
Element Type:	Hazard, damage, miscellaneous dam signage	Total Quantity:	7			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	4	3	0	0	none
Comments: Hazard signs were replaced in 2023 and are in excellent condition. Snowplough delineators are not installed. Danger sign installed on the west facia. Miscellaneous dam signage installed at the north and south approaches.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		18
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☒ 1 year ☐ 2 Year		
Comments:				Comments: Install snowplough delinators at guide rail ends.		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Hazard sign 	Photo 2: Danger sign 
Photo 3: Miscellaneous dam signage 	

Element Data

Element Group:	Approach	Length:	13.6			
Element Name:	Barriers	Width:				
Location:	All quadrants.	Height:				
Material:	Steel	Count:	4			
Element Type:	SBGR	Total Quantity:	54.4			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m	54.4	0	0	0	none
Comments: The approach guiderails were replaced in 2025 and are in excellent condition.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Southwest approach guiderail.						
						

Element Data

Element Group:	Approach	Length:	6			
Element Name:	Wearing Surface	Width:	4.2			
Location:	N/S ends of deck	Height:				
Material:	Asphalt	Count:	2			
Element Type:	N/A	Total Quantity:	50.4			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	39.4	6	5	none
Comments: Medium alligator cracking in medium wheel ruts, ravelling at shoulders, and medium longitudinal cracks at the south approach wearing surface. Wide transverse crack, abrasion, a lip with a cold patch near the joint, and ravelling near the east shoulder at the north approach.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments: Repave the approaches and install spillways at the east shoulders.				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Medium alligator cracking in wheel ruts at the south approach 				Photo 2: Ravelling at shoulders 		
Photo 3: Medium longitudinal cracks at the south approach 				Photo 4: Wide transverse crack, abrasion, and a lip with a cold patch near the joint at the north approach 		

Element Data

Element Group:	Barrier	Length:				
Element Name:	Posts	Width:				
Location:	E/W edges of deck	Height:				
Material:	Steel	Count:	30			
Element Type:	I-section	Total Quantity:	30			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:			Perform. Deficiencies			
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	30	0	0	0	none
Comments: Guiderail posts were replaced in 2025 and are in excellent condition. The west posts support a chain-link fence.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		none
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Chain-link fence attached to west posts.						
						

Element Data

Element Group:	Barrier	Length:	26			
Element Name:	Railing Systems	Width:				
Location:	E/W edges of deck	Height:				
Material:	Steel	Count:	2			
Element Type:	SBGR	Total Quantity:	52			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m	52	0	0	0	none
Comments: Barrier guiderails over the deck were replaced in July 2025 and are in excellent condition.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		none
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Guiderail over deck						
						

Element Data

Element Group:	Beams/Main Longitudinal Element	Length:	5.5
Element Name:	Girders (Box)	Width:	0.33
Location:		Height:	0.45
Material:	Cast-in-place concrete	Count:	16
Element Type:	Concrete T-Beam	Total Quantity:	108.24
Environment:	Benign	Limited Inspection	☒ Yes ☐ No
Protection System:			Perform. Deficiencies
Condition Data:	Units m2	Exc. 0	Good 98.24
			Fair 5
			Poor* 5
Comments: Medium spall with medium corroded rebar at the north end of the west face of the west interior girder in the south outer bay. Wide cracks at the soffit-girder interface. Wide diagonal crack at west face of east interior girder in south outer bay. Hairline flexure cracks in south outer bay girders. Water staining at the west interior girder in the north inner bay.			
Recommended Work:	☒ Rehab ☐ Replace	Maintenance Needs:	12
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments: Repair concrete defects in girders.		Comments:	

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Medium spall with medium corroded rebar 	Photo 2: Cracking at exterior girder 
Photo 3: Wide diagonal crack 	Photo 4: Hairline flexure crack 

Element Data

Element Group:	Deck	Length:	26			
Element Name:	Deck Top (Thin Slab)	Width:	5			
Location:	Travelled way over watercourse	Height:				
Material:	Cast-in-place concrete	Count:				
Element Type:	N/A	Total Quantity:	130			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	108.5	20	1.5	none
Comments: 0.1 sqm delamination at the west end, medium wear, abrasion at the joints, medium to wide cracks throughout the deck.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☒ 1-5 Years	☐ 6-10 Years	none		
				☐ Urgent	☐ 1 year	☐ 2 Year
Comments: Repair concrete deck defects.				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Medium delamination at north end of deck 	Photo 2: Abrasion at the joint 
Photo 3: Wear on deck 	

Element Data

Element Group:	Deck	Length:				
Element Name:	Drainage System	Width:				
Location:	E/W deck edges	Height:				
Material:	ABS	Count:	14			
Element Type:	50mm core-drilled holes with pipe inserts	Total Quantity:	14			
Environment:	Severe	Limited Inspection ☐ Yes ☒ No				
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units each	Exc. 0	Good 10	Fair 4	Poor* 0	
Comments: 4 drains are missing drain extensions.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		none
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent		☐ 1 year ☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Deck drain				Photo 2: Drain extension		
						

Element Data

Element Group:	Deck	Length:	26
Element Name:	Soffit - Thin Slabs (Interior)	Width:	5
Location:	Underside of deck	Height:	
Material:	Cast-in-place concrete	Count:	
Element Type:	N/A	Total Quantity:	130
Environment:	Benign	Limited Inspection	☒ Yes ☐ No
Protection System:			
Condition Data:	Units	Exc.	Good
	m2	0	122
			Fair
			5
			Poor*
			3
			Perform. Deficiencies
			none
Comments: 6 medium spalls with exposed rebar at the south soffit bay. Medium delamination at the north soffit bay end.			
Recommended Work:		☒ Rehab ☐ Replace	Maintenance Needs: 08
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments: Repair concrete defects on the soffit.		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Medium spalls with medium corroded rebar at south outer soffit bay		Photo 2: Medium delamination on north outer soffit bay.	
			

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Embankments	Width:				
Location:	Behind wingwalls	Height:				
Material:	Soil	Count:	2			
Element Type:	N/A	Total Quantity:	2			
Environment:	Benign	Limited Inspection ☐ Yes ☒ No				
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	0	1	0	1	none
Comments: Erosion at the southwest embankment.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		18
☐ Urgent	☐ 1 Year	☒ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments: Repair erosion and install slope protection at the southwest embankment.				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Erosion at southwest embankment.						
						

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Stream and Waterway	Width:				
Location:	Beneath deck	Height:				
Material:	Water	Count:	1			
Element Type:	River	Total Quantity:	1			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	All	0	1	0	0	none
Comments: There is a dam upstream, the waterway downstream has no obstructions.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Water leaking around stop logs.				Photo 2: Downstream of dam.		
						

Element Data

Element Group:	Foundation	Length:				
Element Name:	Foundation (below ground level)	Width:				
Location:	Beneath abutments and piers	Height:				
Material:	Bedrock	Count:	1			
Element Type:	N/A	Total Quantity:	1			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	n/a	0	0	1	0	14
Comments: Undermining and erosion beneath piers and wingwalls .						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		18
☐ Urgent	☒ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments: Repair undermining.				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Erosion and undermining at pier base						
						

Element Data

Element Group:	Pier	Length:	1.2			
Element Name:	Shafts/Columns/Pile Bents (Rectangular)	Width:	5			
Location:	Midspans of bridge	Height:	3.5			
Material:	Cast-in-place concrete	Count:	3			
Element Type:	N/A	Total Quantity:	130.2			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	84.2	30	16	14
Comments: Medium to severe erosion and undermining at bases, medium to severe scaling, light to medium corner spalls at the outer pier. Severe erosion, severe spalls, and efflorescence at the center pier. Limited inspection due to the dam.						
Recommended Work:		☒ Rehab ☐ Replace	Maintenance Needs:		14,08	
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years			☐ Urgent ☐ 1 year ☐ 2 Year			
Comments: Repair concrete defects and repair undermining at piers.			Comments:			
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Undermining and light to medium corner spalls at south outer pier 			Photo 2: North face of north outer pier 			
Photo 3: North face of center pier 						

Element Data

Element Group:	Sidewalk/Curb	Length:	26			
Element Name:	Curbs	Width:	0.27			
Location:	E/W edges of deck	Height:	0.24			
Material:	Cast-in-place concrete	Count:	2			
Element Type:	N/A	Total Quantity:	26.52			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A	Perform. Deficiencies				
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	25.58	1	0	0	none
Comments: Curbs were replaced in 2025 and are in excellent condition. Vertical hairline cracks throughout the curbs.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
				☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Curbs 	Photo 2: Hairline crack in curb 

Ontario Structure Inspection Manual – Inspection Form

MTO Site Number:

Inventory Data:

Structure Name	No. 5 - Stewart Park Bridge		
Main Hwy/Road #	On ☒ Under ☐	Service on structure:	☐ Navig. Water ☐ Non-Navig. Water ☐ Rail ☒ Road ☐ Ped. ☐ Other
Hwy/Road Name	Center Road	Service under structure:	☒ Navig. Water ☐ Non-Navig. Water ☐ Rail ☐ Road ☐ Ped. ☐ Other
Structure Location	9.8km south of Hwy 124		
Latitude	45.460472	Longitude	-79.857227
Owner(s)	Township of McKellar	Heritage Designation:	☒ Not Considered ☐ Considered / not Applied for ☐ Listed / not Designated ☐ Designated / not Listed ☐ Designated / Listed
MTO Region	Northeastern	Road Class:	Freeway ☐ Arterial ☐ Collector ☐ Local ☒
MTO District	Parry Sound	Posted Speed (km/h)	50
Structure Type	Slab on I-Girder (Concrete)	AADT	
Total Deck Length	21.6 (m)	No. of Lanes	2
Overall Str. Width	9.4 (m)	% Trucks	
Culvert Length	(m)	Special Routes:	☐ Transit ☐ Truck ☒ School ☐ Bicycle
Culvert Width	(m)	Detour Length Around Bridge	35 (km)
Total Deck Area	203.04 (sq m)	Direction of Structure	East-West
Roadway Width	8.5 (m)	Fill on Structure	(m)
Skew Angle	(Degrees)		
No. of Spans	1		
Span Lengths	20		(m)

Historical Data:

Year Built	1992 ☐ Unknown	Year of Last Major Rehab	☒ Unknown
Last OSIM Inspection	September 28, 2023 ☐ Unknown	Last Evaluation	☒ Unknown
Last Enhanced OSIM Inspection	☒ Unknown	Current Load Limit	(tonnes)
Enhanced Access Equipment (ladder, boat, lift, etc.)			
Last Underwater Inspection	Unknown		
Last Condition Survey	☒ Unknown		
Rehab History (date/description):			

Scheduled Improvements:Regional Priority
NumberProgrammed Work
Year

Nature of Program Work:

Appraisal Indices:**Comments**

Fatigue

Seismic

Scour

Flood

Geometrics

Barrier

Curb

Load Capacity

Ontario Structure Inspection Manual – Inspection Form

MTO Site Number:

Field Inspection Information:	
Date of Inspection:	July 22, 2025
Type of Inspection:	☒ OSIM ☐ Enhanced OSIM
Inspector:	George Harper EIT
Others in Party:	Jeremy Longhurst ET
Access Equipment Used:	Camera, hammer, tape measure, chain
Weather:	Sunny
Temperature (°C):	23

Additional Investigations Required:	Priority		
	None	Normal	Urgent
Material Conditions Survey			
Detailed Deck Condition Survey:	☒	☐	☐
Non-destructive Delamination Survey of Asphalt-Covered Deck:	☒	☐	☐
Concrete Substructure Condition Survey:	☒	☐	☐
Detailed Coating Condition Survey:	☒	☐	☐
Detailed Timber Investigation:	☒	☐	☐
Post-Tensioned Strand Investigation:	☒	☐	☐
Underwater Investigation:	☒	☐	☐
Fatigue Investigation:	☒	☐	☐
Seismic Investigation:	☒	☐	☐
Structure Evaluation:	☒	☐	☐
Monitoring			
Monitoring of Deformations, Settlements, and Movements:	☒	☐	☐
Monitoring Crack Widths:	☒	☐	☐
Monitoring _____	☒	☐	☐
Investigation Notes:			

Overall Structure Notes:	
Recommended Work on Structure:	☐ None ☐ Minor Rehab. ☐ Major Rehab. ☐ Replace
Timing of Recommended Work:	☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years
Overall Comments:	This structure is in overall good condition.
Date of Next Inspection:	2027
Bridge Condition Index:	75
Bridge Sufficiency Index:	71

Suspected Performance Deficiencies

- | | | |
|--|--|--|
| 01 Load carrying capacity
02 Excessive deformations (deflections & rotations)
03 Continuing settlement
04 Continuing movements
05 Seized bearings | 06 Bearing not uniformly loaded/unstable
07 Jammed expansion joint
08 Pedestrian/vehicular hazard
09 Rough riding surface
10 Surface ponding
11 Deck drainage | 12 Slippery surfaces
13 Flooding/channel blockage
14 Undermining of foundation
15 Unstable embankments
16 Other |
|--|--|--|

Maintenance Needs

- | | | |
|---|--|---|
| 01 Lift and Swing Bridge Maintenance
02 Bridge Cleaning
03 Bridge Handrail Maintenance
04 Painting Steel Bridge Structures
05 Bridge Deck Joint Repair
06 Bridge Bearing Maintenance | 07 Repair to Structural Steel
08 Repair of Bridge Concrete
09 Repair of Bridge Timber
10 Bailey bridges - Maintenance
11 Animal/Pest Control
12 Bridge Surface Repair | 13 Erosion Control at Bridges
14 Concrete Sealing
15 Rout and Seal
16 Bridge Deck Drainage
17 Sealing (Loose Concrete or ACR Steel)
18 Other |
|---|--|---|

Repair and Rehabilitation Required			Priority				Estimated Cost
Element Group	Element Type	Repair and Rehabilitation Required	6 – 10 years	1 – 5 years	Now < 1 year	Urgent	
Abutment	Abutment Walls		☐	☐	☐	☐	
Abutment	Ballast Walls		☐	☐	☐	☐	
Abutment	Bearings		☐	☐	☐	☐	
Abutment	Wingwalls		☐	☐	☐	☐	
Approach	Approach Slabs		☐	☐	☐	☐	
Approach	Barriers	Replace rotted posts.	☒	☐	☐	☐	\$5,000
Approach	Curb and Gutters		☐	☐	☐	☐	
Approach	Wearing Surface		☐	☐	☐	☐	
Barrier	Barrier/Parapet Walls	Repair spalls around armor plates.	☒	☐	☐	☐	\$20,000
Barrier	Barrier/Parapet Walls		☐	☐	☐	☐	
Barrier	Hand Railings	Replace damaged handrail posts.	☐	☒	☐	☐	\$10,000
Beams/Main Longitudinal Element	Diaphragms (Concrete) (End)		☐	☐	☐	☐	
Beams/Main Longitudinal Element	Girders (i) (End)		☐	☐	☐	☐	
Beams/Main Longitudinal Element	Girders (i) (Middle)		☐	☐	☐	☐	
Deck	Deck Top (Thin Slab)		☐	☐	☐	☐	
Deck	Drainage System		☐	☐	☐	☐	
Deck	Soffit - Thin Slabs (End)		☐	☐	☐	☐	
Deck	Soffit - Thin Slabs (Exterior)	Seal honeycombing at deck.	☐	☒	☐	☐	\$5,000
Deck	Soffit - Thin Slabs (Interior)		☐	☐	☐	☐	
Deck	Wearing Surface		☐	☐	☐	☐	
Embankments & Streams	Embankments	Install approach spillways to redirect runoff.	☐	☒	☐	☐	\$5,000
Embankments & Streams	Slope Protection		☐	☐	☐	☐	
Embankments & Streams	Stream and Waterway		☐	☐	☐	☐	
Foundation	Foundation (below ground level)		☐	☐	☐	☐	
Joint	Armouring/Retaining Devices		☐	☐	☐	☐	
Joint	Concrete End Dams		☐	☐	☐	☐	
Joint	Seal/Sealants		☐	☐	☐	☐	
Total							\$45,000

Associated Work	Comments	Estimated Cost
Other:	Engineering (15%)	\$6,750
Contingencies:	Contingency (10%)	\$4,500
Total Cost		\$11,250

Total Repair and Rehabilitation Cost	\$56,250
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Replacement Cost	\$2,500,000
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Maintenance Needs			Priority			Estimated Cost
Element Group	Element Type	Maintenance Items	2 Year	1 Year	Urgent	
Abutment	Abutment Walls		☐	☐	☐	
Abutment	Ballast Walls		☐	☐	☐	
Abutment	Bearings		☐	☐	☐	
Abutment	Wingwalls		☐	☐	☐	
Approach	Approach Slabs		☐	☐	☐	
Approach	Barriers		☐	☐	☐	
Approach	Curb and Gutters		☐	☐	☐	
Approach	Wearing Surface	Seal wide cracks at approach ends and fill erosion.	☐	☒	☐	\$3,000
Barrier	Barrier/Parapet Walls		☐	☐	☐	
Barrier	Barrier/Parapet Walls		☐	☐	☐	
Barrier	Hand Railings		☐	☐	☐	
Beams/Main Longitudinal Element	Diaphragms (Concrete) (End)		☐	☐	☐	
Beams/Main Longitudinal Element	Girders (i) (End)		☐	☐	☐	
Beams/Main Longitudinal Element	Girders (i) (Middle)		☐	☐	☐	
Deck	Deck Top (Thin Slab)		☐	☐	☐	
Deck	Drainage System		☐	☐	☐	
Deck	Soffit - Thin Slabs (End)		☐	☐	☐	
Deck	Soffit - Thin Slabs (Exterior)		☐	☐	☐	
Deck	Soffit - Thin Slabs (Interior)		☐	☐	☐	
Deck	Wearing Surface	Rout and seal cracks.	☒	☐	☐	\$3,000
Embankments & Streams	Embankments		☐	☐	☐	
Embankments & Streams	Slope Protection		☐	☐	☐	
Embankments & Streams	Stream and Waterway	Install water vessel hazard, bridge clearance, and "no wake" signage.	☒	☐	☐	\$2,000
Foundation	Foundation (below ground level)		☐	☐	☐	
Joint	Armouring/Retaining Devices		☐	☐	☐	
Joint	Concrete End Dams		☐	☐	☐	
Joint	Seal/Sealants		☐	☐	☐	
Total						\$8,000

Overall Site Photos

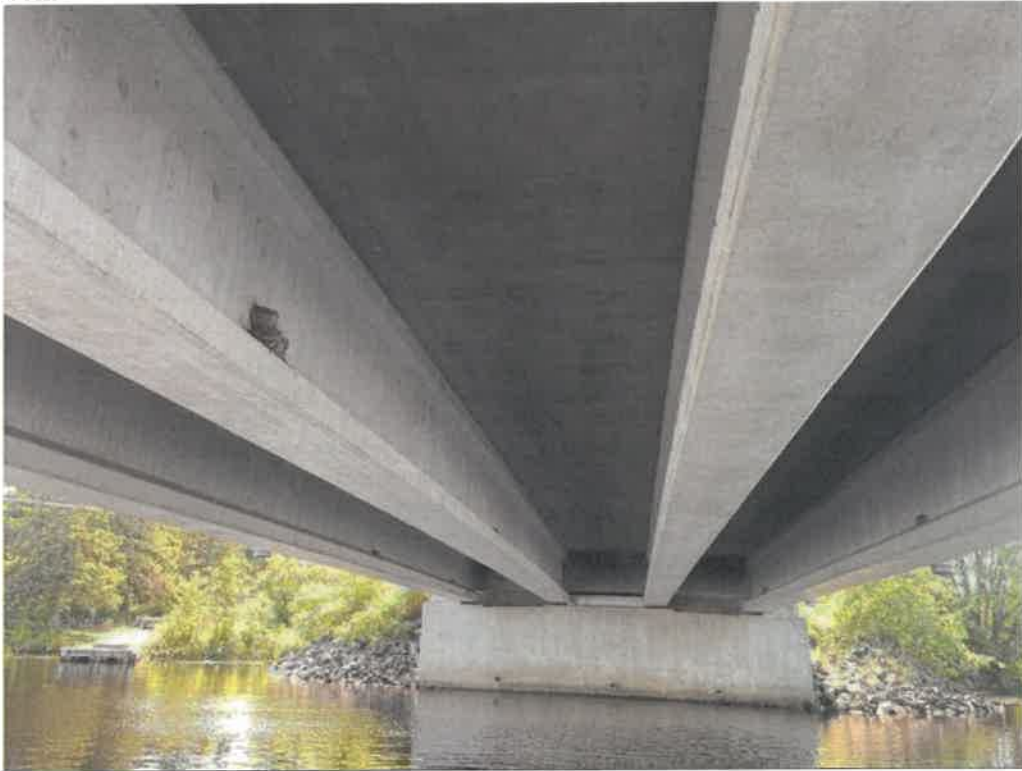
Photo 1: Elevation



Photo 2: Approach



Photo 3: Soffit



Element Data

Element Group:	Abutment	Length:				
Element Name:	Abutment Walls	Width:	9.4			
Location:		Height:	2.1			
Material:	Cast-in-place concrete	Count:	2			
Element Type:	N/A	Total Quantity:	39.48			
Environment:	Moderate	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	38.48	1	0	none
Comments: Hairline map cracking with AAR at east abutment ends. 2 light pop-outs and scaling at north end of east abutment and very light pop-out at south end of east abutment. Bug holing and bird droppings throughout. 2 narrow and 3 hairline vertical cracks at east abutment. Medium vertical crack through east abutment below north interior girder. Light pop-out at the north end of the east abutment base. Light erosion at abutment wall bases. Hairline map cracks at the south end of the west abutment. 2 medium cracks through the west abutment under the interior girders. Light spall at the top of the west abutment wall.						
Recommended Work:		☐ Rehab ☐ Replace ☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years		Maintenance Needs:		none
				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Hairline map cracking with AAR 	Photo 2: Medium vertical crack under girder 
Photo 3: Light spall at north end of east abutment base 	Photo 4: Spall at the top of the west abutment wall. 

Element Data

Element Group:	Abutment	Length:	
Element Name:	Ballast Walls	Width:	9.4
Location:	East and west	Height:	1.2
Material:	Cast-in-place concrete	Count:	2
Element Type:	N/A	Total Quantity:	22.56
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No
Protection System:			Perform. Deficiencies
Condition Data:	Units m2	Exc. 0	Good 22.31
			Fair 0.25
			Poor* 0
Comments: Honeycombing at northeast ballast wall corner. Old concrete drips throughout the ballast wall. Hairline map cracking with AAR at southeast ballast wall. Limited inspection due to the diaphragms and girders; inspection based on visible ends of the ballast wall.			
Recommended Work:	☐ Rehab ☐ Replace	Maintenance Needs:	none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments:		Comments:	

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Hairline map cracking with AAR at southwest ballast wall 	Photo 2: Old concrete drips at southeast ballast wall 
Photo 3: Light honeycombing at northeast ballast wall 	

Element Data

Element Group:	Abutment	Length:				
Element Name:	Bearings	Width:				
Location:	Beneath girders	Height:				
Material:	Polymer	Count:	8			
Element Type:	Elastomeric	Total Quantity:	8			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	each	8	0	0	0	none
Comments: Excellent condition. Light debris accumulation on the bearing seat.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Debris on bearing seat				Photo 2: Elastomeric bearing pad		
						

Element Data

Element Group:	Abutment	Length:	0.8
Element Name:	Wingwalls	Width:	
Location:	All quadrants	Height:	2.2
Material:	Cast-in-place concrete	Count:	4
Element Type:	N/A	Total Quantity:	7.04
Environment:	Benign	Limited Inspection	☐ Yes ☒ No
Protection System:	N/A	Perform. Deficiencies	
Condition Data:	Units	Exc.	Good
	m2	0	6.04
			Fair
			1
			Poor*
			0
Comments: Medium cracks with efflorescence and AAR at northeast and southwest wingwalls. Hairline crack with AAR at southwest wingwall. Light Pop-outs and 2 hairline cracks with efflorescence and AAR, at northwest wingwall.			
Recommended Work:	☐ Rehab	☐ Replace	Maintenance Needs:
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years
Comments:			Comments:
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Northeast wingwall		Photo 2: Southwest wingwall	
			
Photo 3: Southeast wingwall		Photo 4: Hairline crack with efflorescence and light pop-outs at northwest wingwall	
			

Element Data

Element Group:	Approach	Length:	6.5
Element Name:	Approach Slabs	Width:	8.9
Location:	E/W ends of deck	Height:	
Material:	Cast-in-place concrete	Count:	2
Element Type:	N/A	Total Quantity:	115.7
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No
Protection System:			
Condition Data:	Units	Exc.	Good
	m2	0	115.7
			Fair
			0
			Poor*
			0
			Perform. Deficiencies
			none
Comments: Limited inspection of approach slabs, condition based on wearing surface and soffit.			
Recommended Work:		☐ Rehab	☐ Replace
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years
Comments:		Maintenance Needs:	none
		☐ Urgent	☐ 1 year ☐ 2 Year
		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: West Approach		Photo 2: Light erosion channel at southwest shoulder	
			

Element Data

Element Group:	Approach	Length:	25			
Element Name:	Barriers	Width:				
Location:	All quadrants	Height:				
Material:	Steel	Count:	4			
Element Type:	SBGR	Total Quantity:	100			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m	0	94	3	3	none
Comments: Impact damage at the north end treatments. Severe rot at the top of some posts, checks and splits throughout. Twisted stop blocks at east guiderails. Abrasion and denting at southeast guiderail. Denting at barrier ends.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		none
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☒ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments: Replace rotted posts.				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Impact damage at northwest end treatment 	Photo 2: Southeast guiderail 
Photo 3: Severe brown rot in post 	

Element Data

Element Group:	Approach	Length:	1.5			
Element Name:	Curb and Gutters	Width:				
Location:	All quadrants	Height:				
Material:	Cast-in-place concrete	Count:	4			
Element Type:	Curb	Total Quantity:	6			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m	0	4.75	0.75	0.5	none
Comments: Abrasion of curb faces. Light spalls from impact damage at curb ends. Medium spall at southwest curb end.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
				☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Abrasion of curb faces.				Photo 2: Light spalls from impact damage at curb ends		
						
Photo 3: Medium spall at southwest curb end						
						

Element Data

Element Group:	Approach	Length:	6			
Element Name:	Wearing Surface	Width:	8.5			
Location:	East and West	Height:				
Material:	Asphalt	Count:	2			
Element Type:	N/A	Total Quantity:	102			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A	Perform. Deficiencies				
Condition Data:	Units			Exc.	Good	Fair
	m2	0	98	2	2	none
Comments: Bond failure at the southeast wearing surface edge. 4 light longitudinal cracks at the east approach. Wide cracks at the approach slab joints. 2 light longitudinal cracks at the west approach.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		15
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☒ 1 year ☐ 2 Year		
Comments:				Comments: Seal wide cracks at approach ends and fill erosion.		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Bond failure at southeast approach wearing surface edge				Photo 2: Light wear and 2 light longitudinal cracks at west approach		
						
Photo 3: Severe crack at west end of west approach slab						
						

Element Data

Element Group:	Barrier	Length:	31.4			
Element Name:	Barrier/Parapet Walls	Width:				
Location:	Interior, N/S edges of deck	Height:	1			
Material:	Pre-cast concrete	Count:	2			
Element Type:		Total Quantity:	62.8			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	0	55.3	7	0.5	none
Comments: Hairline map cracking at the south parapet. 9 narrow vertical cracks at the west end of the south parapet. Small pop-outs at the south parapet. 8 narrow vertical cracks with efflorescence at the west end of the north parapet and 1 narrow vertical crack at the east end of the north parapet. Light spalls at the center of the north parapet. Abrasion at the south parapet. Abrasion and light spalls around armouring plates.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☒ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments: Repair spalls around armour plates.				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Spall at southeast parapet 	Photo 2: Narrow vertical crack 
Photo 3: Light spall on north parapet. 	Photo 4: Abrasion and light spalls around armouring plates. 

Element Data

Element Group:	Barrier	Length:	31.4			
Element Name:	Barrier/Parapet Walls	Width:				
Location:	Exterior, N/S edges of deck	Height:	0.8			
Material:	Pre-cast concrete	Count:	2			
Element Type:		Total Quantity:	50.24			
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	50.24	0	0	none
Comments: Hairline vertical cracks, overall, in good condition.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		none
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Northeast exterior parapet						
						

Element Data

Element Group:	Barrier	Length:	30
Element Name:	Hand Railings	Width:	
Location:	Top of parapet	Height:	
Material:	Steel	Count:	2
Element Type:	60mm steel pipe	Total Quantity:	60
Environment:	Severe	Limited Inspection	☐ Yes ☒ No
Protection System:			
Condition Data:	Units	Exc.	Good
	m	0	45
			Fair
			12
			Poor*
			3
			Perform. Deficiencies
			none
Comments: The handrail is loose at 3 locations, and 2 railing supports on both parapets are damaged. The northwest and southeast end caps are not installed.			
Recommended Work:	☒ Rehab ☐ Replace	Maintenance Needs:	18
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments: Replace damaged handrail posts.		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Cracked railing support		Photo 2: Torn railing support	
			
Photo 3: Southeast end cap not installed			
			

Element Data

Element Group:	Beams/Main Longitudinal Element	Length:	0.5			
Element Name:	Diaphragms (Concrete) (End)	Width:	2.4			
Location:	Between girder ends	Height:	0.81			
Material:	Cast-in-place concrete	Count:	6			
Element Type:	N/A	Total Quantity:	12.06			
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A	Perform. Deficiencies				
Condition Data:	Units			Exc.	Good	Fair
	m2	0	11.56	0.5	0	none
Comments: Efflorescence at diaphragm-girder interface. Good condition.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Diaphragm						
						

Element Data

Element Group:	Beams/Main Longitudinal Element	Length:	1			
Element Name:	Girders (i) (End)	Width:	0.51			
Location:	Beneath deck	Height:	1.17			
Material:	Pre-cast concrete	Count:	8			
Element Type:	I-section	Total Quantity:	30.96			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	0	30.46	0.25	0.25	none
Comments: Vertical hairline and medium cracks at east end of north exterior girder. Light spalls at the west end of the south exterior girder. Efflorescence at girder-soffit interface.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				none		
Comments:				☐ Urgent ☐ 1 year ☐ 2 Year		
				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Vertical crack at east end of north exterior girder			Photo 2: East end of south exterior girder			
						
Photo 3: West end of south exterior girder						
						

Element Data

Element Group:	Beams/Main Longitudinal Element	Length:	19.6			
Element Name:	Girders (i) (Middle)	Width:	0.56			
Location:	Beneath deck	Height:	1.17			
Material:	Pre-cast concrete	Count:	4			
Element Type:	I-section	Total Quantity:	315.17			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	0	315.17	0	0	none
Comments: Good condition.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Interior girder with barn swallow nests				Photo 2: Exterior girder		
						

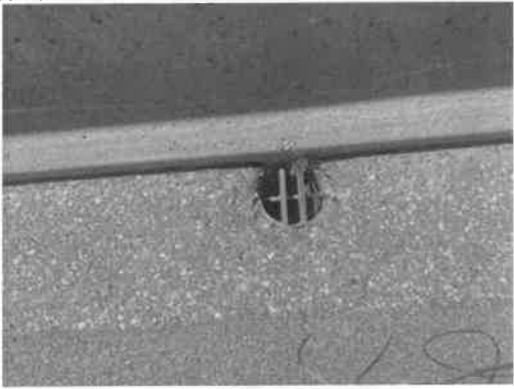
Element Data

Element Group:	Deck	Length:	21.6
Element Name:	Deck Top (Thin Slab)	Width:	9.4
Location:	Above girders	Height:	
Material:	Cast-in-place concrete	Count:	
Element Type:	N/A	Total Quantity:	203.04
Environment:	Moderate	Limited Inspection ☒ Yes ☐ No	
Protection System:			
Condition Data:	Units	Exc.	Good
	m2	0	203.04
			Fair
			0
			Poor*
			0
Perform. Deficiencies			
none			
Comments: Limited inspection of the deck top. Condition based on the soffit and wearing surface.			
Recommended Work:		Maintenance Needs:	
☐ Rehab ☐ Replace ☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments:		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Deck top			
			

Element Data

Element Group:	Deck	Length:				
Element Name:	Drainage System	Width:				
Location:	N/S edges of deck	Height:				
Material:	Steel	Count:	8			
Element Type:	200mm pipe	Total Quantity:	8			
Environment:	Severe	Limited Inspection	☒ Yes ☐ No			
Protection System:	Galvanization	Perform. Deficiencies				
Condition Data:	Units			Exc.	Good	Fair
	each	0	8	0	0	none
Comments: 8-200mm pipe drains with extensions are in good condition.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
				☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Deck drains 	

Element Data

Element Group:	Deck	Length:	2
Element Name:	Soffit - Thin Slabs (End)	Width:	10.1
Location:	East and West	Height:	
Material:	Cast-in-place concrete	Count:	
Element Type:	N/A	Total Quantity:	20.2
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No
Protection System:	N/A		
Condition Data:	Units m2	Exc.	Good 18.3
			Fair 0.5
			Poor*
			Perform. Deficiencies none
Comments: Efflorescence at girder-soffit interface. Light to moderate honeycombing at the north corner of the east end soffit.			
Recommended Work:	☐ Rehab ☐ Replace	Maintenance Needs:	none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments:		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Light honeycombing 		Photo 2: Efflorescence at girder-soffit interface 	
Photo 1: Moderate honeycombing 			

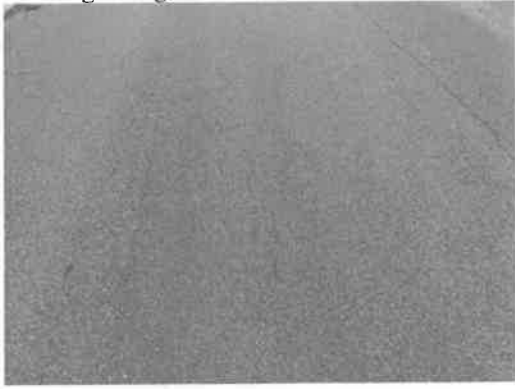
Element Data

Element Group:	Deck	Length:	19.6
Element Name:	Soffit - Thin Slabs (Exterior)	Width:	2.7
Location:	Underside of N/S deck	Height:	
Material:	Cast-in-place concrete	Count:	
Element Type:	Soffit and fascia	Total Quantity:	52.92
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No
Protection System:	N/A	Perform. Deficiencies	
Condition Data:	Units	Exc.	Good
	m2		50.92
			Fair
			2
			Poor*
			none
Comments: Moderate honeycombing at the east end of the north exterior soffit. Efflorescence at the soffit-girder interface. Scaling at the east end of the south soffit.			
Recommended Work:	☒ Rehab ☐ Replace	Maintenance Needs:	none
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments: Seal honeycombing at deck.		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Light to medium honeycombing at east end of north exterior soffit		Photo 2: Exterior soffit	
			

Element Data

Element Group:	Deck	Length:	19.6			
Element Name:	Soffit - Thin Slabs (Interior)	Width:	7.4			
Location:	Underside of deck	Height:				
Material:	Cast-in-place concrete	Count:				
Element Type:	N/A	Total Quantity:	145.04			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	145.04	0	0	none
Comments: The interior soffit is in good condition.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
				☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Interior soffit						
						

Element Data

Element Group:	Deck	Length:	21.6			
Element Name:	Wearing Surface	Width:	8.5			
Location:	Travelled way above watercourse	Height:				
Material:	Asphalt	Count:				
Element Type:	N/A	Total Quantity:	183.6			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A	Perform. Deficiencies				
Condition Data:	Units			Exc.	Good	Fair
		0	181.6	2	0	none
Comments: Light wear in the wheel tracks on deck wearing surface. 2 light longitudinal and 3 light transverse cracks, 2 medium longitudinal and 2 medium transverse cracks.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		15
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☒ 2 Year		
Comments:				Comments: Rout and seal cracks.		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Medium transverse crack				Photo 2: Medium longitudinal crack		
						
Photo 3: Light longitudinal cracks						
						

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Embankments	Width:				
Location:	All quadrants	Height:				
Material:		Count:	4			
Element Type:		Total Quantity:	4			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	0	3	1	0	16
Comments: Hole with water collection potential at the top of the northwest embankment. Light erosion at the northeast and southeast embankments. Erosion channel forming at the southwest embankment.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☒ 1-5 Years	☐ 6-10 Years	18		
				☐ Urgent	☐ 1 year	☐ 2 Year
Comments: Install approach spillways to redirect runoff.				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Southeast Embankment 	Photo 2: Hole with the potential to collect water at top of northwest embankment 
Photo 3: Erosion of the northeast embankment 	Photo 4: Erosion channel of the southwest embankment 

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Slope Protection	Width:				
Location:	Base of embankments	Height:				
Material:	Rip-rap	Count:	4			
Element Type:		Total Quantity:	4			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	0	4	0	0	none
Comments: Good condition.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
				☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Rock loss at southeast slope protection 	Photo 2: Slope protection 

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Stream and Waterway	Width:				
Location:		Height:				
Material:		Count:	1			
Element Type:		Total Quantity:	1			
Environment:	Benign	Limited Inspection ☐ Yes ☒ No				
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	All	0	1	0	0	none
Comments: Watercourse is unobstructed. Consider installing water vessel signage.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☒ 2 Year		
Comments:				Comments: Install water vessel hazard, bridge clearance, and "no wake" signage.		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Watercourse						
						

Element Data

Element Group:	Foundation	Length:				
Element Name:	Foundation (below ground level)	Width:				
Location:	Under abutments	Height:				
Material:	Soil	Count:	1			
Element Type:	N/A	Total Quantity:	1			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A				Perform. Deficiencies	
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	n/a	0	1	0	0	none
Comments: No evidence of undermining or settlement.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Foundation						
						

Element Data

Element Group:	Joint	Length:	8.5			
Element Name:	Armouring/Retaining Devices	Width:				
Location:	N/S ends of joints	Height:				
Material:	Steel	Count:	8			
Element Type:	Plate, L-section	Total Quantity:	68			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	Galvanization					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m	0	68	0	0	none
Comments: Light weathering throughout joints armouring. Good condition.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				none		
				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Plate and angle armouring						
						

Element Data

Element Group:	Joint	Length:	0.83			
Element Name:	Concrete End Dams	Width:	8.5			
Location:	E/W ends of deck	Height:				
Material:	Cast-in-place concrete	Count:	4			
Element Type:		Total Quantity:	28.22			
Environment:	Severe	Limited Inspection	☒ Yes ☐ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	28.22	0	0	none
Comments: Limited inspection due to asphalt partially covering the end dam. 2 hairline cracks at the east exterior end dam. Hairline crack at the west exterior end dam.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Hairline crack in exterior end dam						
						

Element Data

Element Group:	Joint	Length:	
Element Name:	Seal/Sealants	Width:	
Location:	E/W ends of deck between armouring	Height:	
Material:	Polymer	Count:	2
Element Type:	Strip seal	Total Quantity:	2
Environment:	Severe	Limited Inspection	☐ Yes ☒ No
Protection System:			Perform. Deficiencies
Condition Data:	Units each	Exc. 0	Good 2
			Fair 0
			Poor* 0
Comments: Compression seals are in good condition with some light debris accumulation at the joint ends.			
Recommended Work:		☐ Rehab ☐ Replace	Maintenance Needs: none
☐ Urgent ☐ 1 Year	☐ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year
Comments:		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Joint			
			

Ontario Structure Inspection Manual – Inspection Form

MTO Site Number:

Inventory Data:

Structure Name	No. 6 - Broadbent Bridge		
Main Hwy/Road #	On ☒ Under ☐	Service on structure:	☐ Navig. Water ☐ Non-Navig. Water ☐ Rail ☒ Road ☐ Ped. ☐ Other
Hwy/Road Name	Dickinson Road	Service under structure:	☐ Navig. Water ☒ Non-Navig. Water ☐ Rail ☐ Road ☐ Ped. ☐ Other
Structure Location	70m north of Broadbent Road		
Latitude	45.465781	Longitude	-79.829364
Owner(s)	Township of McKellar		
MTO Region	Northeastern	Heritage Designation: ☒ Not Considered ☐ Considered / not Applied for ☐ Listed / not Designated ☐ Designated / not Listed ☐ Designated / Listed	
MTO District	Parry Sound		
Structure Type	Slab on I-Girder (Steel)		
Total Deck Length	17.3 (m)	Road Class:	Freeway ☐ Arterial ☐ Collector ☐ Local ☒
Overall Str. Width	4.3 (m)	Posted Speed (km/h)	50
Culvert Length	(m)	AADT	
Culvert Width	(m)	Special Routes:	☐ Transit ☐ Truck ☐ School ☐ Bicycle
Total Deck Area	74.39 (sq m)	Detour Length Around Bridge	 (km)
Roadway Width	4.1 (m)	Direction of Structure	North-South
Skew Angle	(Degrees)	Fill on Structure	 (m)
No. of Spans	1		
Span Lengths	17.3 (m)		

Historical Data:

Year Built	1910 ☐ Unknown	Year of Last Major Rehab	☒ Unknown
Last OSIM Inspection	September 28, 2023 ☐ Unknown	Last Evaluation	☒ Unknown
Last Enhanced OSIM Inspection	☒ Unknown	Current Load Limit	(tonnes)
Enhanced Access Equipment (ladder, boat, lift, etc.)			
Last Underwater Inspection	Unknown		
Last Condition Survey	☒ Unknown		

Rehab History (date/description): 2008: Superstructure replaced. Abutment repairs, guiderail replacement, and paving all took place at this time.

Scheduled Improvements:

Regional Priority
Number

Programmed Work
Year

Nature of Program Work:

Appraisal Indices:

Comments

Fatigue

Seismic

Scour

Flood

Geometrics

Barrier

Curb

Load Capacity

Field Inspection Information:	
Date of Inspection:	July 22, 2025
Type of Inspection:	☒ OSIM ☐ Enhanced OSIM
Inspector:	George Harper EIT
Others in Party:	Jeremy Longhurst ET
Access Equipment Used:	Camera, measuring tape, hammer.
Weather:	 Sunny
Temperature (°C):	23

Additional Investigations Required:	Priority		
	None	Normal	Urgent
Material Conditions Survey			
Detailed Deck Condition Survey:	☒	☐	☐
Non-destructive Delamination Survey of Asphalt-Covered Deck:	☒	☐	☐
Concrete Substructure Condition Survey:	☒	☐	☐
Detailed Coating Condition Survey:	☒	☐	☐
Detailed Timber Investigation:	☒	☐	☐
Post-Tensioned Strand Investigation:	☒	☐	☐
Underwater Investigation:	☒	☐	☐
Fatigue Investigation:	☒	☐	☐
Seismic Investigation:	☒	☐	☐
Structure Evaluation:	☐	☒	☐
Monitoring			
Monitoring of Deformations, Settlements, and Movements:	☒	☐	☐
Monitoring Crack Widths:	☒	☐	☐
Monitoring Corrosion in the superstructure.	☐	☒	☐
Investigation Notes: The above noted investigations should take place.			

Overall Structure Notes:	
Recommended Work on Structure:	☐ None ☒ Minor Rehab. ☐ Major Rehab. ☐ Replace
Timing of Recommended Work:	☒ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years
Overall Comments:	This bridge is in fair condition; deck stringers on the north side of the superstructure have completely corroded and need replacement immediately. An enhanced OSIM inspection should take place to evaluate the deck top.
Date of Next Inspection:	2027
Bridge Condition Index:	61
Bridge Sufficiency Index:	53

Suspected Performance Deficiencies

01	Load carrying capacity	06	Bearing not uniformly loaded/unstable	12	Slippery surfaces
02	Excessive deformations (deflections & rotations)	07	Jammed expansion joint	13	Flooding/channel blockage
03	Continuing settlement	08	Pedestrian/vehicular hazard	14	Undermining of foundation
04	Continuing movements	09	Rough riding surface	15	Unstable embankments
05	Seized bearings	10	Surface ponding	16	Other
		11	Deck drainage		

Maintenance Needs

01	Lift and Swing Bridge Maintenance	07	Repair to Structural Steel	13	Erosion Control at Bridges
02	Bridge Cleaning	08	Repair of Bridge Concrete	14	Concrete Sealing
03	Bridge Handrail Maintenance	09	Repair of Bridge Timber	15	Rout and Seal
04	Painting Steel Bridge Structures	10	Bailey bridges - Maintenance	16	Bridge Deck Drainage
05	Bridge Deck Joint Repair	11	Animal/Pest Control	17	Scaling (Loose Concrete or ACR Steel)
06	Bridge Bearing Maintenance	12	Bridge Surface Repair	18	Other

Repair and Rehabilitation Required			Priority				Estimated Cost
Element Group	Element Type	Repair and Rehabilitation Required	6 – 10 years	1 – 5 years	Now < 1 year	Urgent	
Abutment	Abutment Walls		☐	☐	☐	☐	
Abutment	Ballast Walls		☐	☐	☐	☐	
Abutment	Bearings	Replace bearing pads.	☐	☐	☒	☐	\$60,000
Abutment	Wingwalls		☐	☐	☐	☐	
Accessories (Attachments and Signs)	Signs		☐	☐	☐	☐	
Approach	Barriers	Replace northeast end treatment. Connect guiderail to all posts. Replace damaged posts.	☐	☒	☐	☐	\$20,000
Approach	Wearing Surface		☐	☐	☐	☐	
Barrier	Posts		☐	☐	☐	☐	
Barrier	Railing Systems		☐	☐	☐	☐	
Beams/Main Longitudinal Element	Diaphragms		☐	☐	☐	☐	
Beams/Main Longitudinal Element	Girders (i)	Sandblast and apply new coating.	☒	☐	☐	☐	\$50,000
Beams/Main Longitudinal Element	Stringers	Replace corroded stringers.	☐	☐	☐	☒	\$40,000
Deck	Deck Top (Thin Slab)	Remove asphalt and conduct detailed deck inspection.	☐	☒	☐	☐	\$10,000
Deck	Soffit - Thin Slabs (Interior)	Sandblast and apply new coating.	☒	☐	☐	☐	\$50,000
Deck	Wearing Surface	Repave deck	☐	☒	☐	☐	\$30,000
Embankments & Streams	Embankments		☐	☐	☐	☐	
Embankments & Streams	Stream and Waterway		☐	☐	☐	☐	
Foundation	Foundation (below ground level)		☐	☐	☐	☐	
Total							\$260,000

Associated Work	Comments	Estimated Cost
Other:	Engineering (15%)	\$39,000
Contingencies:	Contingency (10%)	\$26,000
Total Cost		\$65,000

Total Repair and Rehabilitation Cost	\$325,000
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Replacement Cost	\$1,400,000
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Maintenance Needs			Priority			Estimated Cost
Element Group	Element Type	Maintenance Items	2 Year	1 Year	Urgent	
Abutment	Abutment Walls		☐	☐	☐	
Abutment	Ballast Walls		☐	☐	☐	
Abutment	Bearings	Clean debris off bearing seat.	☐	☒	☐	\$2,000
Abutment	Wingwalls		☐	☐	☐	
Accessories(Attachments and Signs)	Signs	Install snowplough delineators and hazard signs at guiderail ends. Install "narrow bridge" signs.	☐	☒	☐	\$3,000
Approach	Barriers		☐	☐	☐	
Approach	Wearing Surface	Rout and seal cracks.	☐	☒	☐	\$3,000
Barrier	Posts		☐	☐	☐	
Barrier	Railing Systems		☐	☐	☐	
Beams/Main Longitudinal Element	Diaphragms		☐	☐	☐	
Beams/Main Longitudinal Element	Girders (i)		☐	☐	☐	
Beams/Main Longitudinal Element	Stringers		☐	☐	☐	
Deck	Deck Top (Thin Slab)		☐	☐	☐	
Deck	Soffit - Thin Slabs (Interior)		☐	☐	☐	
Deck	Wearing Surface		☐	☐	☐	
Embankments & Streams	Embankments		☐	☐	☐	
Embankments & Streams	Stream and Waterway		☐	☐	☐	
Foundation	Foundation (below ground level)		☐	☐	☐	
					Total	\$8,000

Overall Site Photos

Photo 1: Elevation



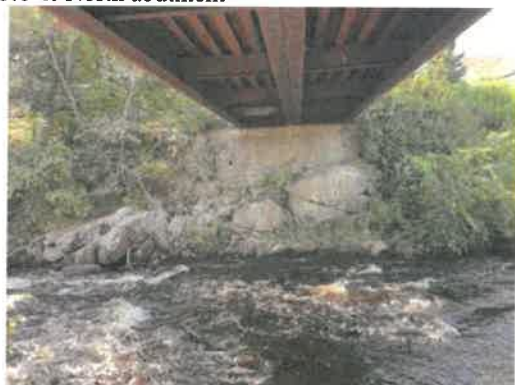
Photo 2: Approach



Photo 3: Soffit



Element Data

Element Group:	Abutment	Length:				
Element Name:	Abutment Walls	Width:	5.6			
Location:	N/S girder ends	Height:	3.25			
Material:	Stone, mortar	Count:	2			
Element Type:	Masonry	Total Quantity:	36.4			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	34.9	1	0.5	none
Comments: 3 spalls at the south abutment. Light mortar loss, incrustation, and narrow cracks in the mortar with efflorescence at the abutments.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
Comments:				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Light mortar loss, spall, and narrow cracks with efflorescence				Photo 2: Spall and incrustation		
						
Photo 3: Efflorescence				Photo 4: North abutment		
						

Element Data

Element Group:	Abutment	Length:				
Element Name:	Ballast Walls	Width:	4.3			
Location:	Above abutments, at girder ends	Height:	0.62			
Material:	Cast-in-place concrete	Count:	2			
Element Type:	N/A	Total Quantity:	5.33			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	4.83	0.25	0.25	none
Comments: Wide crack at east end of the north ballast wall. South ballast could not be observed due to elevation.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		none
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Crack at north ballast wall.						
						

Element Data

Element Group:	Abutment	Length:	
Element Name:	Bearings	Width:	
Location:	Beneath girders	Height:	
Material:	Polymer	Count:	6
Element Type:	Elastomeric	Total Quantity:	6
Environment:	Benign	Limited Inspection	☐ Yes ☒ No
Protection System:	N/A		
Condition Data:	Units	Exc.	Good
	each	0	0
			Fair
			0
			Poor*
			6
Perform. Deficiencies			
05, 06			
Comments: Bearing pads have completely compressed and failed and should be replaced.			
Recommended Work: ☐ Rehab ☒ Replace			
☐ Urgent ☒ 1 Year ☐ 1-5 Years ☐ 6-10 Years			
Maintenance Needs:		none	
☐ Urgent ☐ 1 year ☐ 2 Year			
Comments: Replace bearing pads.		Comments: Clean debris off bearing seat.	

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Disintegrated bearing pad 	Photo 2: Girder directly bearing on concrete 

Element Data

Element Group:	Abutment	Length:	2.2			
Element Name:	Wingwalls	Width:				
Location:	E/W edges of N/S abutments	Height:	3.25			
Material:	Stone, mortar	Count:	4			
Element Type:	Masonry	Total Quantity:	28.6			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A	Perform. Deficiencies				
Condition Data:	Units m2			Exc. 0	Good 27.6	Fair 1
Comments: Hairline to narrow cracks in mortar with efflorescence, and light mortar loss on wingwalls. Complete detachment at northeast wingwall end.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Incrustation and narrow cracks in mortar with efflorescence 	Photo 2: Mortar loss 
Photo 3: Deterioration at northwest wingwall end 	

Element Data

Element Group:	Accessories(Attachments and Signs)		Length:			
Element Name:	Signs		Width:			
Location:			Height:			
Material:			Count:	5		
Element Type:			Total Quantity:	5		
Environment:			Limited Inspection	☐ Yes ☒ No		
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	0	3	2	0	none
Comments: 3 miscellaneous signs are in good condition. Abrasion and tears on the south hazard signs. Hazard signs are not installed at the north approach. Snowplough delineators are not installed at guiderail ends.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		18
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent ☒ 1 year ☐ 2 Year		
Comments:				Comments: Install snowplough delineators and hazard signs at guiderail ends. Install "narrow bridge" signs.		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Miscellaneous signs			Photo 2: Abrasion and tears in south hazard sign, no snowplow delineator			
						
Photo 3: Hazard signs or snowplow delineators not installed at the north approach						
						

Element Data

Element Group:	Approach	Length:	9
Element Name:	Barriers	Width:	
Location:	E/W edges of N/S approaches	Height:	
Material:	Steel	Count:	4
Element Type:	SBGR	Total Quantity:	36
Environment:	Severe	Limited Inspection	☐ Yes ☒ No
Protection System:	Galvanization	Perform. Deficiencies	
Condition Data:	Units	Exc.	Good
	m	0	26
			Fair
			5
			Poor*
			5
Comments: The northeast end treatment and guiderail post are twisted. 2 posts at the north and 2 posts at the south guiderails are disconnected. Impact damage to the south end of the northwest guiderail. Damaged post at the north end of the southwest guiderail.			
Recommended Work:	☒ Rehab ☐ Replace	Maintenance Needs:	none
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments: Replace northeast end treatment. Connect guiderail to all posts. Replace damaged posts.		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Northeast end treatment post is twisted		Photo 2: Impact damage to the south end of the northwest guiderail	
			
Photo 3: Damaged post at the north end of the southwest guiderail.		Photo 4: Post disconnected from guiderail	
			

Element Data

Element Group:	Approach	Length:	6			
Element Name:	Wearing Surface	Width:	4.1			
Location:	N/S travelled way	Height:				
Material:	Asphalt	Count:	2			
Element Type:	N/A	Total Quantity:	49.2			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	37.2	10	1	1	none
Comments: Bond failure at the approach wearing surface edges. 2 wide longitudinal, 3 light longitudinal and 2 light transverse cracks at the north approach. Light wheel rutting at north approach. Light vegetation growth at the northwest approach shoulder.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		15
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent	☒ 1 year	☐ 2 Year
Comments:				Comments: Rout and seal cracks.		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Bond failure at approach wearing surface edges.				Photo 2: Cracks and wheel rutting at north approach		
						
Photo 3: Vegetation growth at northwest approach shoulder						
						

Element Data

Element Group:	Barrier	Length:				
Element Name:	Posts	Width:				
Location:	E/W edges of deck	Height:				
Material:	Steel	Count:	20			
Element Type:	I-section	Total Quantity:	20			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:					Perform. Deficiencies	
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	20	0	0	0	none
Comments: Excellent condition.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs: none		
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Posts			Photo 2: Top of post			
						

Element Data

Element Group:	Barrier	Length:	17.3
Element Name:	Railing Systems	Width:	
Location:	E/W edges of deck	Height:	
Material:	Steel	Count:	2
Element Type:	SBGR	Total Quantity:	34.6
Environment:	Moderate	Limited Inspection	☐ Yes ☒ No
Protection System:	Galvanization	Perform. Deficiencies	
Condition Data:	Units	Exc.	Good
	m	0	32.6
			Fair
			2
			Poor*
			0
Comments: Impact damage at the south end of the west guiderail. Abrasion with light corrosion at the top of the guiderails. Impact damage to the bottom channel at the northeast and southwest corners.			
Recommended Work:	☐ Rehab	☐ Replace	Maintenance Needs:
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ Urgent
		☐ 6-10 Years	☐ 1 year
			☐ 2 Year
Comments:		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Impact damage at south end of west guiderail		Photo 2: Abrasion and light corrosion at top of guiderail	
			
Photo 3: Impact damage to channel end			
			

Element Data

Element Group:	Beams/Main Longitudinal Element		Length:															
Element Name:	Diaphragms		Width:															
Location:	Between girders		Height:															
Material:	Steel		Count:	14														
Element Type:	I-Section		Total Quantity:	14														
Environment:	Benign		Limited Inspection ☒ Yes ☐ No															
Protection System:	ACR		<table border="1"> <tr> <td>Condition Data:</td><td>Units</td><td>Exc.</td><td>Good</td><td>Fair</td><td>Poor*</td><td rowspan="2">Perform. Deficiencies</td></tr> <tr> <td></td><td>each</td><td>0</td><td>10</td><td>4</td><td>0</td></tr> </table>			Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies		each	0	10	4	0
Condition Data:	Units	Exc.				Good	Fair	Poor*	Perform. Deficiencies									
	each	0	10	4	0													
Comments: Light corrosion of diaphragms.																		
Recommended Work: ☐ Rehab ☐ Replace			Maintenance Needs:		none													
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years			☐ Urgent ☐ 1 year ☐ 2 Year															
Comments:			Comments:															
* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.																		
Photo 1: Diaphragms																		
																		

Element Data

Element Group:	Beams/Main Longitudinal Element	Length:	17.3
Element Name:	Girders (i)	Width:	0.33
Location:	Above abutments	Height:	0.62
Material:	Steel	Count:	8
Element Type:	I-section	Total Quantity:	308.63
Environment:	Benign	Limited Inspection	☒ Yes ☐ No
Protection System:	ACR	Perform. Deficiencies	
Condition Data:	Units	Exc.	Good
	m2	0	223.63
			Fair
			45
			Poor*
			40
Comments: Moderate corrosion of the bottom flanges. Moderate corrosion and section loss at the top flanges. Flaking of the patina. Severe section loss of the girder flanges closer to the bearings.			
Recommended Work:	☒ Rehab ☐ Replace	Maintenance Needs:	none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☒ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments: Sandblast and apply new coating.		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Moderate corrosion and flaking patina at bottom flanges		Photo 2: Moderate corrosion with section loss around top flange	
			
Photo 3: Severe corrosion and section loss of girder flange near bearing.			
			

Element Data

Element Group:	Beams/Main Longitudinal Element	Length:				
Element Name:	Stringers	Width:				
Location:	Beneath deck	Height:				
Material:	Steel	Count:	8			
Element Type:	I-section	Total Quantity:	8			
Environment:	Benign	Limited Inspection ☒ Yes ☐ No				
Protection System:	ACR					Perform. Deficiencies
Condition Data:	Units each	Exc. 0	Good 0	Fair 6	Poor* 2	
Comments: Moderate corrosion of the stringers. Very severe corrosion and complete section loss at the north stringer ends.						
Recommended Work:		☐ Rehab ☒ Replace		Maintenance Needs:		none
☒ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments: Replace corroded stringers.				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Stringers		Photo 2: Complete section loss at the north stringer ends				
						
Photo 3: Very severe corrosion at stringer ends						
						

Element Data

Element Group:	Deck	Length:	17.3			
Element Name:	Deck Top (Thin Slab)	Width:	4.3			
Location:	Beneath wearing surface	Height:				
Material:	Steel	Count:				
Element Type:	Plate	Total Quantity:	74.39			
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No			
Protection System:	Wearing surface					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	62.39	6	6	none
Comments: Limited inspection. Deck condition based on the bottom-up defects on the wearing surface.						
Recommended Work:				Maintenance Needs:		
☒ Rehab ☐ Replace ☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years				15		
				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments: Remove asphalt and conduct detailed deck inspection.				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.						
Photo 1: Deck						
						

Element Data

Element Group:	Deck	Length:	17.3			
Element Name:	Soffit - Thin Slabs (Interior)	Width:	4.3			
Location:	Underside of deck	Height:				
Material:	Steel	Count:				
Element Type:	Plate	Total Quantity:	74.39			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	29.39	25	20	none
Comments: Moderate to severe corrosion at the soffit-girder interface.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☒ 6-10 Years	none		
				☐ Urgent	☐ 1 year	☐ 2 Year
Comments: Sandblast and apply new coating.				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Moderate to severe corrosion at soffit-girder interface				Photo 2: Soffit near abutment		
						

Element Data

Element Group:	Deck	Length:	17.3			
Element Name:	Wearing Surface	Width:	4.1			
Location:	Travelled way over watercourse	Height:				
Material:	Asphalt	Count:				
Element Type:	N/A	Total Quantity:	70.93			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
		0	48.93	16	6	none
Comments: Medium cracks at the bridge joints, water can possibly pass through onto the substructure elements. 5 circular depressions with light alligator cracking. Wheel rutting with longitudinal cracks. Alligator cracking at the north deck end. Medium longitudinal center line crack at the north deck end.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		none
☐ Urgent	☐ 1 Year	☒ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments: Repave deck				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Medium crack at bridge joint. 	Photo 2: Circular depression with light alligator cracking 
Photo 3: Wheel rutting with longitudinal cracks 	Photo 4: Light alligator cracking at north end of deck 

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Embankments	Width:				
Location:	Beside wingwalls	Height:				
Material:	Soil	Count:	4			
Element Type:	N/A	Total Quantity:	4			
Environment:	Benign	Limited Inspection ☒ Yes ☐ No				
Protection System:	N/A	Perform. Deficiencies				
Condition Data:	Units					Exc.
	each	0	4	0	0	none
Comments: Heavily overgrown with vegetation. Limited inspection due to vegetation.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		none
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Northwest embankment				Photo 2: Northeast embankment		
						

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Stream and Waterway	Width:				
Location:	Beneath bridge	Height:				
Material:	Water	Count:	1			
Element Type:	River	Total Quantity:	1			
Environment:	Benign	Limited Inspection ☐ Yes ☒ No				
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	All	1	0	0	0	none
Comments: Watercourse unobstructed.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g., m ²). Percent should not be used.						
Photo 1: Watercourse						
						

Element Data

Element Group:	Foundation	Length:				
Element Name:	Foundation (below ground level)	Width:				
Location:	Beneath abutments	Height:				
Material:	N/A	Count:	1			
Element Type:	N/A	Total Quantity:	1			
Environment:	Benign	Limited Inspection ☒ Yes ☐ No				
Protection System:	N/A	Perform. Deficiencies				
Condition Data:	Units					Exc.
	n/a	0	1	0	0	none
Comments: No signs of settlement or undermining.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Foundation 	

Ontario Structure Inspection Manual – Inspection Form

MTO Site Number:

Inventory Data:			
Structure Name	No. 7 - Inholmes Bridge		
Main Hwy/Road #	On ☒ Under ☐	Service on structure:	☐ Navig. Water ☐ Non-Navig. Water ☐ Rail ☒ Road ☐ Ped. ☐ Other
Hwy/Road Name	Broadbent Road	Service under structure:	☒ Navig. Water ☐ Non-Navig. Water ☐ Rail ☐ Road ☐ Ped. ☐ Other
Structure Location	7.2km north of Hurdville Road		
Latitude	45.494526	Longitude	-79.795648
Owner(s)	Township of McKellar		
MTO Region	Northeastern	Heritage Designation:	
MTO District	Parry Sound	☒ Not Considered ☐ Considered / not Applied for ☐ Listed / not Designated ☐ Designated / not Listed ☐ Designated / Listed	
Structure Type	Slab on I-Girder (Steel)		
Total Deck Length	19.6 (m)	Road Class:	Freeway ☐ Arterial ☐ Collector ☐ Local ☒
Overall Str. Width	4.9 (m)	Posted Speed (km/h)	60
Culvert Length	(m)	AADT	
Culvert Width	(m)	Special Routes:	☐ Transit ☐ Truck ☐ School ☐ Bicycle
Total Deck Area	96.04 (sq m)	Detour Length Around Bridge	49.7 (km)
Roadway Width	4.1 (m)	Direction of Structure	North-South
Skew Angle	(Degrees)	Fill on Structure	(m)
No. of Spans	2		
Span Lengths	9.8 (m)		

Historical Data:			
Year Built	1920 ☐ Unknown	Year of Last Major Rehab	☒ Unknown
Last OSIM Inspection	September 28, 2023 ☐ Unknown	Last Evaluation	☒ Unknown
Last Enhanced OSIM Inspection	☒ Unknown	Current Load Limit	(tonnes)
Enhanced Access Equipment (ladder, boat, lift, etc.)			
Last Underwater Inspection	Unknown		
Last Condition Survey	☒ Unknown		
Rehab History (date/description): Superstructure replaced and substructure was repaired in 2023			

Ontario Structure Inspection Manual – Inspection Form

MTO Site Number:

Scheduled Improvements:	
Regional Priority Number	Programmed Work Year
Nature of Program Work:	

Appraisal Indices:		Comments
Fatigue		
Seismic		
Scour		
Flood		
Geometrics		
Barrier		
Curb		
Load Capacity		

Ontario Structure Inspection Manual – Inspection Form

MTO Site Number:

Field Inspection Information:	
Date of Inspection:	August 11, 2025
Inspector:	George Harper EIT
Others in Party:	Jeremy Longhurst ET
Access Equipment Used:	Camera, chain, tape measure, hammer
Weather:	☀ Sunny
Temperature (°C):	30

Additional Investigations Required:		Priority		
		None	Normal	Urgent
Material Conditions Survey				
Detailed Deck Condition Survey:	☒	☐	☐	☐
Non-destructive Delamination Survey of Asphalt-Covered Deck:	☒	☐	☐	☐
Concrete Substructure Condition Survey:	☒	☐	☐	☐
Detailed Coating Condition Survey:	☒	☐	☐	☐
Detailed Timber Investigation:	☒	☐	☐	☐
Post-Tensioned Strand Investigation:	☒	☐	☐	☐
Underwater Investigation:	☒	☐	☐	☐
Fatigue Investigation:	☒	☐	☐	☐
Seismic Investigation:	☒	☐	☐	☐
Structure Evaluation:	☒	☐	☐	☐
Monitoring				
Monitoring of Deformations, Settlements, and Movements:	☒	☐	☐	☐
Monitoring Crack Widths:	☐	☒	☐	☐
Monitoring	☒	☐	☐	☐
Investigation Notes: Crack width of the southwest wingwall should be monitored.				

Overall Structure Notes:	
Recommended Work on Structure:	☐ None ☒ Minor Rehab. ☐ Major Rehab. ☐ Replace
Timing of Recommended Work:	☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years
Overall Comments:	This bridge is in good condition, the mortar in the piers and abutments should be repointed and the undermining at the east pier section should be repaired.
Date of Next Inspection:	2027
Bridge Condition Index:	83
Bridge Sufficiency Index:	75

Suspected Performance Deficiencies

- | | | |
|---|--|---|
| <ul style="list-style-type: none"> 01 Load carrying capacity 02 Excessive deformations (deflections & rotations) 03 Continuing settlement 04 Continuing movements 05 Seized bearings | <ul style="list-style-type: none"> 06 Bearing not uniformly loaded/unstable 07 Jammed expansion joint 08 Pedestrian/vehicular hazard 09 Rough riding surface 10 Surface ponding 11 Deck drainage | <ul style="list-style-type: none"> 12 Slippery surfaces 13 Flooding/channel blockage 14 Undermining of foundation 15 Unstable embankments 16 Other |
|---|--|---|

Maintenance Needs

- | | | |
|---|--|---|
| <ul style="list-style-type: none"> 01 Lift and Swing Bridge Maintenance 02 Bridge Cleaning 03 Bridge Handrail Maintenance 04 Painting Steel Bridge Structures 05 Bridge Deck Joint Repair 06 Bridge Bearing Maintenance | <ul style="list-style-type: none"> 07 Repair to Structural Steel 08 Repair of Bridge Concrete 09 Repair of Bridge Timber 10 Bailey bridges - Maintenance 11 Animal/Pest Control 12 Bridge Surface Repair | <ul style="list-style-type: none"> 13 Erosion Control at Bridges 14 Concrete Sealing 15 Rout and Seal 16 Bridge Deck Drainage 17 Scaling (Loose Concrete or ACR Steel) 18 Other |
|---|--|---|

Repair and Rehabilitation Required			Priority				Estimated Cost
Element Group	Element Type	Repair and Rehabilitation Required	6 – 10 years	1 – 5 years	Now < 1 year	Urgent	
Abutment	Abutment Walls	Repair and repoint missing mortar in abutment walls.	☐	☒	☐	☐	\$20,000
Abutment	Bearings		☐	☐	☐	☐	
Abutment	Wingwalls	Seal crack in the southwest wingwall.	☐	☒	☐	☐	\$10,000
Accessories(A ttachments and Signs)	Signs		☐	☐	☐	☐	
Approach	Approach Slabs		☐	☐	☐	☐	
Approach	Barriers	Replace the southeast end treatment, and raise the low guiderail.	☐	☒	☐	☐	\$20,000
Approach	Drainage System		☐	☐	☐	☐	
Approach	Wearing Surface		☐	☐	☐	☐	
Barrier	Posts		☐	☐	☐	☐	
Barrier	Railing Systems		☐	☐	☐	☐	
Beams/Main Longitudinal Element	Diaphragms (End)		☐	☐	☐	☐	
Beams/Main Longitudinal Element	Diaphragms (Intermediate)		☐	☐	☐	☐	
Beams/Main Longitudinal Element	Girders (i) (End)		☐	☐	☐	☐	
Beams/Main Longitudinal Element	Girders (i) (Middle)		☐	☐	☐	☐	
Coating	Structural Steel		☐	☐	☐	☐	
Deck	Deck Top (Thin Slab)		☐	☐	☐	☐	
Deck	Soffit - Thin Slabs (End)		☐	☐	☐	☐	
Deck	Soffit - Thin Slabs (Exterior)		☐	☐	☐	☐	
Deck	Soffit - Thin Slabs (Interior)		☐	☐	☐	☐	
Deck	Wearing Surface		☐	☐	☐	☐	
Embankments & Streams	Embankments		☐	☐	☐	☐	
Embankments & Streams	Stream and Waterway		☐	☐	☐	☐	
Foundation	Foundation (below ground level)	Repair undermining and install an armouring plate at the east end of the pier.	☐	☒	☐	☐	\$40,000
Joint	Seal/Sealants		☐	☐	☐	☐	
Pier	Bearings		☐	☐	☐	☐	
Pier	Shafts/Columns/Pile Bents (Rectangular)	Repair and repoint loose or lost mortar on the pier.	☐	☒	☐	☐	\$20,000
Total							\$110,000

Associated Work	Comments	Estimated Cost
Other:	Engineering (15%)	\$16,500
Contingencies:	Contingency (10%)	\$11,000
Total Cost		\$27,500

Total Repair and Rehabilitation Cost	\$137,500
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Replacement Cost	\$2,000,000
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Maintenance Needs			Priority			Estimated Cost
Element Group	Element Type	Maintenance Items	2 Year	1 Year	Urgent	
Abutment	Abutment Walls		☐	☐	☐	
Abutment	Bearings		☐	☐	☐	
Abutment	Wingwalls		☐	☐	☐	
Accessories(Attachments and Signs)	Signs	Install snowplough delineators at the guiderail ends.	☐	☒	☐	\$3,000
Approach	Approach Slabs		☐	☐	☐	
Approach	Barriers		☐	☐	☐	
Approach	Drainage System	Remove debris from the spillway.	☒	☐	☐	\$1,000
Approach	Wearing Surface		☐	☐	☐	
Barrier	Posts		☐	☐	☐	
Barrier	Railing Systems		☐	☐	☐	
Beams/Main Longitudinal Element	Diaphragms (End)		☐	☐	☐	
Beams/Main Longitudinal Element	Diaphragms (Intermediate)		☐	☐	☐	
Beams/Main Longitudinal Element	Girders (i) (End)		☐	☐	☐	
Beams/Main Longitudinal Element	Girders (i) (Middle)		☐	☐	☐	
Coating	Structural Steel		☐	☐	☐	
Deck	Deck Top (Thin Slab)		☐	☐	☐	
Deck	Soffit - Thin Slabs (End)		☐	☐	☐	
Deck	Soffit - Thin Slabs (Exterior)		☐	☐	☐	
Deck	Soffit - Thin Slabs (Interior)		☐	☐	☐	
Deck	Wearing Surface		☐	☐	☐	
Embankments & Streams	Embankments	Trim vegetation and install slope protection at the embankments.	☐	☒	☐	\$8,000
Embankments & Streams	Stream and Waterway		☐	☐	☐	
Foundation	Foundation (below ground level)		☐	☐	☐	
Joint	Seal/Sealants	Remove debris from the joints.	☐	☒	☐	\$1,000
Pier	Bearings		☐	☐	☐	
Pier	Shafts/Columns/Pile Bents (Rectangular)		☐	☐	☐	
Total						\$13,000

Overall Site Photos

Photo 1: Elevation



Photo 2: Approach



Photo 3: Soffit



Element Data

Element Group:	Abutment	Length:				
Element Name:	Abutment Walls	Width:	5.6			
Location:	Beneath deck ends	Height:	3.1			
Material:	Stone, mortar, concrete	Count:	2			
Element Type:	Masonry with concrete bearing seat	Total Quantity:	34.72			
Environment:	Moderate	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	0	30.72	2	2	none
Comments: Sections of light to medium mortar loss at north abutment wall. Light mortar loss at south abutment wall.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		08
☐ Urgent	☐ 1 Year	☒ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments: Repair and repoint missing mortar in abutment walls.				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: North abutment wall			Photo 2: Mortar loss in north abutment wall			
						
Photo 3: South abutment wall						
						

Element Data

Element Group:	Abutment	Length:				
Element Name:	Bearings	Width:				
Location:	Above abutments	Height:				
Material:	Steel	Count:	8			
Element Type:	Steel plate	Total Quantity:	8			
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	8	0	0	0	none
Comments: Abutment bearings are in excellent condition.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Abutment bearings 	

Element Data

Element Group:	Abutment	Length:	4.1			
Element Name:	Wingwalls	Width:				
Location:	E/W ends of abutments	Height:	3			
Material:	Stone, mortar	Count:	4			
Element Type:	Masonry	Total Quantity:	49.2			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2		45.2	2	2	none
Comments: Wide full-height vertical step cracking in the southwest wingwall. Cracking in the southwest wingwall should be monitored for expansion.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		18
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments: Seal crack in the southwest wingwall.				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Southwest wingwall 	Photo 2: Northeast wingwall 
Photo 3: Northwest wingwall 	Photo 4: Southeast wingwall 

Element Data

Element Group:	Accessories(Attachments and Signs)	Length:				
Element Name:	Signs	Width:				
Location:	Approach guiderail ends	Height:				
Material:	Steel	Count:	4			
Element Type:	Hazard	Total Quantity:	4			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	0	4	0	0	none
Comments: Snowplough delineators are not installed. Hazard signs are in good condition.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☒ 1 year ☐ 2 Year		
Comments:				Comments: Install snowplough delineators at the guiderail ends.		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Southwes hazard sign						
						

Element Data

Element Group:	Approach	Length:	2.9
Element Name:	Approach Slabs	Width:	4.9
Location:	North and south ends	Height:	
Material:	Cast-in-place concrete	Count:	2
Element Type:	N/A	Total Quantity:	28.42
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No
Protection System:			
Condition Data:	Units	Exc.	Good
	m2	0	28.42
			Fair
			0
			Poor*
			0
Perform. Deficiencies			
none			
Comments: Narrow transverse crack at south approach slab.			
Recommended Work:	☐ Rehab	☐ Replace	Maintenance Needs:
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years
			none
			☐ Urgent ☐ 1 year ☐ 2 Year
Comments:			Comments:
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Narrow transverse crack in south approach slab			
			

Element Data

Element Group:	Approach	Length:	13			
Element Name:	Barriers	Width:				
Location:	All quadrants	Height:	0.63			
Material:	Steel	Count:	4			
Element Type:	SBGR	Total Quantity:	52			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:			Perform. Deficiencies			
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m	0	40	5	5	none
Comments: Northeast approach guiderail is dented near the end treatment. Guiderails are low at the south end treatments. A few twisted stop-blocks.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		18
☐ Urgent	☐ 1 Year	☒ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments: Replace the southeast end treatment, and raise the low guiderail.				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Dent in northeast guiderail			Photo 2: Guiderail low near end treatment			
						
Photo 3: Damaged southeast end treatment						
						

Element Data

Element Group:	Approach	Length:				
Element Name:	Drainage System	Width:				
Location:	Northeast shoulder	Height:				
Material:	Asphalt	Count:	1			
Element Type:	N/A	Total Quantity:	1			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	0	1	0	0	none
Comments: Debris accumulation on the asphalt spillway.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		18
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☒ 2 Year
Comments:				Comments: Remove debris from the spillway.		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Northeast spillway						
						

Element Data

Element Group:	Approach	Length:	6			
Element Name:	Wearing Surface	Width:	4.1			
Location:	North and South	Height:				
Material:		Count:	2			
Element Type:	N/A	Total Quantity:	49.2			
Environment:	Severe	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	38.2	10	1	none
Comments: Ravelling at deck joint. Medium to severe flushing on the approach wearing surface. Small asphalt bumps at the south approach.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
Comments:				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Ravelling at deck joint				Photo 2: Medium to severe flushing at north approach		
						
Photo 3: Small asphalt bumps and medium to severe flushing at south approach						
						

Element Data

Element Group:		Barrier		Length:			
Element Name:		Posts		Width:			
Location:				Height:			
Material:				Count:		20	
Element Type:		I section		Total Quantity:		20	
Environment:		Moderate		Limited Inspection ☐ Yes ☒ No			
Protection System:							Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*		
	each	20	0	0	0	0	none
Comments: Barrier posts are in excellent condition.							
Recommended Work:				Maintenance Needs:		none	
☐ Rehab ☐ Replace ☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year			
Comments:				Comments:			
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.							
Photo 1: Posts							
							

Element Data

Element Group:	Barrier	Length:	19.6			
Element Name:	Railing Systems	Width:				
Location:	E/W deck edges	Height:	0.7			
Material:	Steel	Count:	2			
Element Type:	SBGR	Total Quantity:	39.2			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:			Perform. Deficiencies			
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m	39.2	0	0	0	none
Comments: Guiderail over deck is in excellent condition						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
Comments:				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: West guiderail				Photo 2: East guiderail		
						

Element Data

Element Group:	Beams/Main Longitudinal Element	Length:				
Element Name:	Diaphragms (End)	Width:				
Location:	Between girders beneath joints.	Height:				
Material:	Steel	Count:	12			
Element Type:		Total Quantity:	12			
Environment:	Benign	Limited Inspection ☒ Yes ☐ No				
Protection System:					Perform. Deficiencies	
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	12	0	0	0	none
Comments: Excellent condition.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
Comments:				☐ Urgent ☐ 1 year ☐ 2 Year		
				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Pier Diaphragms

Photo 2: Light corrosion staining on diaphragm.

Element Data

Element Group:	Beams/Main Longitudinal Element		Length:			
Element Name:	Diaphragms (Intermediate)		Width:			
Location:	Between girders		Height:			
Material:	Steel		Count:	6		
Element Type:	C-channel		Total Quantity:	6		
Environment:	Benign		Limited Inspection ☒ Yes ☐ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	6	0	0	0	none
Comments: Excellent condition.						
Recommended Work:			☐ Rehab ☐ Replace		Maintenance Needs: none	
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years					☐ Urgent ☐ 1 year ☐ 2 Year	
Comments:			Comments:			
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Intermediate diaphragms.						
						

Element Data

Element Group:	Beams/Main Longitudinal Element		Length:	1		
Element Name:	Girders (i) (End)		Width:	0.295		
Location:	Beneath Joints		Height:	0.41		
Material:	Steel		Count:	16		
Element Type:			Total Quantity:	27.28		
Environment:	Moderate		Limited Inspection	☒ Yes ☐ No		
Protection System:	Paint Coating					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	23.28	4	0	0	none
Comments: Light corrosin staining and loss of coating.						
Recommended Work:			☐ Rehab ☐ Replace		Maintenance Needs:	
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years					none	
			☐ Urgent ☐ 1 year ☐ 2 Year			
Comments:			Comments:			
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: End girders.						
						

Element Data

Element Group:	Beams/Main Longitudinal Element	Length:	7.8			
Element Name:	Girders (i) (Middle)	Width:	0.295			
Location:	Beneath deck	Height:	0.41			
Material:	Steel	Count:	8			
Element Type:		Total Quantity:	106.39			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:	Paint Coating					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	101.39	5	0	0	none
Comments: Light coating loss and light corrosion at the girder flanges.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Corosion staining at flanges.				Photo 2: Coating loss at bottom flanges		
						

Element Data

Element Group:	Coating	Length:				
Element Name:	Structural Steel	Width:				
Location:	Girders	Height:				
Material:		Count:	1			
Element Type:		Total Quantity:				
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2	127.67	6	0	0	none
Comments: Areas with very light coating loss and staining, overall in excellent condition.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
				☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Staining at flanges.						
						

Element Data

Element Group:	Deck	Length:	19.6			
Element Name:	Deck Top (Thin Slab)	Width:	4.9			
Location:	Travelled way over watercourse	Height:				
Material:	Steel	Count:				
Element Type:	I-beam and steel plate	Total Quantity:	96.04			
Environment:	Severe	Limited Inspection	☒ Yes ☐ No			
Protection System:			Perform. Deficiencies			
Condition Data:	Units m2	Exc. 96.04	Good 0	Fair 0	Poor* 0	Perform. Deficiencies none
Comments: Limited inspection due to wearing surface. Steel deck is in excellent condition.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs: none		
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Deck						
						

Element Data

Element Group:	Deck	Length:	4
Element Name:	Soffit - Thin Slabs (End)	Width:	3.9
Location:	Beneath joints	Height:	
Material:	Steel	Count:	
Element Type:	Steel plate with I beams	Total Quantity:	15.6
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No
Protection System:			
Condition Data:	Units m2	Exc. 15.6	Good 0
		Fair 0	Poor* 0
			Perform. Deficiencies none
Comments: Excellent condition.			
Recommended Work:		Maintenance Needs:	
☐ Rehab ☐ Replace ☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years		none ☐ Urgent ☐ 1 year ☐ 2 Year	
Comments:		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: North end soffit 			

Element Data

Element Group:	Deck	Length:	19.8			
Element Name:	Soffit - Thin Slabs (Exterior)	Width:	1			
Location:	East and West Soffit Edges	Height:				
Material:	Steel	Count:	1			
Element Type:	Steel plate with I beam	Total Quantity:	19.8			
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	19.8	0	0	0	none
Comments: Excellent condition.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs: none		
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: East exterior soffit 	

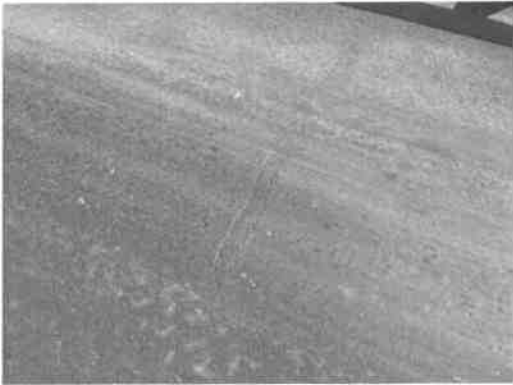
Element Data

Element Group:	Deck	Length:	15.6
Element Name:	Soffit - Thin Slabs (Interior)	Width:	3.9
Location:	Underside of deck	Height:	
Material:	Steel	Count:	
Element Type:	Steel plate with I beams	Total Quantity:	60.84
Environment:	Benign	Limited Inspection	☒ Yes ☐ No
Protection System:			
Condition Data:	Units	Exc.	Good
	m2	60.84	0
			0
			0
Perform. Deficiencies			
none			
Comments: Soffit is in excellent condition.			
Recommended Work:	☐ Rehab	☐ Replace	Maintenance Needs:
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years
			none
			☐ Urgent ☐ 1 year ☐ 2 Year
Comments:			Comments:
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Interior soffit			
			

Element Data

Element Group:	Deck	Length:	19.6			
Element Name:	Wearing Surface	Width:	4.9			
Location:		Height:				
Material:	Asphalt	Count:				
Element Type:		Total Quantity:	96.04			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
		0	93.04	1.5	1.5	none
Comments: Ravelling at the deck joints. Light to medium flushing on the deck wearing surface. 10 medium transverse and 1 light longitudinal crack in the wearing surface.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
				☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Ravelling at deck joint 	Photo 2: Light longitudinal crack 
Photo 3: Medium transverse crack 	

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Embankments	Width:				
Location:	All quadrants	Height:				
Material:		Count:	4			
Element Type:		Total Quantity:	4			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	0	0	4	0	none
Comments: Vegetation overgrowth on the embankments. Moderate scour at the embankment bases.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		18
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☒ 1 year ☐ 2 Year		
Comments:				Comments: Trim vegetation and install slope protection at the embankments.		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Vegetation overgrowth			Photo 2: Medium scour of embankment bases			
						

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Stream and Waterway	Width:				
Location:	Beneath bridge	Height:				
Material:	Water	Count:	1			
Element Type:	Stream	Total Quantity:	1			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	All	0	1	0	0	none
Comments: Watercourse is unobstructed with no evidence of scour.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs: none		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Watercourse						
						

Element Data

Element Group:	Foundation	Length:				
Element Name:	Foundation (below ground level)	Width:				
Location:	Beneath abutments and pier	Height:				
Material:	N/A	Count:	1			
Element Type:	N/A	Total Quantity:	1			
Environment:	Benign	Limited Inspection ☒ Yes ☐ No				
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	n/a	0	0	1	0	14
Comments: Light undermining of the foundation at the east end of the pier.						
Recommended Work:		☒ Rehab ☐ Replace		Maintenance Needs: 18		
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments: Repair undermining and install an armouring plate at the east end of the pier.				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Undermining location						
						

Element Data

Element Group:	Joint	Length:				
Element Name:	Seal/Sealants	Width:				
Location:	Between deck spans	Height:				
Material:		Count:	3			
Element Type:	Compression seal	Total Quantity:	3			
Environment:	Severe	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	each	0	0	3	0	07
Comments: Debris accumulation in deck joints. Could not fully inspect the seals due to the debris. North seal appears to be damaged.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		05
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent	☒ 1 year	☐ 2 Year
Comments:				Comments: Remove debris from the joints.		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Debris in joint						
						

Element Data

Element Group:	Pier	Length:				
Element Name:	Bearings	Width:				
Location:	Above pier	Height:				
Material:	Steel	Count:	8			
Element Type:	Steel plate	Total Quantity:	8			
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No			
Protection System:	Epoxy-Zinc/Epoxy/Urethane coating					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
		8	0	0	0	none
Comments: Pier bearings are in excellent condition.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
Comments:				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Pier bearings						
						

Element Data

Element Group:	Pier	Length:	1.15
Element Name:	Shafts/Columns/Pile Bents (Rectangular)	Width:	6.6
Location:	Beneath center of bridge	Height:	3
Material:	Stone, mortar, cast-in-place concrete	Count:	1
Element Type:	Masonry with a concrete cap	Total Quantity:	46.5
Environment:	Benign	Limited Inspection	☒ Yes ☐ No
Protection System:	N/A	Perform. Deficiencies	
Condition Data:	Units m2	Exc. 0	Good 40.5
			Fair 3
			Poor* 3
Comments: Sections of loose and light mortar loss at the pier. Moss growth on the mortar.			
Recommended Work:	☒ Rehab ☐ Replace	Maintenance Needs:	14
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments: Repair and repoint loose or lost mortar on the pier.		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Southface of central pier.		Photo 2: Loose or lost mortar at pier base.	
			
Photo 3: Mortar loss at pier corners.			
			

Ontario Structure Inspection Manual – Inspection Form

MTO Site Number:

Inventory Data:

Structure Name	No. 8 - Ford Bridge		
Main Hwy/Road #	On ☒ Under ☐	Service on structure:	☐ Navig. Water ☐ Non-Navig. Water ☐ Rail ☒ Road ☐ Ped. ☐ Other
Hwy/Road Name	Broadbent Road	Service under structure:	☐ Navig. Water ☒ Non-Navig. Water ☐ Rail ☐ Road ☐ Ped. ☐ Other
Structure Location	8.6km north of Hurdville Road		
Latitude	45.503137	Longitude	-79.78325
Owner(s)	Township of McKellar		
MTO Region	Northeastern	Heritage Designation: ☒ Not Considered ☐ Considered / not Applied for ☐ Listed / not Designated ☐ Designated / not Listed ☐ Designated / Listed	
MTO District	Parry Sound	Road Class:	Freeway ☐ Arterial ☐ Collector ☐ Local ☒
Structure Type	Concrete T-beam	Posted Speed (km/h)	60
Total Deck Length	12.8 (m)	AADT	
Overall Str. Width	5.6 (m)	Special Routes:	☐ Transit ☐ Truck ☐ School ☐ Bicycle
Culvert Length	(m)	Detour Length Around Bridge	49.7 (km)
Culvert Width	(m)	Direction of Structure	East-West
Total Deck Area	71.68 (sq m)	Fill on Structure	(m)
Roadway Width	4.7 (m)		
Skew Angle	(Degrees)		
No. of Spans	1		
Span Lengths	12.8 (m)		

Historical Data:

Year Built	1930 ☐ Unknown	Year of Last Major Rehab	☒ Unknown
Last OSIM Inspection	September 28, 2023 ☐ Unknown	Last Evaluation	☒ Unknown
Last Enhanced OSIM Inspection	☒ Unknown	Current Load Limit	(tonnes)
Enhanced Access Equipment (ladder, boat, lift, etc.)			
Last Underwater Inspection	Unknown		
Last Condition Survey	☒ Unknown		

Rehab History (date/description): Guiderail has been installed at the bridge approaches in 2019.

Scheduled Improvements:	
Regional Priority Number	Programmed Work Year
Nature of Program Work:	

Appraisal Indices:		Comments
Fatigue		
Seismic		
Scour		
Flood		
Geometrics		
Barrier		
Curb		
Load Capacity		

Ontario Structure Inspection Manual – Inspection Form

MTO Site Number:

Field Inspection Information:	
Date of Inspection:	August 11, 2025
Inspector:	George Harper EIT
Others in Party:	Jeremy Longhurst ET
Access Equipment Used:	Hammer, tape measure, camera, chain
Weather:	Sunny
Temperature (°C):	27

Additional Investigations Required:	Priority		
	None	Normal	Urgent
Material Conditions Survey			
Detailed Deck Condition Survey:	☒	☐	☐
Non-destructive Delamination Survey of Asphalt-Covered Deck:	☒	☐	☐
Concrete Substructure Condition Survey:	☒	☐	☐
Detailed Coating Condition Survey:	☒	☐	☐
Detailed Timber Investigation:	☒	☐	☐
Post-Tensioned Strand Investigation:	☒	☐	☐
Underwater Investigation:	☒	☐	☐
Fatigue Investigation:	☒	☐	☐
Seismic Investigation:	☒	☐	☐
Structure Evaluation:	☒	☐	☐
Monitoring			
Monitoring of Deformations, Settlements, and Movements:	☒	☐	☐
Monitoring Crack Widths:	☒	☐	☐
Monitoring	☒	☐	☐
Investigation Notes: No further investigation is required.			

Overall Structure Notes:
Recommended Work on Structure:
Timing of Recommended Work:
Overall Comments:
Date of Next Inspection:
Bridge Condition Index:
Bridge Sufficiency Index:

Suspected Performance Deficiencies

- 01 Load carrying capacity
- 02 Excessive deformations (deflections & rotations)
- 03 Continuing settlement
- 04 Continuing movements
- 05 Seized bearings

- 06 Bearing not uniformly loaded/unstable
- 07 Jammed expansion joint
- 08 Pedestrian/vehicular hazard
- 09 Rough riding surface
- 10 Surface ponding
- 11 Deck drainage

- 12 Slippery surfaces
- 13 Flooding/channel blockage
- 14 Undermining of foundation
- 15 Unstable embankments
- 16 Other

Maintenance Needs

- 01 Lift and Swing Bridge Maintenance
- 02 Bridge Cleaning
- 03 Bridge Handrail Maintenance
- 04 Painting Steel Bridge Structures
- 05 Bridge Deck Joint Repair
- 06 Bridge Bearing Maintenance

- 07 Repair to Structural Steel
- 08 Repair of Bridge Concrete
- 09 Repair of Bridge Timber
- 10 Bailey bridges - Maintenance
- 11 Animal/Pest Control
- 12 Bridge Surface Repair

- 13 Erosion Control at Bridges
- 14 Concrete Sealing
- 15 Rout and Seal
- 16 Bridge Deck Drainage
- 17 Scaling (Loose Concrete or ACR Steel)
- 18 Other

Repair and Rehabilitation Required			Priority				Estimated Cost
Element Group	Element Type	Repair and Rehabilitation Required	6 – 10 years	1 – 5 years	Now < 1 year	Urgent	
Abutment	Abutment Walls	Repair concrete defects.	☐	☒	☐	☐	\$20,000
Abutment	Wingwalls	Repair concrete defects and seal cracks.	☐	☒	☐	☐	\$60,000
Accessories (Attachments and Signs)	Signs		☐	☐	☐	☐	
Approach	Barriers		☐	☐	☐	☐	
Approach	Wearing Surface	Repave approaches, install asphalt spillways at approaches.	☐	☒	☐	☐	\$40,000
Barrier	Barrier/Parapet Walls	Repair concrete defects in parapet wall.	☐	☒	☐	☐	\$20,000
Barrier	Barrier/Parapet Walls	Repair concrete defects.	☐	☒	☐	☐	\$20,000
Beams/Main Longitudinal Element	Girders (Box)	Repair concrete defects.	☐	☒	☐	☐	\$50,000
Deck	Deck Top (Thin Slab)		☐	☐	☐	☐	
Deck	Drainage System		☐	☐	☐	☐	
Deck	Soffit - Thin Slabs (Interior)		☐	☐	☐	☐	
Deck	Wearing Surface		☐	☐	☐	☐	
Embankments & Streams	Embankments		☐	☐	☐	☐	
Embankments & Streams	Stream and Waterway		☐	☐	☐	☐	
Foundation	Foundation (below ground level)		☐	☐	☐	☐	
Sidewalk/Curb	Curbs	Repair concrete defects and seal cracks in curb.	☐	☒	☐	☐	\$10,000
Total							\$220,000

Associated Work	Comments	Estimated Cost
Other:	Engineering (15%)	\$33,000
Contingencies:	Contingency (10%)	\$22,000
Total Cost		\$55,000

Total Repair and Rehabilitation Cost	\$275,000
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Replacement Cost	\$2,000,000
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Maintenance Needs			Priority			Estimated Cost
Element Group	Element Type	Maintenance Items	2 Year	1 Year	Urgent	
Abutment	Abutment Walls		☐	☐	☐	
Abutment	Wingwalls		☐	☐	☐	
Accessories (Attachments and Signs)	Signs	Replace west hazard signs. Straighten southeast hazard sign. Install snowplough delineators at approach guiderail ends.	☐	☒	☐	\$4,000
Approach	Barriers		☐	☐	☐	
Approach	Wearing Surface		☐	☐	☐	
Barrier	Barrier/Parapet Walls		☐	☐	☐	
Barrier	Barrier/Parapet Walls		☐	☐	☐	
Beams/Main Longitudinal Element	Girders (Box)		☐	☐	☐	
Deck	Deck Top (Thin Slab)		☐	☐	☐	
Deck	Drainage System	Install deck drain extensions and remove organic debris. Remove asphalt covering a north center drain.	☐	☒	☐	\$5,000
Deck	Soffit - Thin Slabs (Interior)		☐	☐	☐	
Deck	Wearing Surface		☐	☐	☐	
Embankments & Streams	Embankments	Trim vegetation on embankments.	☒	☐	☐	\$4,000
Embankments & Streams	Stream and Waterway		☐	☐	☐	
Foundation	Foundation (below ground level)		☐	☐	☐	
Sidewalk/Curb	Curbs		☐	☐	☐	
					Total	\$13,000

Overall Site Photos

Photo 1: Elevation



Photo 2: Approach



Photo 3: Soffit



Element Data

Element Group:	Abutment	Length:	
Element Name:	Abutment Walls	Width:	5.6
Location:		Height:	3.2
Material:	Cast-in-place concrete	Count:	2
Element Type:	N/A	Total Quantity:	35.84
Environment:	Benign	Limited Inspection	☐ Yes ☒ No
Protection System:	N/A	Perform. Deficiencies	
Condition Data:	Units m2	Exc. 0	Good 23.34
			Fair 8
			Poor* 4.5
Comments: Light erosion at the base of abutments. Cold joint across the abutments. Light spalls and delamination and narrow to medium cracks at the east abutment wall. Very severe (>1m) delamination, narrow to medium map cracking, and medium scaling at the west abutment wall. Medium to wide crack at the south end of the west abutment.			
Recommended Work:	☒ Rehab ☐ Replace	Maintenance Needs:	none
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments: Repair concrete defects.		Comments:	

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: West abutment 	Photo 2: Light erosion at abutment base 
Photo 3: Very severe delamination at west abutment 	Photo 4: Moderate map cracking in the west abutment 

Element Data

Element Group:	Abutment	Length:	3.6
Element Name:	Wingwalls	Width:	
Location:	All quadrant	Height:	3.13
Material:	Cast-in-place concrete	Count:	4
Element Type:	N/A	Total Quantity:	45.07
Environment:	Benign	Limited Inspection	☐ Yes ☒ No
Protection System:	N/A		
Condition Data:	Units	Exc.	Good
	m2	0	0
			Fair
			29.07
			Poor*
			16
			Perform. Deficiencies
			06
Comments: Severe delamination and scaling of patchwork and concrete at the east wingwalls. Severe disintegration at the southeast wingwall. Erosion at wingwall-abutment wall corner. Medium disintegration and severe scaling at the southwest wingwall. Full-length wide crack with efflorescence at the top at the southwest wingwall. Incrustation, very severe delamination (4m2), light spalls and wide vertical crack at the base of the northwest wingwall.			
Recommended Work:	☒ Rehab ☐ Replace	Maintenance Needs:	08
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☐ 2 Year	
Comments: Repair concrete defects and seal cracks.		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Southeast wingwall delamination		Photo 2: Northeast wingwall	
			
Photo 3: Southwest wingwall spalls and cracks		Photo 4: Northwest wingwall	
			

Element Data

Element Group:	Accessories(Attachments and Signs)		Length:			
Element Name:	Signs		Width:			
Location:	All quadrants		Height:			
Material:	Steel		Count:	4		
Element Type:	Hazard		Total Quantity:	4		
Environment:	Severe		Limited Inspection ☐ Yes ☒ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units each	Exc.	Good 1	Fair 3	Poor*	
none						
Comments: The southeast hazard sign is leaning. Impact damage to the west signs.						
Recommended Work:			☐ Rehab ☐ Replace		Maintenance Needs: 18	
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years			☐ Urgent ☒ 1 year ☐ 2 Year			
Comments:			Comments: Replace west hazard signs. Straighten southeast hazard sign. Install snowplough delineators at approach guiderail ends.			
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: The southeast hazard sign is leaning.			Photo 2: Impact damage to the southwest sign.			
						

Element Data

Element Group:	Approach	Length:	15.6
Element Name:	Barriers	Width:	
Location:	All quadrants	Height:	0.7
Material:	Steel	Count:	4
Element Type:	SBGR	Total Quantity:	62.4
Environment:	Severe	Limited Inspection	☐ Yes ☒ No
Protection System:			
Condition Data:	Units	Exc.	Good
	m	0	60.4
			Fair
			2
			Poor*
			0
			Perform. Deficiencies
			none
Comments: Abrasion and light corrosion at the southwest approach guiderail. Light impact damage at the southeast guiderail. The southwest end treatment is dented. The guiderails are low and disconnected from the posts near the end treatments.			
Recommended Work:	☐ Rehab	☐ Replace	Maintenance Needs:
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years
			none
			☐ Urgent ☐ 1 year ☐ 2 Year
Comments:			Comments:

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Abrasion and light corrosion 	Photo 2: Light impact damage 
Photo 3: Dented southwest end treatment 	

Element Data

Element Group:	Approach	Length:	6			
Element Name:	Wearing Surface	Width:	4.7			
Location:	East and West	Height:				
Material:	Asphalt	Count:	2			
Element Type:	N/A	Total Quantity:	56.4			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	21.4	20	15	none
Comments: Cold patches at both approaches. Bond failure and raveling of the asphalt patches, and light waffling at the west approach. Small lip with wide transverse cracks at the west joint, possibly from settlement. Medium longitudinal cracks at the south edge of the west approach. Light wheel rutting with light alligator cracking in unpatched areas of the approaches. Raveling at the east shoulders near the deck end.						
Recommended Work:		☐ Rehab ☒ Replace		Maintenance Needs:		18
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments: Repave approaches, install asphalt spillways at approaches.				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Bond failure and raveling of west patch 	Photo 2: Raveling and settling of east asphalt 
Photo 3: Lip and wide transverse cracks at west joint 	Photo 4: Alligator cracking in wheel ruts 

Element Data

Element Group:	Barrier	Length:	19.6			
Element Name:	Barrier/Parapet Walls	Width:				
Location:	Interior, N/S edges of deck	Height:	1.3			
Material:	Cast-in-place concrete	Count:	2			
Element Type:	N/A	Total Quantity:	50.96			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	36.96	10	4	none
Comments: Very severe spall and severe disintegration at the west end of the south interior parapet wall top. Medium delamination and severe disintegration with severe corroded rebar at the east end of the south parapet top. Medium vertical cracks and efflorescence at the south interior parapet. Patchwork on both parapet walls. Moss growth on the top and medium to severe spalls and disintegration with medium to severe corroded rebar at both parapets.						
Recommended Work:		☒ Rehab ☐ Replace	Maintenance Needs:		08	
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years			☐ Urgent ☐ 1 year ☐ 2 Year			
Comments: Repair concrete defects in parapet wall.			Comments:			

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: North interior parapet wall 	Photo 2: Very severe spall with exposed rebar at west end of south parapet. 
Photo 3: Severe disintegration with exposed rebar at the east end of the south parapet top. 	Photo 4: Medium vertical crack in south parapet 

Element Data

Element Group:	Barrier	Length:	15.6			
Element Name:	Barrier/Parapet Walls	Width:				
Location:	Exterior, N/S edges of deck	Height:	1			
Material:	Cast-in-place concrete	Count:	2			
Element Type:	N/A	Total Quantity:	31.2			
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m2		27.2	2	2	none
Comments: Medium disintegration at the south exterior parapet base. Moss growth on exterior parapet wall.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☒ 1-5 Years	☐ 6-10 Years	none		
				☐ Urgent	☐ 1 year	☐ 2 Year
Comments: Repair concrete defects.				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Medium disintegration at the south exterior parapet base.				Photo 2: Moss growth on exterior parapet wall.		
						

Element Data

Element Group:	Beams/Main Longitudinal Element	Length:	12.8			
Element Name:	Girders (Box)	Width:	0.3			
Location:	Beneath deck	Height:	1			
Material:	Cast-in-place concrete	Count:	4			
Element Type:	N/A	Total Quantity:	117.76			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	82.76	20	15	none
Comments: Medium spalls and scaling at the south face of the south exterior girder. Light spall with medium corroded rebar at the southeast exterior haunch. Wide horizontal crack and medium scaling at the north face of the south exterior girder. Medium spall at the south face of the south interior girder. Light delamination at the southeast interior haunch. Medium spall with severe corroded rebar at southwest interior haunch. Medium spall at the east end of the north interior girder. Medium horizontal crack, severe delamination, and spall with medium corroded rebar at the south face of the north exterior girder. Severe spall at the west end of the north face of the north exterior girder. Light scaling at girder ends.						
Recommended Work:		☒ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent		☐ 1 Year	☒ 1-5 Years	☐ 6-10 Years	none	
Comments: Repair concrete defects.				Comments:		

* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.

Photo 1: Medium scaling and wide horizontal crack in south exterior girder 	Photo 2: Severe spall with medium corroded rebar and severe delamination at north exterior girder 
Photo 3: Medium spall, light delamination, and severely corroded rebar at the south interior girder 	Photo 4: Medium scaling and severe spall with severe corroded rebar at the north exterior girder 

Element Data

Element Group:	Deck	Length:	12.8			
Element Name:	Deck Top (Thin Slab)	Width:	5.6			
Location:		Height:				
Material:	Cast-in-place concrete	Count:				
Element Type:	N/A	Total Quantity:	71.68			
Environment:	Moderate	Limited Inspection	☒ Yes ☐ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2		65.68	3	3	none
Comments: 3 areas of suspected severe delamination on deck by chaining.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		18
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: General deck arrangement				Photo 2: Severe delamination in deck under asphalt		
						

Element Data

Element Group:	Deck	Length:				
Element Name:	Drainage System	Width:				
Location:	N/S edges of the deck	Height:				
Material:		Count:	10			
Element Type:	10-50mm core drilled holes	Total Quantity:	10			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	each	0	0	10	0	11
Comments: Organic debris trapped in deck drains. 1 center north drain is covered in asphalt.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	none		
				☐ Urgent	☒ 1 year	☐ 2 Year
Comments:				Comments: Install deck drain extensions and remove organic debris. Remove asphalt covering a north center drain.		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Deck drain				Photo 2: Underside of drains		
						

Element Data

Element Group:	Deck	Length:	12.8			
Element Name:	Soffit - Thin Slabs (Interior)	Width:	5.7			
Location:		Height:				
Material:	Cast-in-place concrete	Count:				
Element Type:	N/A	Total Quantity:	72.96			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	69.96	3	0	none
Comments: Water staining, light scaling and erosion around drains on soffit. Limited inspection due to height.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Soffit				Photo 2: Water staining around drains.		
						

Element Data

Element Group:	Deck	Length:	12.8			
Element Name:	Wearing Surface	Width:	4.7			
Location:		Height:				
Material:	Asphalt	Count:				
Element Type:	N/A	Total Quantity:	60.16			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
		0	59.16	1	0	none
Comments: Abrasion of deck wearing surface near curbs. Wide transverse cracks at the deck joints.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Abrasion of wearing surface near curbs				Photo 2: Deck wearing surface		
						

Element Data

Element Group:	Embankments & Streams	Length:	
Element Name:	Embankments	Width:	
Location:		Height:	
Material:		Count:	4
Element Type:		Total Quantity:	4
Environment:	Benign	Limited Inspection	☒ Yes ☐ No
Protection System:			Perform. Deficiencies
Condition Data:	Units each	Exc. 0	Good 0
			Fair 4
			Poor* 0
Comments: Heavy vegetation growth on the embankments. Medium erosion and undermining near the top of the northeast and medium erosion at southwest embankment.			
Recommended Work:	☐ Rehab ☐ Replace	Maintenance Needs:	none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years		☐ Urgent ☐ 1 year ☒ 2 Year	
Comments:		Comments: Trim vegetation on embankments.	
* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.			
Photo 1: Vegetation growth on embankment		Photo 2: Medium erosion and undermining at northeast wingwall	
			

Element Data

Element Group:		Embankments & Streams		Length:			
Element Name:		Stream and Waterway		Width:			
Location:				Height:			
Material:				Count:		1	
Element Type:				Total Quantity:		1	
Environment:		Benign		Limited Inspection ☐ Yes ☒ No			
Protection System:							Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*		
	All	0	1	0	0	0	none
Comments: Watercourse is unobstructed with no evidence of scour.							
Recommended Work:				Maintenance Needs:		none	
☐ Urgent	☐ 1 Year	☐ Rehab	☐ 1-5 Years	☐ Replace	☐ 6-10 Years	☐ Urgent	☐ 1 year
Comments:				Comments:			
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.							
Photo 1: Watercourse							
							

Element Data

Element Group:	Foundation	Length:				
Element Name:	Foundation (below ground level)	Width:				
Location:		Height:				
Material:	N/A	Count:	1			
Element Type:	N/A	Total Quantity:	1			
Environment:	Benign	Limited Inspection	☒ Yes ☐ No			
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	n/a	0	1	0	0	none
Comments: Foundation is in good condition with no evidence of settlement or undermining.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Foundation						
						

Element Data

Element Group:	Sidewalk/Curb	Length:	15.6			
Element Name:	Curbs	Width:	0.21			
Location:	N/S edges of deck	Height:	0.13			
Material:	Cast-in-place concrete	Count:	2			
Element Type:	N/A	Total Quantity:	10.61			
Environment:	Severe	Limited Inspection	☐ Yes ☒ No			
Protection System:	N/A					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	5.61	4.5	0.5	none
Comments: Light spalls and abrasion at both curbs. Medium spall at the west end of the north curb. Medium to wide vertical cracks in the south curb.						
Recommended Work:		☒ Rehab ☐ Replace	Maintenance Needs:		08	
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years			☐ Urgent ☐ 1 year ☐ 2 Year			
Comments: Repair concrete defects and seal cracks in curb.			Comments:			
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Medium spall and abrasion at west end of north curb			Photo 2: Wide crack at the south curb			
						

Ontario Structure Inspection Manual – Inspection Form

MTO Site Number:

Inventory Data:

Structure Name	No. 10 - Blackwater Road Culvert		
Main Hwy/Road #	On ☒ Under ☐	Service on structure:	☐ Navig. Water ☐ Non-Navig. Water ☐ Rail ☒ Road ☐ Ped. ☐ Other
Hwy/Road Name	Blackwater Lake Rd	Service under structure:	☒ Navig. Water ☐ Non-Navig. Water ☐ Rail ☐ Road ☐ Ped. ☐ Other
Structure Location	2.0 km South of Hurdville Road		
Latitude	45.433271	Longitude	-79.821308
Owner(s)	Township of McKellar		
MTO Region	Northeast	Heritage Designation:	
MTO District	Parry Sound	☒ Not Considered ☐ Considered / not Applied for ☐ Listed / not Designated ☐ Designated / not Listed ☐ Designated / Listed	
Structure Type	Arch Culvert	Road Class:	Freeway ☐ Arterial ☐ Collector ☐ Local ☒
Total Deck Length	(m)	Posted Speed (km/h)	60
Overall Str. Width	(m)	AADT	
Culvert Length	15.5 (m)	Special Routes:	☐ Transit ☐ Truck ☒ School ☐ Bicycle
Culvert Width	4.2 (m)	Detour Length Around Bridge	50 (km)
Total Deck Area	(sq m)	Direction of Structure	East-west
Roadway Width	8.4 (m)	Fill on Structure	1.1 (m)
Skew Angle	(Degrees)		
No. of Spans	1		
Span Lengths	4.2		(m)

Historical Data:

Year Built	2017 ☐ Unknown	Year of Last Major Rehab	☒ Unknown
Last OSIM Inspection	September 28, 2023 ☐ Unknown	Last Evaluation	☒ Unknown
Last Enhanced OSIM Inspection	☒ Unknown	Current Load Limit	(tonnes)
Enhanced Access Equipment (ladder, boat, lift, etc.)			
Last Underwater Inspection	Unknown		
Last Condition Survey	☒ Unknown		
Rehab History (date/description):			

Scheduled Improvements:

Regional Priority
Number

Programmed Work
Year

Nature of Program Work:

Appraisal Indices:		Comments
Fatigue		
Seismic		
Scour		
Flood		
Geometrics		
Barrier		
Curb		
Load Capacity		

Field Inspection Information:	
Date of Inspection:	July 22, 2025
Type of Inspection:	☒ OSIM ☐ Enhanced OSIM
Inspector:	George Harper EIT
Others in Party:	Jeremy Longhurst ET
Access Equipment Used:	Hammer, camera, tape measure
Weather:	Sunny
Temperature (°C):	23

Additional Investigations Required:	Priority		
	None	Normal	Urgent
Material Conditions Survey			
Detailed Deck Condition Survey:	☒	☐	☐
Non-destructive Delamination Survey of Asphalt-Covered Deck:	☒	☐	☐
Concrete Substructure Condition Survey:	☒	☐	☐
Detailed Coating Condition Survey:	☒	☐	☐
Detailed Timber Investigation:	☒	☐	☐
Post-Tensioned Strand Investigation:	☒	☐	☐
Underwater Investigation:	☒	☐	☐
Fatigue Investigation:	☒	☐	☐
Seismic Investigation:	☒	☐	☐
Structure Evaluation:	☒	☐	☐
Monitoring			
Monitoring of Deformations, Settlements, and Movements:	☒	☐	☐
Monitoring Crack Widths:	☒	☐	☐
Monitoring _____	☒	☐	☐
Investigation Notes: No further investigation required.			

Overall Structure Notes:	
Recommended Work on Structure:	☒ None ☐ Minor Rehab. ☐ Major Rehab. ☐ Replace
Timing of Recommended Work:	☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years
Overall Comments:	Culvert is in overall good condition.
Date of Next Inspection:	2027
Bridge Condition Index:	80
Bridge Sufficiency Index:	77

Suspected Performance Deficiencies

- | | | |
|--|--|--|
| 01 Load carrying capacity
02 Excessive deformations (deflections & rotations)
03 Continuing settlement
04 Continuing movements
05 Seized bearings | 06 Bearing not uniformly loaded/unstable
07 Jammed expansion joint
08 Pedestrian/vehicular hazard
09 Rough riding surface
10 Surface ponding
11 Deck drainage | 12 Slippery surfaces
13 Flooding/channel blockage
14 Undermining of foundation
15 Unstable embankments
16 Other |
|--|--|--|

Maintenance Needs

- | | | |
|---|--|---|
| 01 Lift and Swing Bridge Maintenance
02 Bridge Cleaning
03 Bridge Handrail Maintenance
04 Painting Steel Bridge Structures
05 Bridge Deck Joint Repair
06 Bridge Bearing Maintenance | 07 Repair to Structural Steel
08 Repair of Bridge Concrete
09 Repair of Bridge Timber
10 Bailey bridges - Maintenance
11 Animal/Pest Control
12 Bridge Surface Repair | 13 Erosion Control at Bridges
14 Concrete Sealing
15 Rout and Seal
16 Bridge Deck Drainage
17 Scaling (Loose Concrete or ACR Steel)
18 Other |
|---|--|---|

Repair and Rehabilitation Required			Priority				Estimated Cost
Element Group	Element Type	Repair and Rehabilitation Required	6 – 10 years	1 – 5 years	Now < 1 year	Urgent	
Abutment	Wingwalls	Fill the undermining at southwest wingwall.	☐	☒	☐	☐	\$15,000
Accessories(Attachments and Signs)	Signs		☐	☐	☐	☐	
Approach	Wearing Surface		☐	☐	☐	☐	
Barrier	Railing Systems		☐	☐	☐	☐	
Culvert	Barrel (Steel)		☐	☐	☐	☐	
Culvert	Inlet Component (Steel)		☐	☐	☐	☐	
Culvert	Outlet Component (Steel)		☐	☐	☐	☐	
Embankments & Streams	Embankments		☐	☐	☐	☐	
Embankments & Streams	Slope Protection		☐	☐	☐	☐	
Embankments & Streams	Stream and Waterway		☐	☐	☐	☐	
Foundation	Foundation (below ground level)		☐	☐	☐	☐	
Total							\$15,000

Associated Work	Comments	Estimated Cost
Other:	Engineering (15%)	\$2,250
Contingencies:	Contingency (10%)	\$1,500
Total Cost		\$3,750

Total Repair and Rehabilitation Cost	\$18,750
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Replacement Cost	\$800,000
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Maintenance Needs			Priority			Estimated Cost
Element Group	Element Type	Maintenance Items	2 Year	1 Year	Urgent	
Abutment	Wingwalls		☐	☐	☐	
Accessories (Attachments and Signs)	Signs	Install a snowplough delineator on southwest hazard sign. Straighten and tighten snowplough delineators .	☐	☒	☐	\$3,000
Approach	Wearing Surface	Repair washout	☐	☒	☐	\$4,000
Barrier	Railing Systems		☐	☐	☐	
Culvert	Barrel (Steel)		☐	☐	☐	
Culvert	Inlet Component (Steel)		☐	☐	☐	
Culvert	Outlet Component (Steel)		☐	☐	☐	
Embankments & Streams	Embankments		☐	☐	☐	
Embankments & Streams	Slope Protection		☐	☐	☐	
Embankments & Streams	Stream and Waterway	Remove debris near inlet	☐	☒	☐	\$3,000
Foundation	Foundation (below ground level)		☐	☐	☐	
Total						\$10,000

Overall Site Photos

Photo 1: Elevation



Photo 2: Approach



Photo 3: Soffit



Element Data

Element Group:	Abutment	Length:	3.1			
Element Name:	Wingwalls	Width:				
Location:	E/W sides of inlet/outlet	Height:	0.65			
Material:	Rock	Count:	4			
Element Type:	Gabion basket	Total Quantity:	8.06			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:						
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	7.06	0	0.5	0.5	14
Comments: Small section of undermining at the southwest wingwall.						
Recommended Work:		☒ Rehab ☐ Replace		Maintenance Needs:		18
☐ Urgent ☐ 1 Year ☒ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments: Fill the undermining at southwest wingwall.				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Gabion basket wingwall				Photo 2: Undermining at southwest wingwall		
						

Element Data

Element Group:	Accessories(Attachments and Signs)		Length:			
Element Name:	Signs		Width:			
Location:	E/W ends of N/S approach barriers		Height:			
Material:	Steel		Count:	7		
Element Type:	Hazard, snowplough delineators		Total Quantity:	7		
Environment:	Moderate		Limited Inspection ☐ Yes ☒ No			
Protection System:	Galvanization					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each		4	3		none
Comments: Hazard signs with snowplough delineators at the approach barrier ends. the southwest hazard sign is missing a snowplough delineator. All snowplough delineators are loose and rotated.						
Recommended Work:			☐ Rehab		☐ Replace	
☐ Urgent			☐ 1 Year		☐ 1-5 Years	
☐ 6-10 Years						
Comments:			Maintenance Needs:			
			☐ Urgent ☒ 1 year ☐ 2 Year			
			Comments: Install a snowplough delineator on southwest hazard sign. Straighten and tighten snowplough delineators .			
* A quantity must be estimated using the appropriate unit (e.g. m²). Percent should not be used.						
Photo 1: Hazard signs with loose, rotated snowplough delineator						
						

Element Data

Element Group:	Approach	Length:	12
Element Name:	Wearing Surface	Width:	8.4
Location:	Travelled way over watercourse	Height:	
Material:	Asphalt	Count:	2
Element Type:	N/A	Total Quantity:	201.6
Environment:	Severe	Limited Inspection	☐ Yes ☒ No
Protection System:	N/A		
Condition Data:	Units m2	Exc. 200.6	Good 1
			Fair
			Poor*
			Perform. Deficiencies none
Comments: Hairline centerline longitudinal crack. Undermining at the northwest shoulder. Washout with undermining and asphalt deterioration at the southeast shoulder (outside scope).			
Recommended Work:	☐ Rehab ☐ Replace	Maintenance Needs:	none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years		☐ Urgent ☒ 1 year ☐ 2 Year	
Comments:		Comments: Repair washout	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Light centerline longitudinal crack		Photo 2: Undermining beside northwest wearing surface	
			
Photo 3: Washout with undermining and asphalt deterioration			
			

Element Data

Element Group:	Barrier	Length:	77			
Element Name:	Railing Systems	Width:				
Location:	N/S edges of travelled way	Height:	0.8			
Material:	Steel	Count:	2			
Element Type:	SBGR	Total Quantity:	154			
Environment:	Moderate	Limited Inspection	☐ Yes ☒ No			
Protection System:	Galvanization					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	m	153	1			none
Comments: Light abrasion at the north guiderail.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Light abrasion at north guiderail						
						

Element Data

Element Group:	Culvert	Length:	4.2			
Element Name:	Barrel (Steel)	Width:	15.5			
Location:		Height:				
Material:	Steel	Count:	1			
Element Type:	Corrugated steel plate	Total Quantity:	204.52			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:	Galvanization					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	0	174.52	30	0	none
Comments: Medium corrosion of the barrel and bolts around the waterline.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		none
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Corrosion around waterline				Photo 2: Barrel top		
						

Element Data

Element Group:	Culvert	Length:	4.2			
Element Name:	Inlet Component (Steel)	Width:	0.6			
Location:	North	Height:				
Material:	Steel	Count:	1			
Element Type:	Corrugated steel plate	Total Quantity:	7.92			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:	Galvanization					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	7.42	0.5	0	0	none
Comments: Light rust staining near waterline. Excellent condition.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Inlet				Photo 2: Light rust staining near waterline		
						

Element Data

Element Group:	Culvert	Length:	4.2			
Element Name:	Outlet Component (Steel)	Width:	0.6			
Location:	South end of barrel	Height:				
Material:	Steel	Count:	1			
Element Type:	Corrugated steel plate	Total Quantity:	7.92			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:	Galvanization					
Condition Data:	Units	Exc.	Good	Fair	Poor*	Perform. Deficiencies
	m2	7.42	0.5	0	0	none
Comments: Light rust staining near the waterline. Excellent condition.						
Recommended Work:		☐ Rehab	☐ Replace	Maintenance Needs:		none
☐ Urgent	☐ 1 Year	☐ 1-5 Years	☐ 6-10 Years	☐ Urgent	☐ 1 year	☐ 2 Year
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Outlet				Photo 2: Outlet side		
						

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Embankments	Width:				
Location:			Height:			
Material:			Count:	4		
Element Type:			Total Quantity:	4		
Environment:	Benign	Limited Inspection		☐ Yes ☒ No		
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	each	3	0	1	0	none
Comments: Erosion channel at the southeast embankments between the gabion basket and the barrel.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☐ 1 year ☐ 2 Year		
Comments:				Comments:		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Southeast embankment			Photo 2: Northeast embankment			
						
Photo 3: Southwest embankment						
						

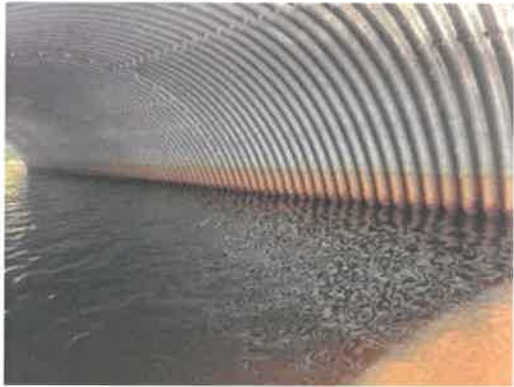
Element Data

Element Group:	Embankments & Streams	Length:	
Element Name:	Slope Protection	Width:	
Location:	North embankments	Height:	
Material:	Rip-rap	Count:	2
Element Type:		Total Quantity:	2
Environment:	Benign	Limited Inspection	☐ Yes ☒ No
Protection System:			Perform. Deficiencies
Condition Data:	Units each	Exc. 2	Good 0
			Fair 0
			Poor* 0
Comments: Slope protection is in excellent condition.			
Recommended Work:		☐ Rehab ☐ Replace	Maintenance Needs: none
☐ Urgent	☐ 1 Year	☐ 1-5 Years ☐ 6-10 Years	☐ Urgent ☐ 1 year ☐ 2 Year
Comments:		Comments:	
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.			
Photo 1: Rip-rap on north embankments			
			

Element Data

Element Group:	Embankments & Streams	Length:				
Element Name:	Stream and Waterway	Width:				
Location:		Height:				
Material:		Count:	1			
Element Type:		Total Quantity:	1			
Environment:	Benign	Limited Inspection	☐ Yes ☒ No			
Protection System:						Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	All	0	0	1	0	none
Comments: A fallen tree and other organic debris have collected near the inlet and could cause damming in the future.						
Recommended Work:		☐ Rehab ☐ Replace		Maintenance Needs:		none
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years				☐ Urgent ☒ 1 year ☐ 2 Year		
Comments:				Comments: Remove debris near inlet		
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Fallen tree near inlet			Photo 2: Watercourse			
						

Element Data

Element Group:	Foundation		Length:			
Element Name:	Foundation (below ground level)		Width:			
Location:	Beneath barrel		Height:			
Material:	Soil		Count:	1		
Element Type:	N/A		Total Quantity:	1		
Environment:	Benign		Limited Inspection ☒ Yes ☐ No			
Protection System:	N/A					Perform. Deficiencies
Condition Data:	Units	Exc.	Good	Fair	Poor*	
	n/a	1				none
Comments: No signs of settlement or undermining of the foundation.						
Recommended Work:			☐ Rehab ☐ Replace		Maintenance Needs: none	
☐ Urgent ☐ 1 Year ☐ 1-5 Years ☐ 6-10 Years			☐ Urgent ☐ 1 year ☐ 2 Year			
Comments:			Comments:			
* A quantity must be estimated using the appropriate unit (e.g. m ²). Percent should not be used.						
Photo 1: Foundation						
						



CORPORATION OF THE TOWNSHIP OF MCKELLAR

Council Meeting Minutes

November 4, 2025

Mayor Moore called the meeting to order at 6:30 p.m.

ROLL CALL

Mayor Moore took Roll Call.

Present: Mayor David Moore
Councillors Mike Kekkonen, Nick Ryeland, Debbie Zulak, and Morley Haskim
Staff: Clerk/Administrator, Karlee Britton
Deputy Clerk, Mary Smith

DECLARATIONS OF PECUNIARY AND/OR PERSONAL INTEREST AND GENERAL NATURE THEREOF

Conflict of Interest declared by Councillor Morley Haskim for Item 20.1 – Bottle Shed Award.

Moved by: Councillor Morley Haskim
Seconded by: Councillor Debbie Zulak

25-466 **BE IT RESOLVED THAT** the Council of the Corporation of the Township of McKellar does hereby approve the Agenda for this Regular Meeting of Council, as amended to add Item 20.1 – Bottle Shed Award.

Carried

RESPECT AND ACKNOWLEDGEMENT DECLARATION

In the spirit of reconciliation and co-operation, we wish to acknowledge that the land on which we gather is the traditional territory of the Anishinaabe and Mississauga people. Its boundaries fall within the Robinson-Huron Treaty of 1850 and the Williams Treaty of 1923. We are grateful to live here and we thank all the generations of people who have taken care of this land for thousands of years. To honour the suffering of Indigenous people and the love and wisdom they have carried for thousands of years, we pledge to work in community and harmony with each other and the environment we inhabit and work towards Truth and Reconciliation.

Moved by: Councillor Nick Ryeland
Seconded by: Councillor Mike Kekkonen

25-467 **BE IT RESOLVED THAT** the Council of the Corporation of the Township of McKellar does hereby approve the Minutes of the October 21, 2025, Regular Meeting of Council, as circulated.

Carried

Moved by: Councillor Debbie Zulak
Seconded by: Councillor Morley Haskim

25-468 **BE IT RESOLVED THAT** the Council of the Corporation of the Township of McKellar does hereby receive the West Parry Sound Ontario Provincial Police Detachment Board 2024 Annual Report, for information purposes.

Carried

Moved by: Councillor Mike Kekkonen
Seconded by: Councillor Nick Ryeland

25-469 **BE IT RESOLVED THAT** the Council of the Corporation of the Township of McKellar does hereby receive the Township of McKellar Lake Stewardship and Environmental Committee Meeting Minutes for September 18, 2025, for information purposes.

Carried



CORPORATION OF THE TOWNSHIP OF MCKELLAR

Council Meeting Minutes

November 4, 2025

Moved by: Councillor Morley Haskim

Seconded by: Councillor Debbie Zulak

25-470 **BE IT RESOLVED THAT** the Council of the Corporation of the Township of McKellar does hereby receive the District of Parry Sound Social Services Administration Board – Chief Administrative Officer's Reports – June, July, August, September & October 2025, for information purposes.

Carried

Moved by: Councillor Nick Ryeland

Seconded by: Councillor Mike Kekkonen

25-471 **BE IT RESOLVED THAT** the Council of the Corporation of the Township of McKellar does hereby receive the District of Parry Sound Social Services Administration Board Meeting Minutes for September 11, 2025, for information purposes.

Carried

Moved by: Councillor Debbie Zulak

Seconded by: Councillor Morley Haskim

25-472 **BE IT RESOLVED THAT** the Council of the Corporation of the Township of McKellar does hereby receive the Town of Parry Sound Emergency Medical Services Advisory Committee Meeting Minutes for October 23, 2025, for information purposes.

Carried

Moved by: Councillor Mike Kekkonen

Seconded by: Councillor Nick Ryeland

25-473 **BE IT RESOLVED THAT** the Council of the Corporation of the Township of McKellar hereby receives PW-2025-10 Procurement of Backhoe and Lawn Mower through Canoe Procurement Group Report from Thomas Stoneman, Public Works Superintendent, for information purposes; and

FURTHER THAT Council authorizes staff to utilize Canoe Procurement for the acquisition of a new backhoe and a zero-turn lawn mower to obtain pricing from members of the purchasing group; and

FURTHER THAT staff be directed to provide a follow-up report to Council upon receipt of pricing information, to allow Council to consider the purchase of the equipment at a future Regular Meeting of Council.

Carried

Moved by: Councillor Morley Haskim

Seconded by: Councillor Debbie Zulak

25-474 **BE IT RESOLVED THAT** the Council of the Corporation of the Township of McKellar hereby receive Report ADMIN-2025-21 from Clerk/Administrator, Karlee Britton; and

FURTHER THAT Council authorizes staff to utilize Canoe Procurement for the acquisition of 5 new sets of playground equipment to obtain structure options and pricing from members of the purchasing group; and

FURTHER THAT staff be directed to provide a follow-up report to Council upon receipt of pricing information, to allow Council to select and award the purchase of the playground equipment at a future Regular Meeting of Council.

Carried



CORPORATION OF THE TOWNSHIP OF MCKELLAR

Council Meeting Minutes

November 4, 2025

Moved by: Councillor Nick Ryeland

Seconded by: Councillor Mike Kekkonen

25-475 **BE IT RESOLVED THAT** the Council of the Corporation of the Township of McKellar does hereby receive Report T-2025-07 – Budgetary Control Report for the Nine Months Ending September 30, 2025, from Treasurer, Roshan Kantiya, for information purposes.

Carried

Councillor Morley Haskim left the meeting at 7:20 p.m., having declared a Conflict of Interest on the following Agenda item.

Moved by: Councillor Debbie Zulak

Seconded by: Councillor Mike Kekkonen

25-476 **WHEREAS** the Council of the Corporation of the Township of McKellar directed that an Expression of Interest (EOI) be issued to local charitable and non-profit organizations for the management of the bottle shed located at the Township Transfer Station; and

WHEREAS the McDougall School Parent Council organization has proposed that they can maintain the bottle shed in a clean, safe, and organized manner and will utilize proceeds from bottle returns to support McDougall School initiatives;

NOW THEREFORE BE IT RESOLVED THAT the Council of the Corporation of the Township of McKellar hereby approves the McDougall School Parent Council as the participating organization responsible for the management of the bottle shed at the Transfer Station, and;

FURTHER THAT this arrangement shall be reviewed by staff should any concerns arise regarding the upkeep, cleanliness, or safety of the bottle shed, or as otherwise directed by Council.

Carried

Councillor Morley Haskim re-entered the meeting at 7:25 p.m.

Moved by: Councillor Mike Kekkonen

Seconded by: Councillor Nick Ryeland

25-477 **BE IT RESOLVED THAT** the Council of the Corporation of the Township of McKellar does hereby give By-law No. 2025-52, Being a By-law to Establish a Public Notice Policy, a First and Second reading.

Carried

Moved by: Councillor Morley Haskim

Seconded by: Councillor Debbie Zulak

25-478 **BE IT RESOLVED THAT** the Council of the Corporation of the Township of McKellar does hereby give By-law No. 2025-57, Being a By-law to Adopt an Asset Management Plan for the Requirements of Ontario Regulation 588/17 (July 1, 2025), a First and Second reading; and

FURTHER give a **Third** reading and **Pass** in open Council this 4th day of November, 2025.

Deferred

Moved by: Councillor Nick Ryeland

Seconded by: Councillor Mike Kekkonen



CORPORATION OF THE TOWNSHIP OF MCKELLAR

Council Meeting Minutes

November 4, 2025

25-479

BE IT RESOLVED THAT the Council of the Corporation of the Township of McKellar does hereby receive the Consent Agenda for correspondence.

Carried

QUESTION/COMMENT PERIOD (RELATED TO ITEMS ON THE AGENDA)

Lawrence Rubin asked questions and offered comments on Zoom regarding agenda items.

Moved by: Councillor Debbie Zulak

Seconded by: Councillor Morley Haskim

25-480

BE IT RESOLVED THAT the Council of the Corporation of the Township of McKellar does hereby give By-law No. 2025-58, being a By-law to Confirm the Proceedings of Council, a first and second reading;

AND FURTHER give a **Third** reading and **Pass** in open Council this 4th day of November 2025.

Carried

Moved by: Councillor Mike Kekkonen

Seconded by: Councillor Nick Ryeland

25-481

BE IT RESOLVED THAT the Council of the Corporation of the Township of McKellar does hereby adjourn this meeting at 8:31 p.m. to meet again on Tuesday, November 18, 2025, or at the call of the Mayor.

Carried

David Moore, Mayor

Karlee Britton, Clerk/Administrator

PARRY SOUND AREA PLANNING BOARD

1 Mall Drive, Unit 2, Parry Sound, Ontario P2A 3A9

CONSENT APPLICATION NO. B18 2025 (McK) - Bastiaansen
PART LOT 22, CONCESSION 13
Parts 3-6 & 10, Plan 42R-17303
20 Waters Edge Trail
Township of McKellar

Roll # 492800000258030, PIN 52127-0726

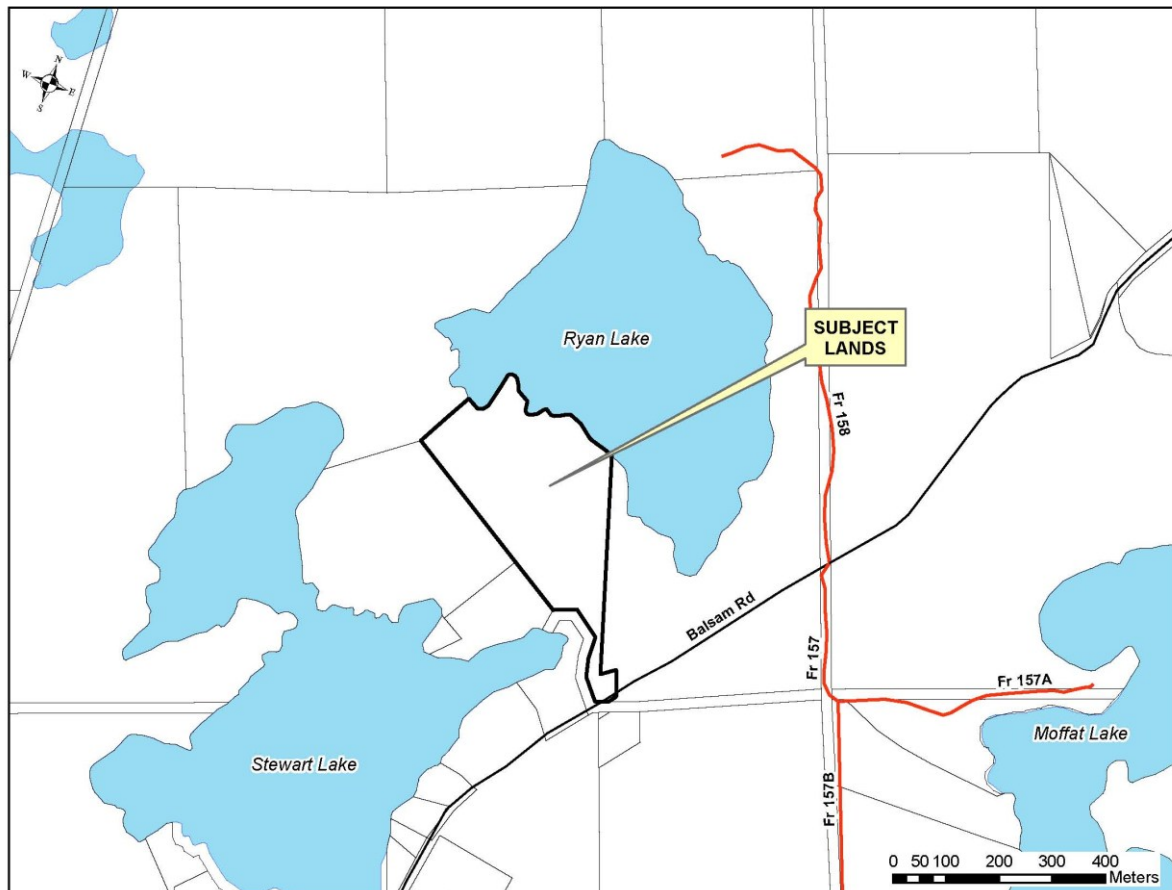
Applicant: Virginia Bastiaansen

October 14, 2025

Revised October 30, 2025

BACKGROUND / PURPOSE

Paul and Virginia Bastiaansen own a parcel of land fronting on Balsam Road and Ryan Lake in the Township of McKellar.

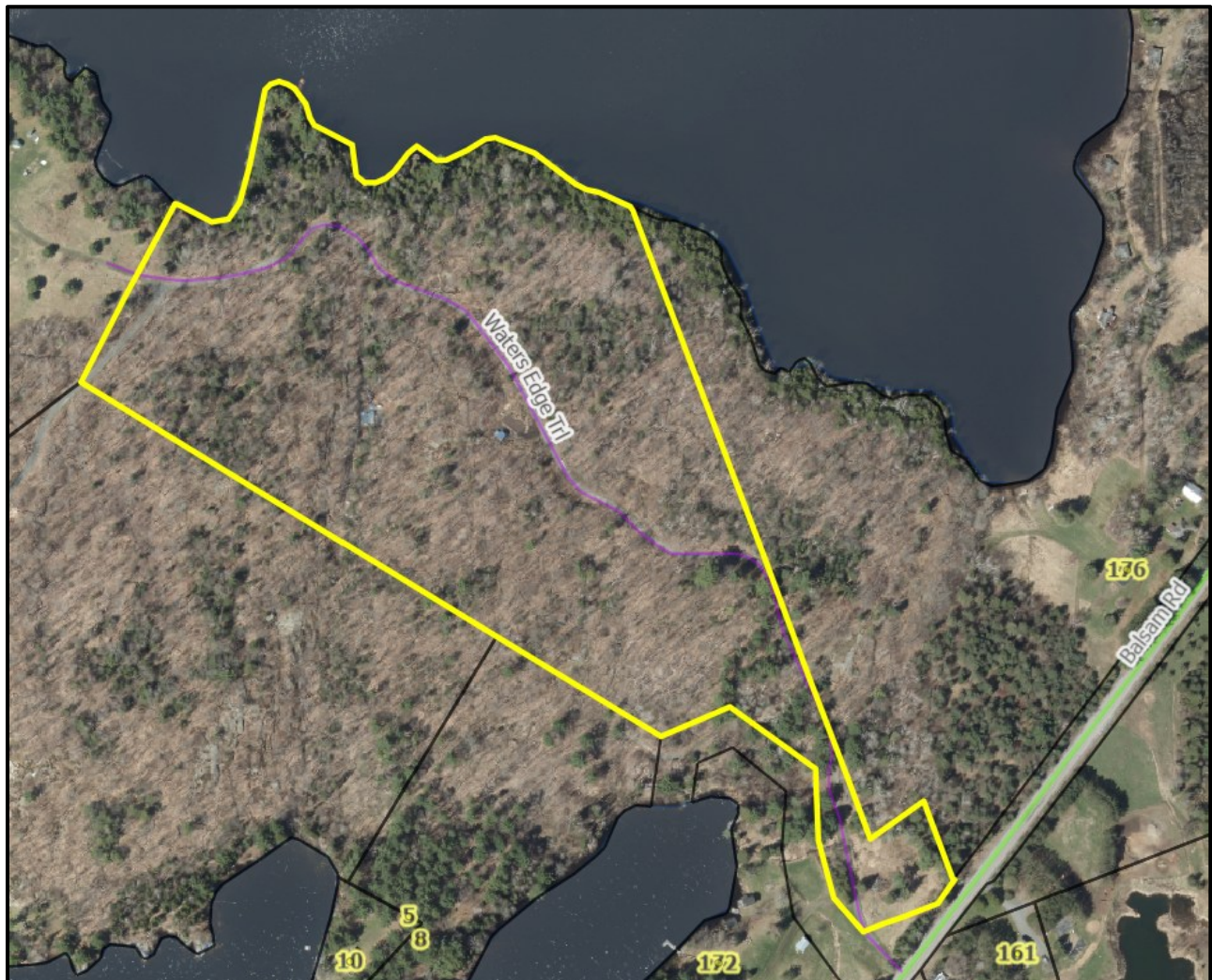


PROPERTY DESCRIPTION

The lands are approximately 22 acres (8.8 ha) with 46 meters frontage on Balsam Road and more than 260 metres of frontage on Ryan Lake.

The lot is accessed from Balsam Road via a private road known as Water's Edge Trail.

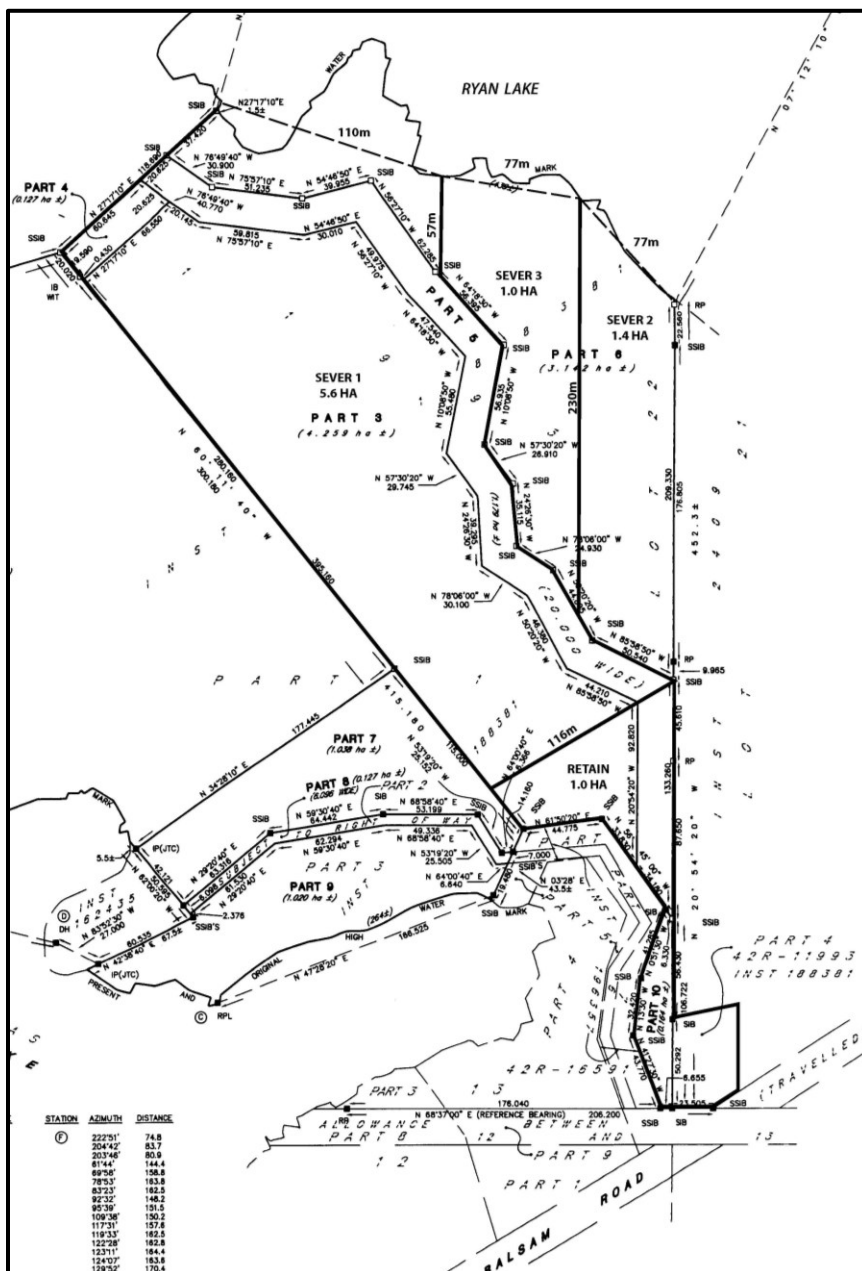
As shown below, subject lot is heavily forested, with an existing dock and small structures, but no main dwelling. Historically there was a separate lot on Balsam Road that may have included a main structure. This lot has since merged with the waterfront lot.



PROPOSED CONSENT

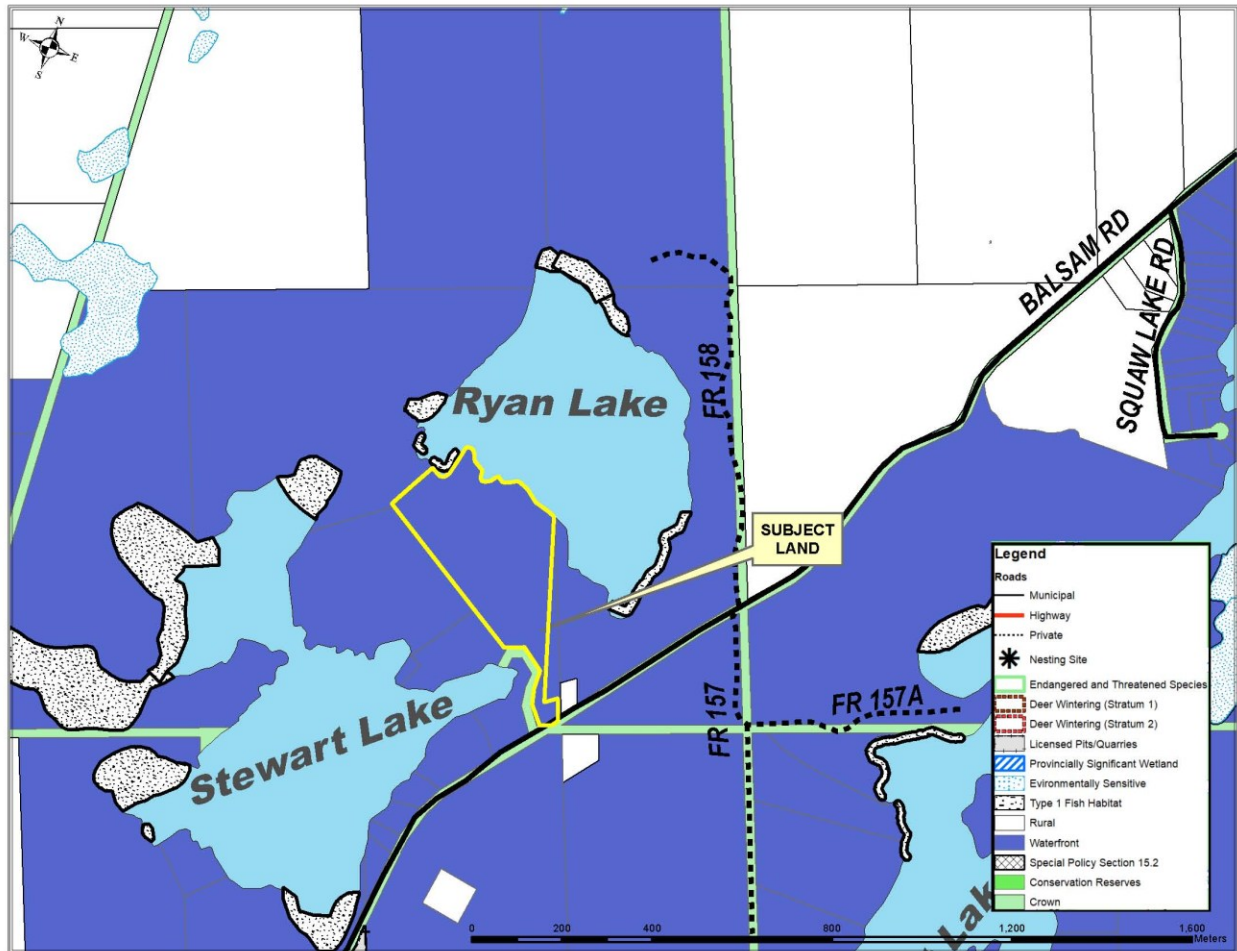
The proposed consent would create three (3) new waterfront lots on Ryan Lake, accessed by a private right-of-way (Water's Edge Trail) from Balsam Road.

Parcel	Frontage (m)	Depth(m)	Area (ha)
WF1 Zone Requirements	60	45	0.8
Retained	46	230	1.0
Severed 1	110	±570	5.6
Severed 2	77	227	1.4
Severed 3	77	227	1.0



OFFICIAL PLAN

The lands to be severed are designated Waterfront in McKellar's Official Plan.



The Official Plan policies for this lake are as follows:

“ 8.19 Ryan Lake

- 8.19.1** Ryan Lake is a small, spring fed lake that is located off Balsam Road. It flows into Stewart Lake and is surrounded predominantly by commercial and vacant lands. Currently, the lake is isolated, with no public access.
- 8.19.2** The lake's maximum depth is 6.0 metres; its mean depth is 2.5 metres. It receives inflow from a stream in the north and empties through a creek into Stewart Lake.
- 8.19.3** Ryan Lake contains surface phosphorus concentrations of 0.019 milligrams per litre, resulting in a mesotrophic classification.

However, a phosphorus concentration of 0.039 milligrams per litre in bottom waters, combined with anoxic or oxygen-poor conditions from four to six metres, likely provides an additional source of phosphorus into Ryan Lake. The Ministry of Natural Resources and Forestry determined that walleye spawn around the inflowing creek mouth along the northern shoreline. Nearshore fish habitat is also abundant around this area in addition to localized features located around the western outflow and along the southern shoreline.

8.19.4 Phosphorus mitigation measures should be implemented to avoid any increases in phosphorus concentrations and subsequent depletions in dissolved oxygen values. “

Type 1 fish habitat is identified on one of the proposed waterfront lots where there is an existing dock.

The applicant retained FRiCorp. Ecological Services to assess the property and recommend phosphorus mitigation measures in response to these policies, the most notable of which are a 15 metre setback from Ryan Lake for any new buildings and 30 metres for any new septic system. A copy of this report is attached.

PROVINCIAL PLANNING STATEMENT (P.P.S)

The lands are considered Rural in the P.P.S. and are subject to following policies:

2.5 Rural Areas in Municipalities

1. Healthy, integrated and viable rural areas should be supported by:
 - a) building upon rural character, and leveraging rural amenities and assets;
 - b) promoting regeneration, including the redevelopment of brownfield sites;
 - c) accommodating an appropriate range and mix of housing in rural settlement areas;
 - d) using rural infrastructure and public service facilities efficiently;
 - e) promoting diversification of the economic base and employment opportunities through goods and services, including value-added products and the sustainable management or use of resources;
 - f) providing opportunities for sustainable and diversified tourism, including leveraging historical, cultural, and natural assets;
 - g) conserving biodiversity and considering the ecological benefits provided by nature; and
 - h) providing opportunities for economic activities in prime agricultural areas, in accordance with policy 4.3.
2. In rural areas, rural settlement areas shall be the focus of growth and development and their vitality and regeneration shall be promoted.

3. When directing development in rural settlement areas in accordance with policy 2.3, planning authorities shall give consideration to locally appropriate rural characteristics, the scale of development and the provision of appropriate service levels.

Growth and development may be directed to rural lands in accordance with policy 2.6, including where a municipality does not have a settlement area.

2.6 Rural Lands in Municipalities

1. On rural lands located in municipalities, permitted uses are:
 - a) the management or use of resources;
 - b) resource-based recreational uses (including recreational dwellings not intended as permanent residences);
 - c) residential development, including lot creation, where site conditions are suitable for the provision of appropriate sewage and water services;
 - d) agricultural uses, agriculture-related uses, on-farm diversified uses and normal farm practices, in accordance with provincial standards;
 - e) home occupations and home industries;
 - f) cemeteries; and
 - g) other rural land uses.
2. Development that can be sustained by rural service levels should be promoted.
3. Development shall be appropriate to the infrastructure which is planned or available, and avoid the need for the uneconomical expansion of this infrastructure.
4. Planning authorities should support a diversified rural economy by protecting agricultural and other resource-related uses and directing non-related development to areas where it will minimize constraints on these uses.
5. New land uses, including the creation of lots, and new or expanding livestock facilities, shall comply with the minimum distance separation formulae.

There are no inconsistencies with these policies.

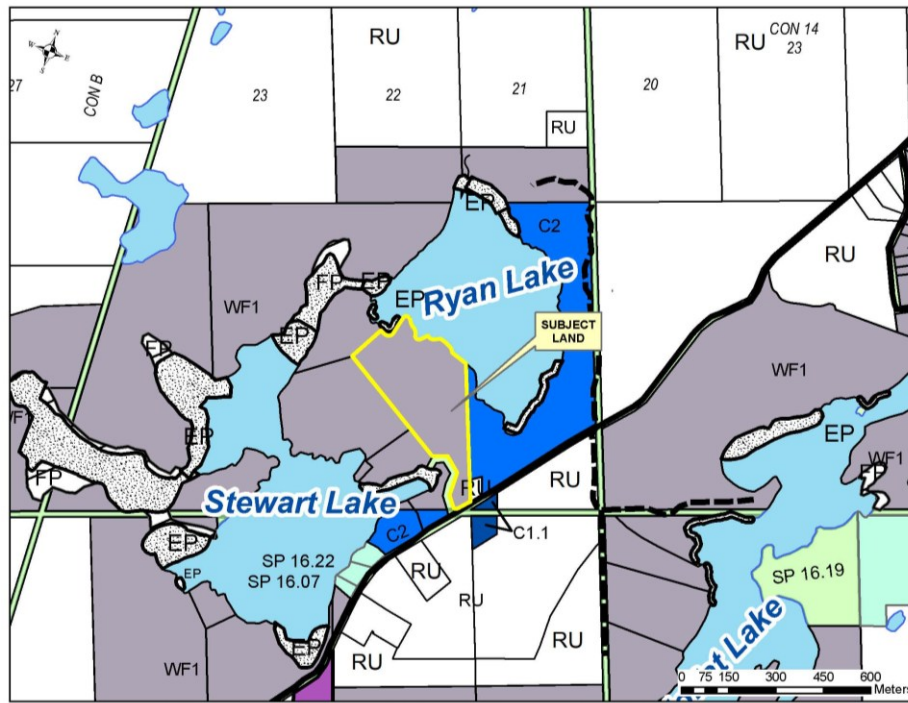
MINIMUM DISTANCE SEPARATION

The subject lands are across Balsam Road from a small farming operation. The minimum distance separation (MDS) calculations resulted in a required setback of 108 metres for any building on the neighbouring lot. The figure below shows a 108 metre radius that will need to be observed should a new structure be constructed.



ZONING BY-LAW

The lands are currently zoned Waterfront Residential 1 (WF1).



The proposed waterfront lots meet the requirements of the waterfront 1 (WF1) zone.

The remaining road-front lot will require a rezoning to Rural (RU) as it will no longer have frontage on Ryan Lake

RECOMMENDATION

That the proposed consent to create three (3) new waterfront lots fronting on Ryan Lake in Part of Lot 22, Concession 13, Township of McKellar as applied for by Virginia Bastiaansen in Application No. B18/2025(McK) be approved subject to the following conditions:

1. Payment of a fee in lieu of parkland as required in the Township of McKellar fee By-Law;
2. That the applicant enter into a Section 51(26) consent agreement to:
 - a. Indemnify the Township of McKellar of any responsibility or liability for the maintenance of Water's Edge Trail;
 - b. Allow the owners of the existing and proposed lots to cross and maintain a portion of the municipal road allowance for access over Water's Edge Trail;

- c. Implement the recommendations of the FRiCorp. Ecological Services memorandum dated September 25, 2025;
3. That the Retained lot be rezoned to the Rural (RU) Zone;
4. 911 Addressing for the proposed new lots;
5. Payment of any applicable planning board fees.

Respectfully,

A handwritten signature in blue ink, reading "Patrick Christie". The signature is fluid and cursive, with the first name "Patrick" and last name "Christie" clearly distinguishable.

Patrick Christie, C.P.T.
Secretary-Treasurer
Parry Sound Area Planning Board

Russell, Christie, LLP

Barristers & Solicitors

W.D. (Rusty) Russell, Q.C., (1925-2019)
Douglas S. Christie, B.A., LL.B. (Retired)
William S. Koughan, LL.B.

Edward B. Veldboom, MSc. Pl. LL.B.
Michael F. Sirdevan, B.A. (Hons), LL.B.
Jennifer E. Biggar, B.A. (Hons), J.D.

November 11, 2025

Please reply to: Jennifer E. Biggar, Ext. 224
Email: jbiggar@russellchristie.com

Sent by Email

The Corporation of the
Township of McKellar
701 Highway 124, P.O. Box 69
MCKELLAR, ON, P0G 1C0

Attention: Ms. Karlee Britton

Dear Ms. Britton,

**Re: Township of McKellar – Bastiaansen, Virginia and Paul – Consent Agreement
Our File No. 64-103-071**

We are writing further to your request for an opinion regarding the above-noted matter.

We understand that Virginia and Paul Bastiaansen (the “Applicants”) have made an application for consent to sever their property municipally known as 20 Waters Edge Trail, McKellar, into three severed lots and one retained lot. The Applicants are proposing that the severed lots would have access to Balsam Road (which is municipally owned and maintained) by way of a private right-of-way. The private-of-way would need to travel over a portion of public lands owned by the Township (which are not a road allowance) described as Parts 5, 6 and 7, Plan 42R-16591 (the “Township’s Lands”).

You have asked for our opinion on whether the Township can provide permission to the Applicants to construct/maintain a private road on the Township’s Lands through a section 51(26) consent agreement. We understand that the Township is not interested in selling any portion of the public lands to the Applicants, but that Council is considering granting permission to use the lands.

We also understand that a section 51(26) consent agreement will be required for this consent application to address and implement the recommendations from an ecological study.

Summary of Options

Regarding the private road access, the Council may choose to allow the Applicants to construct and maintain a private right-of-way over the Township’s Lands; however, in our opinion any permission granted should be done through a separate agreement and not through the section 51(26) consent agreement.

A section 51(26) consent agreement is a tool used to address requirements arising from the consent approval process. Subsection 53(12) of the *Planning Act* specifically authorizes municipalities (or other

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approval authorities) to require an applicant to enter into an agreement under section 51(26) of the Act as a condition of consent approval. In general, such an agreement is used to address and implement other conditions or requirements of consent approval. A consent agreement should be registered on title and cannot be easily removed unless both parties agree to an amendment.

A section 51(26) consent agreement is not an agreement traditionally used for providing a party a right of access over municipally-owned lands, and in our opinion that is not the purpose or correct use of a consent agreement (although a requirement for a separate agreement could be referenced in a consent agreement).

Should the Township wish to grant a right of access over the Township's Lands, there are, in general, two options:

- 1) Licence Agreement – a licence agreement is personal to the parties that sign it. In other words, it does not create any interest in lands and the rights and obligations contained in the agreement do not automatically accrue to or bind future owners of title. A licence agreement is not registered on title.
- 2) Easement – an easement would be registered on title to create a permanent right of access over the subject property for the benefitting landowner. The easement should be accompanied with easement terms and/or an agreement which would set out the rights and obligations of both parties. As a permanent registered right of access, while an easement could include termination rights, it will otherwise automatically be binding on and to the benefit of future owners of title.

Whether a licence agreement or easement is used to provide permission for the use of municipal property depends on the specific circumstances and the intent of the permission granted. In this case, given that the Township's Lands are not a road allowance (where special considerations apply), if the Township wishes to grant a permanent right of access it may choose to grant an easement. However, a Licence Agreement is more suitable if the Township wishes to grant a temporary and/or more flexible permission (which may allow for easier termination and/or amendment in the future, as well as allowing for future needs or priorities of the Township to be considered upon expiry and/or renewal of the agreement).

While a licence agreement and an easement create different types of interests, the terms of these documents have many similarities.

Whenever the Township allows another person to use its land for private purposes, there is risk to the Township should that person's actions cause injury or damage to property or a third party. Therefore, as part of either a licence agreement or an easement, the Township should require that the other party to the agreement/easement indemnify the Township for any injuries or damages that may arise as a result of the use and/or work done by that party (and authorized under agreement). The Township should also require the other party to obtain a policy of insurance naming the Township as an additional insured. Insurance is an important piece of protection for the municipality. Although the other party (the user of the land) may indemnify the municipality in an agreement, it remains open to an injured party to sue both the user of the land and the municipality and if the user of land does not have adequate resources and/or insurance to pay for damages and/or liability is imposed jointly or severally, the municipality's "deep pockets" remain exposed. Thus, requiring the other party to maintain insurance that names the municipality as an additional insured provides assurances that potential claims would be covered without cost to the municipality. We normally suggest that an insurance policy of \$5,000,000 be required; however, the Township may wish to consult with its insurance broker for recommendations in this regard.

Other terms which we recommend should be required for licence agreements or easements include the following:

- Specifics about the type of use and/or alterations being permitted, any restrictions on the use, and/or any related requirements or standards (for example, standards for construction).
- A requirement that the property owner post signs on the land to advise members of the public that there is no municipally-maintained road in this location.
- Maintenance/repair obligations of the property owner, and confirmation that the municipality does not have any obligations regarding maintenance/repair
- Confirmation of the term and any termination rights
- Licence fee particulars and/or any other costs to be borne by the property owner (including costs of the municipality) (deposits may be required for municipal costs)
- Security may be required if construction work is being undertaken, to ensure the work is done correctly.
- Assignment/transfer – an easement by its nature will pass to subsequent property owners; however, a licence agreement is personal to the party who signs it and does not create any interest in land. Therefore, typically licence agreements will prohibit the agreement being transferred to a new owner of title to the benefitting lands automatically, requiring a new property owner to enter into a new agreement with the municipality. This gives the municipality the opportunity to create privity of contract with a new owner (to ensure all required terms are enforceable against them) and ensure all requirements (such as insurance) are in place.

We can provide more in-depth information regarding licence agreements and/or easements should you request and/or depending on how Council wishes to proceed.

Summary of Recommended Next Steps

Should Council wish to support the consent application and also provide permission to the Applicants to construct/maintain a private right-of-way over the Township's Lands, we suggest the following next steps:

1. The Township should determine how it wishes to proceed regarding the request to establish a private right-of-way over Township's Lands. If it wishes to permit access, it should decide whether it will do so by way of licence agreement or easement.
2. The section 51(26) consent agreement should include a clause confirming that the private right-of-way, where it crosses over private lands, is not a municipally-maintained or owned road and the Applicants should indemnify the Township respecting same. The agreement should also have a clause providing notice that a portion of the private right-of-way crosses over Township-owned lands and unless the Applicants (or future owners) enter into a separate licence agreement with the Township to permit the Applicants to construct/maintain a private right-of-way in this location, the Applicants will have no permission to use same. If an easement is preferred by the Township, then this clause would be adjusted to reflect that. This clause can also confirm whether future owners will need to enter into a new licence agreement with the municipality upon obtaining ownership, and this would serve as notice to future owners of this requirement (as the consent agreement will be registered on title).
3. A licence agreement or easement should be prepared and entered into (and in the case of an easement, registered on title) concurrently with the section 51(26) consent agreement. The Township will likely want to recommend to the Planning Board that the entering into of the licence agreement or registration of the easement is a separate condition of consent to ensure that this is completed before the new lots are created.
4. The Applicants should be required to identify the specific portion of the Township's Lands which they will be permitted to use as a separate part on a reference plan (this can be on the same reference plan as the one that will be required to create the new lots). The Township should be given the opportunity to review and approve the draft reference plan prior to its registration. If an

easement is being granted, this will allow the easement to only be registered on title to the specific area of land which the Applicants will be allowed to use. If a licence agreement is being granted then it is not registered on title; however, it is still best practice to have a survey/reference plan prepared to specifically identify the permitted area of land. The reference plan would be referred to in the agreement.

5. For future compliance, the Township should put a note in the relevant property files to trigger any appropriate action items upon a change of ownership of the relevant properties. This may include, for example, entering into a new licence agreement with a future owner. Or in the case of an easement, this may include ensuring that the new owners provide an updated policy of insurance or otherwise remain in compliance with the easement terms.

Conclusion

We trust that the above information is of assistance for Council in considering how it wishes to proceed with this matter.

If you have any questions or concerns, please do not hesitate to contact me.

Yours very truly,



JENNIFER E. BIGGAR

Executed pursuant to the Electronic Commerce Act, 2000

JEB/

Township of McKellar Public Library Board Meeting Minutes

September 29, 2025 @ 10:00 a.m. – McKellar Public Library

PRESENT: Lynne Campbell (CEO), Debbie Woods (Chair), Dianne Thompson (Vice-Chair),
Debbie Zulak (Council Rep), Jeanette Clements, Lynne Aylsworth (Secretary)

REGRETS: NONE

GUESTS: NONE

1. Welcome and roll call:

The meeting was called to order at 9:57 a.m. and roll call was taken.

We have quorum for this meeting.

2. “The Respect and Acknowledgement of Lands” was read.

“In the spirit of reconciliation and co-operation, we wish to acknowledge that the land on which we gather is the traditional territory of the Anishinaabe and Mississauga people. Its boundaries fall within the Robinson-Huron Treaty of 1850 and the Williams Treaty of 1923. We are grateful to live here and we thank all the generations of people who have taken care of this land for thousands of years.

To honour the suffering of Indigenous people and the love and wisdom they have carried for thousands of years, we pledge to work in community and harmony with each other and the environment we inhabit and work towards Truth and Reconciliation.”

3. Declaration of any Conflicts of Interest:

NONE

4. Approval of the Agenda:

We removed item number “8. Closed Meeting” from the Agenda.

Motion #2025:132

That we the Township of McKellar Public Library Board move to approve and accept the September 29, 2025 Agenda as circulated to all members prior to our meeting and revised as per our discussion.

Moved by Dianne Thompson, Seconded by Debbie Zulak

Carried

5. Librarian's remarks/questions:

The Librarian's Report was circulated to all board members prior to the meeting. In addition, the CEO provided us with an update on financial matters, and day to day library activities.

The CEO reported that including the newsletter with residents' tax bills has proven highly effective in attracting new visitors and members to the library.

Lynne C. conveyed her delight regarding the partnership between the Library and the McKellar Agricultural Committee during the last year.

The library experienced a steady stream of visitors and it has been bursting with energy all summer long.

Lynne C. and her library staff expressed their gratitude to Dianne and Ken Thompson for thoughtfully creating the charcuterie board and assembling all its delicious items into a gift basket, which will be presented to the lucky winner.

6. News from Council

Debbie Zulak advised us that Mel Hammond received the "Senior of the Year Award".

The MTO gave the Township of McKellar a communications tower and it is being installed at the corner of McKellar Centre Road and Lees Road.

7. Consent Agenda:

Motion #2025:133

That we the Township of McKellar Public Library Board move to approve and accept the September 29, 2025 Consent Agenda and Reports, as circulated to all board members prior to this meeting.

Moved by Lynne Aylsworth, Seconded by Dianne Thompson

Carried

8. Business arising from the minutes:

a. Review action items:

The Board went through the "Action Items" list to confirm which actions have been completed. Any new actions from today's meeting will be added and an updated list will be sent out to all board members.

b. Other – There was no other business to discuss.

9. Business:

a. Monitoring our Strategic Plan:

We discussed our procedures for lending makerspace items and accessing our collection, including e-books, Libby, and Overdrive. We will review OP-04 – Collection Development at our next meeting in October.

Our CEO will be pursuing management and governance level training for the library staff.

b. Policy Review/Update? FN-04, OP-17, HR-09:

Policy FN-04 – Intellectual Freedom:

The board reviewed the above Policy and some minor wording adjustments were made to better reflect the library's principles. We also talked about potential concerns some patrons might have regarding certain materials in the collection, and will explore ways to address those concerns without removing any books.

Motion #2025:134

That we the Township of McKellar Public Library Board approves and adopts the revisions made to FN-04 – Intellectual Freedom as discussed during our meeting.

Moved by Jeanette Clements, Seconded by Lynne Aylsworth

Carried

Policy OP-17 – Records Retention:

We had an in-depth discussion about this Policy regarding revisions to some minor wording and the retention period for loan transactions, rescinded policies, and certain other documents.

Motion #2025:135

That we the Township of McKellar Public Library Board approves and adopts the revisions made OP-17 – Records Retention as discussed during our meeting.

Moved by Debbie Zulak, Seconded by Dianne Thompson

Carried

Policy HR-09 – Health and Safety:

The board reviewed the above policy and made minor wording adjustments and we discussed the training that is required for the CEO and library staff and the availability of such training.

Motion #2025:136

That we the Township of McKellar Public Library Board move to extend our meeting past 12:00 p.m. to allow for the completion of our Agenda.

Moved by Jeanette Clements, Seconded by Debbie Zulak

Carried

Motion #2025:137

That we the Township of McKellar Public Library Board approves and adopts the revisions made to HR-09 – Health and Safety as discussed during our meeting.

Moved by Dianne Thompson, Seconded by Jeanette Clements

Carried

c. Report on Board Members' Advocacy activities:

Dianne Thompson has agreed to continue serving as the library liaison to the MLCA.

The Historical Committee held a second Open House for St. Stephens Church on September 20, 2025 and another 50 people attended. The Salvation Army donated 60 stackable chairs for the Church.

d. Other Business:

We all agreed that the library board will work together on the CEO's performance review for November.

10. Announcements:

Lynne C. would like to arrange a volunteer dinner for all of our volunteers.

11. Next Regular Meeting: Monday, October 27, 2025 at 10:00 a.m. in the Library

12. Adjournment:

Motion #2025:138

That we the Township of McKellar Public Library Board move to adjourn this meeting at 12:17 p.m..

Moved by Jeanette Clements

Carried

Debbie Woods, Chair

Date Signed:

Date Approved:

Lynne Aylsworth, Secretary

Date Signed:

TOWNSHIP OF McKELLAR
RECREATION COMMITTEE – MINUTES
Thursday October 23, 2025, 4:00 p.m.
McKellar Community Centre

PRESENT IN PERSON: Dinah Ryeland-Brown, Kathy Deguara, Phil Jefkins, Morley Haskim, Terry Lacey, Judy Ryeland **ABSENT:** Francis Deguara, Michelle Dimmick

CALLED TO ORDER: 4:00 p.m.

APPROVAL OF THE MINUTES: Moved by J. Ryeland and seconded by K. Deguara that the Recreation Committee of the Township of McKellar does hereby accept the minutes of the Sept. 25, 2025, meeting. **Motion Carried (25-44).**

ADDITIONS TO THE AGENDA: Arena flooring samples to consider from Township

APPROVAL OF THE AGENDA: Moved by K. Deguara and seconded by T. Lacey that the Recreation Committee of the Township of McKellar does hereby accept the agenda for the October 23, 2025, meeting. **Motion Carried (25-45).**

DECLARATION OF CONFLICT OF INTEREST: None

VISITORS: The Committee welcomes Steve Walmsley to sit in the meeting as he has recently submitted an application to the Township to become a member of the Recreation Committee

CORRESPONDENCE RECEIVED: None

REPORTS OF MEMBERS:

1. **Pickleball:** This activity continues to be popular and the Committee would like to take steps to encourage new or less experienced players to attend this growing sport. A time slot for “soft play” was discussed and it was decided that the first hour of scheduled Pickleball will be used for this type of play. This will occur during the Tuesday and Friday times. The Wednesday evening timeslot will remain as "competitive" style of play.
2. **Badminton:** This activity will continue as always, occurring Monday evenings.

NEW BUSINESS:

1. **Trick or Trunk - 6pm Oct 25, 2025:** The Rec committee will be setting up at 10 am Saturday morning in the bandshell outside the community centre for the event. Library Staff will be setting up the Community Centre for the dance they are organizing and using the popcorn maker.
2. **Broadbent Walk - 7pm - 8:30pm:** After “Trick or Trunk”, participants are invited to go Broadbent for a “Halloween Walk”. This part of the event is not under the direction of the McKellar Rec Committee, it is a community event run by the Broadbent Snowbugs.
3. **Parry Sound Singers - Dec 6, 2025:** More information with regards to contact information and use of Township facilities. This item is deferred and will be discussed in detail at the November meeting.
4. **Kids Christmas Party - 5:30pm Dec 12, 2025:** The Broadbent Snowbugs have asked to participate along with the Rec Committee for this event. A meeting with the two groups has been scheduled for **9am Nov 16, 2025** to discuss the particulars. The McKellar Rec Committee is going to reach out to the Dunchurch Rec Committee to see if they would like to be involved also. At our next meeting we will discuss the kids crafts, decorations and Santa.
5. **Flooring in Arena:** Township staff has been involved in researching ideas and products for the outside arena floor so that it can better serve different activities and the Community. The Rec Committees’ concern is durability, as well as cleanliness due to the recurring bird issue. We also believe that the option of sealing and painting the floor might be a longer lasting product. We will continue to work with staff to find the best choice of material for the arena floor.
6. **Georgian Bay Winds Concert - 7pm. Oct 28, 2025:** Set-up for this event will be at 5 pm. Moved by T. Lacey and seconded by K. Deguara, The McKellar Rec Committee supports and assists the Georgian Bay Winds with as needed. (Set-up, ticket collection, gate receipts) **Motion Carried (25-46)**
7. **Volunteer List:** A copy of the volunteer list was distributed and members are asked to review it and remove individuals who may be no longer active with volunteering.
8. **Recommendation of New Member:** Moved by K. Deguara and Seconded by T. Lacey, that the McKellar Recreation Committee supports the nomination of Steve Walmsley for a position on this committee pending Council approval. **Carried (25-47)**

Next Meeting: November 27, 2025, 2025, 4 pm

Adjournment: Moved by T. Lacey and seconded by K. Deguara that the Recreation Committee of the Township of McKellar does hereby adjourn at 5:30 p.m. **Motion Carried (25-48).**



Township of McKellar Report to Council

Prepared for: Mayor & Council

Department: Public Works

Date: November 18, 2025

Report No: PW-2025-11

Subject: Acquisition of Kubota Z252 Series Zero-Turn Lawn Mower

Recommendation:

Be It Resolved That the Council of the Corporation of the Township of McKellar does hereby receive Report PW-2025-11 from Public Works Superintendent, Thomas Stoneman; and

Further That Council award Kubota North the contract to supply the Township with one (1) Kubota Z252 Series zero-turn riding lawn mower at a cost of \$9,999.99, plus HST of \$1,300.00, for a total of \$11,299.99.

Background:

At the November 4, 2025 Regular Meeting, Council authorized staff to utilize Canoe Procurement for the acquisition of a zero-turn lawn mower to obtain competitive pricing from approved members of the purchasing group.

Following this direction, staff contacted Andrew Marshall from Kubota to request pricing for a Kubota Z252 Series zero-turn riding mower. Canoe's request for proposal falls under their Grounds Maintenance Program, Contract No. 112624-KBA, which is valid until January 31, 2029.

Analysis:

Mr. Marshall coordinated with the local Kubota dealer, Kubota North in Bracebridge, who provided a quote reflecting the Canoe Procurement discount. The quoted amount totaled \$11,299.99, inclusive of all administrative fees and applicable taxes.

This quote represents good value for the Township, particularly considering that a similar mower was purchased in 2023 for \$300.00 more. The pricing demonstrates cost stability and benefits from group purchasing efficiencies through the Canoe program.

Financial:

The total purchase price of \$11,299.99 falls under the 2025 Capital Budget allocation of \$12,000.00. Given that the Township previously paid more for the same model.

Policies Affecting Proposal:

Procurement By-law No. 2025-53

Conclusion:

The purchase of the Kubota Z252 Series zero-turn riding lawn mower from Kubota North through the Canoe Procurement Program provides the Township with a reliable, cost-effective solution for grounds maintenance. The proposal aligns with the Township's procurement policies and remains within budget.

Respectfully submitted by:

Thomas Stoneman, Public Works Superintendent

Reviewed by:

Karlee Britton, Clerk/Administrator

Attachments: Quotation from Kubota North, No. 2133491



Quote # 2133491

Reference: Z252

Expires: 10/30/2025

Prepared for: Township Of Mckellar

ROADS@MCKELLAR.CA

By: Michael Loshaw

Canoe (Sourcewell) ID: Township of McKellar LAS1172

Equipment

1 New Kubota #Z202 Z200 Series

Item	Class	Description	Serial #	\$Qty	Unit Price	Ext Price
#Z202		Z200 Series		1	\$0.00	\$0.00
K304241010		Z252KW-54 24HP GAS KAWI 54" SD SS		1	\$11,686.00	\$11,686.00
Includes...						
54" Side Discharge		54" Side Discharge		1	\$0.00	\$0.00
Kawasaki		Kawasaki		1	\$0.00	\$0.00



* Not exactly as shown. Shown with optional product.

MSRP \$11,686.00

Canoe Discount 2570.92

Total Discounts \$2,570.92**Net Price \$9,115.08**

Freight \$296.24

PDI \$350.00

Setup \$0.00

Taxable Environmental Charges \$0.00

Grand Total \$9,761.32

Non Taxable Environmental Charges \$0.00

Notes:



Quote # 2133491 Reference: Z252
 Prepared for: Township Of Mckellar ROADS@MCKELLAR.CA
 Canoe (Sourcewell) ID: Township of McKellar LAS1172

Expires: 10/30/2025

By: Michael Loshaw

Quote Summary

Notes:

Equipment Total	\$11,686.00
Total Discounts	\$2,570.92
Equipment Total Less Discounts	\$9,115.08
Freight	\$296.24
PDI	\$350.00
Setup	\$0.00
Administration Fees	\$238.67
Taxable Environmental Charges	\$0.00
Other Taxable	\$0.00
Plus Purchasable Warranty	\$0.00
Selling Price	\$9,999.99
Less Trades	\$0.00
Total After Trades	\$9,999.99
GST/HST	\$1,300.00
PST/QST	\$0.00
Non Taxable Environmental Charges	\$0.00
Other Non-Taxable	\$0.00
Total	\$11,299.99
Liens outstanding on trade-in	\$0.00

PRICES QUOTED ARE VALID ONLY CURRENT MONTH END
 OUR BUILD TIME IS 2-4 WEEKS MINIMUM AT THIS TIME.

Every effort is made to ensure accuracy, however, if an error is made, we reserve the right to reject the quote.

Pricing provided in this quote is subject to change based on tariffs, taxes, or any changes in applicable import/export regulations. We cannot guarantee pricing in the event of tariff adjustments or new governmental regulations that may impact costs. We will notify you promptly of any changes that affect the quoted price.

ALL SALES ARE FINAL.

SELECTED KUBOTA AND AFTERMARKET WILL BE CHARGED A 35% RE-STOCKING FEE

Pricing provided in this quote is subject to change based on tariffs, taxes, or any changes in applicable import/export regulations. We cannot guarantee pricing in the event of tariff adjustments or new governmental regulations that may impact costs. We will notify you promptly of any changes that affect the quoted price.

Prices quoted are valid for 24 hours only due to rapidly changing economic conditions. All efforts are made to ensure accuracy; however, we reserve the right to correct or decline quotes in the event of an error. Build times are currently estimated at 7-10 days, depending on availability. Pricing is subject to change without notice based on tariffs, taxes, or changes to import/export regulations. Any such adjustments will be communicated promptly. For questions or concerns, please contact your salesperson.

To accept, please sign here and return to dealer

Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)

ITEM 17.2

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
<u>General Government</u>										
1219	CENTRAL SQUARE, 1000 BUSINESS CENTER DRIVE, LAKE MARY, FL, 32746									
447202		09-26-25	Information Technology Support - ASYST ECHECK ANNUAL MAINTENANCE FEE DEC 2025 - 2026	10-31-25	\$82.27	\$82.27	01-02-060-023	Information Technology	\$45,000.00	(\$2,924.89)
						\$82.27				
Total General Government						\$82.27				
<u>Fire Protection Services</u>										
217	Parry Sound Fuels, 114 Bowes Street, Parry Sound, ON, P2A 2L7									
902923		09-26-25	Fuel - Diesel - ULTRA LOW SULPHUR DIESEL - FIRE HALL # 2	10-31-25	\$715.83	\$715.83	01-03-153-142	Fuel - Diesel	\$5,000.00	\$1,719.00
						\$715.83				
436	A. J. Stone Company Ltd, 62 Bradwick Drive, Vaughan, ON, L4K 1K8									
0000194645		09-19-25	Fire Fighting Tools/Equipment - HYDRANT ADAPTER	10-31-25	\$401.98	\$401.98	01-03-150-111	Fire Fighting	\$29,724.00	\$8,906.55
						\$401.98				
1442	CEV CARRIER EMERGENCY VEHICLES, 585 OAK PARK ROAD UNIT C, BRANTFORD, ON, N3T 5L8									
02101		09-17-25	Maintenance Repairs - ANNUAL PUMP & LADDER TESTING - TANKER T522	10-31-25	\$1,571.02	\$1,571.02	01-03-151-113	Maintenance Repairs	\$3,000.00	\$3,000.00
02104		09-22-25	Maintenance Repairs - ANNUAL PUMP & LADDER TESTING - PUMPER P511	10-31-25	\$702.14	\$702.14	01-03-151-113	Maintenance Repairs	\$3,000.00	\$3,000.00
02103		09-22-25	T1-2019 INT.TRUCK#709568 - ANNUAL PUMP & LADDER TESTING - TANKER T512	10-31-25	\$407.04	\$407.04	01-03-153-206	T1-2019	\$3,500.00	\$2,417.62
						\$2,680.20				
Total Fire Protection Services						\$3,798.01				
<u>Protection to Persons and Property</u>										
1392	CHRIS KASULKE,									
202508		09-24-25	Bylaw Enforcement Annual Levy - BY-LAW ENFORCEMENT - AUGUST 2025	10-31-25	\$1,636.71	\$1,636.71	01-05-182-030	Bylaw Enforcement	\$40,000.00	\$31,984.52
202508		09-24-25	Mileage	10-31-25	\$46.68	\$46.68	01-05-190-006	Mileage	\$3,000.00	\$2,815.90
						\$1,683.39				
Total Protection to Persons and Property						\$1,683.39				

Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
<u>General</u>										
308	Debbie Zulak,									
SEPT29/25	09-29-25	Bank Account - COUNCILLOR PAY SEPT 14 - SEPT 27	10-31-25	\$701.80	\$701.80	01-00-011-801	Bank Account	\$0.00	(\$7,725,792.9	
					\$701.80					
Total General					\$701.80					
<u>Fire Protection Services</u>										
301	WOSSCO Diesel Power, PO Box 100, Nobel, ON, P0G 1C0									
11938	04-08-25	T2 - 2013 Freightliner - Fire Dept - ANNUAL INSPECTION FOR TANKER T522	10-31-25	\$1,977.10	\$1,977.10	01-03-153-207	T2 - 2013 Freightliner -	\$3,500.00	\$3,500.00	
					\$1,977.10					
Total Fire Protection Services					\$1,977.10					
<u>Parks and Recreation Facilities</u>										
239	Rona Building Centre, 115 Bowes Street, Parry Sound, ON, P2A 2L8									
236806/	09-25-25	Boat Ramp/Dock Maintenance - REPAIRS FOR DOCKS	10-31-25	\$89.24	\$89.24	01-11-360-133	Boat Ramp/Dock	\$4,000.00	\$3,222.62	
237023/	10-01-25	Boat Ramp/Dock Maintenance - REPAIRS FOR DOCKS	10-31-25	\$13.72	\$13.72	01-11-360-133	Boat Ramp/Dock	\$4,000.00	\$3,222.62	
236806/	09-25-25	Maintenance Costs/Parts - REPAIRS FOR PICNIC TABLES	10-31-25	\$89.23	\$89.23	01-11-360-143	Maintenance Costs/Parts	\$7,000.00	\$4,030.14	
237023/	10-01-25	Materials & Supplies - REPAIRS FOR PICNIC TABLES	10-31-25	\$18.31	\$18.31	01-11-360-145	Materials & Supplies	\$4,000.00	\$729.94	
					\$210.50					
1405	TERRY LACEY,									
SEPT-25	09-30-25	Recreation Programs - REIMBURSEMENT FOR TRICK OR TRUNK SUPPLIES - REC COMM	10-31-25	\$423.40	\$423.40	01-11-360-129	Recreation Programs	\$7,900.00	\$7,352.13	
					\$423.40					
Total Parks and Recreation Facilities					\$633.90					
Total Bills To Pay:					\$3,312.80					

Township of McKellar
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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
<u>Transportation</u>										
109	Home Hardware, 31 Joseph Street, Parry Sound, ON, P2A 2G3									
188710		09-25-25	Materials & Supplies - FUEL FOR CHAINSAW - BRUSHING	10-31-25	\$61.04	\$61.04	01-06-221-145	Materials & Supplies	\$3,000.00	\$1,525.54
						\$61.04				
845	TOROMONT CAT, 3131 Highway 7 West., POBox 5511, Concord, ON, L4K 1B7									
WO050932960		09-29-25	Maintenance Costs/Parts - REPAIRS FOR CAT GRADER 140MAWD	10-31-25	\$4,622.91	\$4,622.91	01-06-248-143	Maintenance Costs/Parts	\$20,000.00	\$18,303.06
						\$4,622.91				
985	GIN-COR, 5151 HIGHWAY 17 WEST, MATTAWA, ON, P0H 1V0									
94383		09-12-25	Maintenance Costs/Parts - REPAIRS ON PLOWS & SANDERS FOR FREIGHTLINERS 20	10-31-25	\$4,581.17	\$4,581.17	01-06-233-143	Maintenance Costs/Parts	\$13,000.00	\$7,720.00
94383		09-12-25	Maintenance Costs/Parts - REPAIRS ON PLOWS & SANDERS FOR FREIGHTLINERS 19	10-31-25	\$4,319.75	\$4,319.75	01-06-237-143	Maintenance Costs/Parts	\$17,000.00	\$5,328.57
94383		09-12-25	Maintenance Costs/Parts - REPAIRS ON PLOWS & SANDERS FOR FREIGHTLINERS 21	10-31-25	\$3,519.45	\$3,519.45	01-06-250-143	Maintenance Costs/Parts	\$10,000.00	\$8,973.29
						\$12,420.37				
Total Transportation						\$17,104.32				
<u>Community Centre</u>										
109	Home Hardware, 31 Joseph Street, Parry Sound, ON, P2A 2G3									
188727		09-26-25	Water Testing - WATER SOFTNER	10-31-25	\$640.45	\$640.45	01-12-370-257	Water Testing	\$2,000.00	\$1,055.53
						\$640.45				
Total Community Centre						\$640.45				
Total Bills To Pay:						\$23,308.44				

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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
General										
643	OMERS ADMINISTRATION CORPORATION, 900-100 ADELAIDE STREET WEST, TORONTO, ON, M5H 0E2									
OCT2025		10-03-25	OMERS Payable - PENSION CONTRIBUTION	10-31-25	\$17,192.66	\$17,192.66	01-00-000-639	OMERS Payable	\$0.00	(\$17,192.66)
			SEPT 2025							
						\$17,192.66				
Total General						\$17,192.66				

General Government

836	HURONIA ALARM & FIRE SECURITY INC., 233 MIDLAND AVE., MIDLAND, ON, L4R 3K1									
1353144		08-01-25	Security Systems - MONITORING ALARM	10-31-25	\$183.17	\$183.17	01-02-060-028	Security Systems	\$1,000.00	\$450.49
			SYSTEM AUG 1-JAN 31/26							
						\$183.17				
873	Manulife Financial, PO BOX 1627, WATERLOO, ON, N2J 4P4									
OCT-25		10-01-25	Employee Benefits	10-31-25	\$727.33	\$727.33	01-02-060-005	Employee Benefits	\$20,707.89	\$7,989.13
OCT-25		10-01-25	Employee Benefits	10-31-25	\$518.87	\$518.87	01-02-060-005	Employee Benefits	\$20,707.89	\$7,989.13
OCT-25		10-01-25	Employee Benefits	10-31-25	\$192.85	\$192.85	01-02-060-005	Employee Benefits	\$20,707.89	\$7,989.13
OCT-25		10-01-25	Employee Benefits	10-31-25	\$515.04	\$515.04	01-02-060-005	Employee Benefits	\$20,707.89	\$7,989.13
						\$1,954.09				
1486	AIG INSURANCE COMPANY OF CANADA, P.O. BOX 15286 STATION A, TORONTO, ON, M5W 1C1									
OCT-25		10-01-25	Employee Benefits	10-31-25	\$2.30	\$2.30	01-02-060-005	Employee Benefits	\$20,707.89	\$7,989.13
OCT-25		10-01-25	Employee Benefits	10-31-25	\$3.87	\$3.87	01-02-060-005	Employee Benefits	\$20,707.89	\$7,989.13
OCT-25		10-01-25	Employee Benefits	10-31-25	\$4.38	\$4.38	01-02-060-005	Employee Benefits	\$20,707.89	\$7,989.13
OCT-25		10-01-25	Employee Benefits	10-31-25	\$3.65	\$3.65	01-02-060-005	Employee Benefits	\$20,707.89	\$7,989.13
						\$14.20				
Total General Government						\$2,151.46				

Fire Protection Services

873	Manulife Financial, PO BOX 1627, WATERLOO, ON, N2J 4P4									
OCT-25		10-01-25	Employee Benefits	10-31-25	\$77.74	\$77.74	01-03-150-005	Employee Benefits	\$6,000.00	\$2,118.13
						\$77.74				
2559	EXPRESS IMPRESSIONS INC., 2 BRAM COURT, UNIT 2, BRAMPTON, ON, L6W 3R6									
37966		09-25-25	Safety Equipment/Protective Clothing -	10-31-25	\$510.98	\$510.98	01-03-150-100	Safety	\$20,000.00	\$8,740.36
			EMBROIDERED BLACK TOQUES							
						\$510.98				
2597	SKRABEK WILDLIFE MANAGEMENT SOLUTIONS, 120 CRESSWELL ROAD, MANILLA, ON, K0M 2J0									
20254368		09-21-25	Maintenance Repairs - SET-UP RODENT BAIT	10-31-25	\$330.72	\$330.72	01-03-151-113	Maintenance Repairs	\$3,000.00	\$726.84
			AT FIRE HALL # 1							
20254368		09-21-25	Maintenance Repairs - SET-UP RODENT BAIT	10-31-25	\$330.72	\$330.72	01-03-152-113	Maintenance Repairs	\$4,000.00	\$1,796.84
			AT FIRE HALL # 2							

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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
						\$661.44				
Total Fire Protection Services						\$1,250.16				
<u>Building Department</u>										
873	Manulife Financial, PO BOX 1627, WATERLOO, ON, N2J 4P4									
OCT-25	10-01-25 Employee Benefits		10-31-25	\$508.32	\$508.32	01-04-170-005	Employee Benefits	\$9,126.62	\$3,969.89	
						\$508.32				
1486	AIG INSURANCE COMPANY OF CANADA, P.O. BOX 15286 STATION A, TORONTO, ON, M5W 1C1									
OCT-25	10-01-25 Employee Benefits		10-31-25	\$3.27	\$3.27	01-04-170-005	Employee Benefits	\$9,126.62	\$3,969.89	
						\$3.27				
Total Building Department						\$511.59				
<u>Transportation</u>										
109	Home Hardware, 31 Joseph Street, Parry Sound, ON, P2A 2G3									
188803	10-02-25 Workshop Supplies - BYPASS LOOPER CONTROL & BROOM		10-31-25	\$48.83	\$48.83	01-06-210-148	Workshop Supplies	\$3,000.00	\$735.67	
						\$48.83				
217	Parry Sound Fuels, 114 Bowes Street, Parry Sound, ON, P2A 2L7									
903721	10-03-25 Fuel - Gas - REGULAR GAS		10-31-25	\$443.52	\$443.52	01-06-228-141	Fuel - Gas	\$1,000.00	(\$4,714.62)	
903719	10-03-25 Fuel - Diesel - DYED LOW SULPHUR DIESEL		10-31-25	\$935.91	\$935.91	01-06-228-142	Fuel - Diesel	\$65,000.00	\$26,011.28	
903720	10-03-25 Fuel - Diesel - ULTRA LOW SULPHUR DIESEL		10-31-25	\$1,698.54	\$1,698.54	01-06-228-142	Fuel - Diesel	\$65,000.00	\$26,011.28	
						\$3,077.97				
334	Valley Blades Limited, , PO Box 126, Waterloo, ON, N2J 3Z9									
SV108009	09-29-25 Materials & Supplies - SNOW PLOW PARTS		10-31-25	\$498.72	\$498.72	01-06-226-145	Materials & Supplies	\$12,000.00	\$6,005.80	
						\$498.72				
873	Manulife Financial, PO BOX 1627, WATERLOO, ON, N2J 4P4									
OCT-25	10-01-25 Employee Benefits		10-31-25	\$448.87	\$448.87	01-06-200-005	Employee Benefits	\$23,155.20	\$4,178.91	
OCT-25	10-01-25 Employee Benefits		10-31-25	\$269.99	\$269.99	01-06-200-005	Employee Benefits	\$23,155.20	\$4,178.91	
OCT-25	10-01-25 Employee Benefits		10-31-25	\$443.63	\$443.63	01-06-200-005	Employee Benefits	\$23,155.20	\$4,178.91	
OCT-25	10-01-25 Employee Benefits		10-31-25	\$437.34	\$437.34	01-06-200-005	Employee Benefits	\$23,155.20	\$4,178.91	
OCT-25	10-01-25 Employee Benefits		10-31-25	\$504.01	\$504.01	01-06-200-005	Employee Benefits	\$23,155.20	\$4,178.91	
						\$2,103.84				
1486	AIG INSURANCE COMPANY OF CANADA, P.O. BOX 15286 STATION A, TORONTO, ON, M5W 1C1									
OCT-25	10-01-25 Employee Benefits		10-31-25	\$1.81	\$1.81	01-06-200-005	Employee Benefits	\$23,155.20	\$4,178.91	
OCT-25	10-01-25 Employee Benefits		10-31-25	\$3.02	\$3.02	01-06-200-005	Employee Benefits	\$23,155.20	\$4,178.91	

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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
OCT-25		10-01-25	Employee Benefits	10-31-25	\$1.92	\$1.92	01-06-200-005	Employee Benefits	\$23,155.20	\$4,178.91
OCT-25		10-01-25	Employee Benefits	10-31-25	\$1.92	\$1.92	01-06-200-005	Employee Benefits	\$23,155.20	\$4,178.91
OCT-25		10-01-25	Employee Benefits	10-31-25	\$2.05	\$2.05	01-06-200-005	Employee Benefits	\$23,155.20	\$4,178.91
						\$10.72				
2600	LERNERS LLP, 80 DUFFERIN AVE, P.O. BOX 2335, LONDON, ON, N6A 4G4									
40176929		09-30-25	Professional Services - Legal - DRAINAGE LEGAL	10-31-25	\$966.72	\$966.72	01-06-200-020	Professional Services -	\$10,000.00	\$3,374.14
						\$966.72				
Total Transportation						\$6,706.80				
<u>Environmental Services</u>										
331	Municipality of McDougall, 5 Baragar Blvd., McDougall, ON, P2A 2W9									
26070		09-30-25	Waste Tipping Fees - SEPTEMBER 2025	10-31-25	\$9,226.38	\$9,226.38	01-08-301-123	Waste Tipping Fees	\$82,000.00	\$19,540.12
						\$9,226.38				
873	Manulife Financial, PO BOX 1627, WATERLOO, ON, N2J 4P4									
OCT-25		10-01-25	Employee Benefits	10-31-25	\$117.31	\$117.31	01-08-300-005	Employee Benefits	\$1,428.00	\$381.34
						\$117.31				
Total Environmental Services						\$9,343.69				
<u>Health Services</u>										
196	NORTH BAY PARRY SOUND DISTRICT HEALTH UNIT, 345 OAK STREET WEST, NORTH BAY, ON, P1B 2T2									
OCT2025		10-01-25	North Bay Parry Sound Health Unit Annual Levy - MUNICIPAL LEVY - OCTOBER 2025	10-31-25	\$3,691.33	\$3,691.33	01-09-330-030	North Bay Parry Sound	\$44,296.00	\$11,073.99
						\$3,691.33				
Total Health Services						\$3,691.33				
<u>Parks and Recreation Facilities</u>										
109	Home Hardware, 31 Joseph Street, Parry Sound, ON, P2A 2G3									
188799		10-02-25	Skating Rink Maintenance - RETURNED WEATHERSTRIPPING - INV# 188684	10-31-25	(\$30.52)	(\$30.52)	01-11-360-131	Skating Rink Maintenance	\$13,000.00	\$12,945.09
188800		10-02-25	Skating Rink Maintenance - WEATHERSTRIPPING - ICE RINK	10-31-25	\$12.20	\$12.20	01-11-360-131	Skating Rink Maintenance	\$13,000.00	\$12,945.09
188777		10-01-25	Materials & Supplies - PICNIC BENCH REPAIRS	10-31-25	\$49.60	\$49.60	01-11-360-145	Materials & Supplies	\$4,000.00	\$711.63
						\$31.28				
873	Manulife Financial, PO BOX 1627, WATERLOO, ON, N2J 4P4									

**Township of McKellar
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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
OCT-25		10-01-25	Employee Benefits	10-31-25	\$244.67	\$244.67	01-11-360-005	Employee Benefits	\$3,672.00	\$1,300.20
						\$244.67				
1486	AIG INSURANCE COMPANY OF CANADA, P.O. BOX 15286 STATION A, TORONTO, ON, M5W 1C1									
OCT-25		10-01-25	Employee Benefits	10-31-25	\$1.49	\$1.49	01-11-360-005	Employee Benefits	\$3,672.00	\$1,300.20
						\$1.49				
Total Parks and Recreation Facilities						\$277.44				
<u>Community Centre</u>										
873	Manulife Financial, PO BOX 1627, WATERLOO, ON, N2J 4P4									
OCT-25		10-01-25	Employee Benefits	10-31-25	\$404.48	\$404.48	01-12-370-005	Employee Benefits	\$2,734.74	(\$977.52)
						\$404.48				
1486	AIG INSURANCE COMPANY OF CANADA, P.O. BOX 15286 STATION A, TORONTO, ON, M5W 1C1									
OCT-25		10-01-25	Employee Benefits	10-31-25	\$1.49	\$1.49	01-12-370-005	Employee Benefits	\$2,734.74	(\$977.52)
						\$1.49				
Total Community Centre						\$405.97				
<u>Planning and Development</u>										
2595	PLANSCAPE INC., 104 KIMBERLEY AVE, BRACEBRIDGE, ON, P1L 1Z8									
477374		09-30-25	Planning Consultant Services - MOFFAT REZONING	10-31-25	\$307.19	\$307.19	01-14-400-021	Planning Consultant	\$50,000.00	\$43,981.29
						\$307.19				
Total Planning and Development						\$307.19				
Total Bills To Pay:						\$41,838.29				

Township of McKellar
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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
<u>General Government</u>										
1019	CIBC VISA, P.O. BOX 4595, STATION "A", TORONTO, ON, M5W 4X9									
SEPT-25	09-22-25	Telephone - TELIZON	10-31-25	\$4.91	\$4.91	01-02-060-007	Telephone		\$2,600.00	\$978.19
SEPT-25	09-22-25	Office Supplies/Materials - AMAZON FRAME	10-31-25	\$22.37	\$22.37	01-02-060-009	Office Supplies/Materials		\$4,500.00	\$1,507.60
SEPT-25	09-22-25	Office Supplies/Materials - AMAZON SOFTBALL DISPLAY	10-31-25	\$29.99	\$29.99	01-02-060-009	Office Supplies/Materials		\$4,500.00	\$1,507.60
SEPT-25	09-22-25	Conferences - MFOA FEES	10-31-25	\$1,292.35	\$1,292.35	01-02-060-016	Conferences		\$3,000.00	\$597.40
SEPT-25	09-22-25	Memberships/Subscriptions - BLINK	10-31-25	\$152.64	\$152.64	01-02-060-017	Memberships/Subscriptio		\$4,000.00	\$777.41
SEPT-25	09-22-25	Information Technology Support - GOOGLE SUITES	10-31-25	\$246.05	\$246.05	01-02-060-023	Information Technology		\$45,000.00	(\$4,522.43)
SEPT-25	09-22-25	Telecommunicaiton Service (Internet, Website) - STARLINK	10-31-25	\$791.69	\$791.69	01-02-060-031	Telecommunicaiton		\$9,500.00	\$3,265.43
SEPT-25	09-22-25	Telecommunicaiton Service (Internet, Website) - XPLOARNET	10-31-25	\$99.21	\$99.21	01-02-060-031	Telecommunicaiton		\$9,500.00	\$3,265.43
						\$2,639.21				
Total General Government						\$2,639.21				
<u>Fire Protection Services</u>										
1019	CIBC VISA, P.O. BOX 4595, STATION "A", TORONTO, ON, M5W 4X9									
SEPT-25	09-22-25	Memberships/Subscriptions - YOUTUBE	10-31-25	\$13.22	\$13.22	01-03-150-017	Memberships/Subscriptio		\$1,200.00	(\$46.49)
SEPT-25	09-22-25	Emergency First Response Supplies - FISHERS REGALIA	10-31-25	\$356.15	\$356.15	01-03-150-042	Emergency First		\$5,000.00	\$3,624.22
SEPT-25	09-22-25	Equipment & Repairs - HOME DEPOT DRY HYDRANT	10-31-25	\$42.97	\$42.97	01-03-150-114	Equipment & Repairs		\$8,500.00	\$6,503.40
SEPT-25	09-22-25	Motor Oil/Grease - PARRY SOUND AUTO PARTS	10-31-25	\$93.75	\$93.75	01-03-153-140	Motor Oil/Grease		\$500.00	\$390.16
						\$506.09				
Total Fire Protection Services						\$506.09				
<u>Building Department</u>										
1019	CIBC VISA, P.O. BOX 4595, STATION "A", TORONTO, ON, M5W 4X9									
SEPT-25	09-22-25	Computer Software & Hardware - TRAX	10-31-25	\$170.96	\$170.96	01-04-170-023	Computer Software &		\$4,500.00	\$226.08
						\$170.96				
Total Building Department						\$170.96				

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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
<u>Transportation</u>										
12	Adams Brothers Construction Ltd, P.O. Box 324, Parry Sound, ON, P2A 2X4									
185830		10-06-25	Maintenance Costs/Parts - REPAIRED PULLEY, BELT, & TRANSMISSION FILTER - CAT BACKHOE	10-31-25	\$2,954.08	\$2,954.08	01-06-243-143	Maintenance Costs/Parts	\$25,000.00	\$8,871.11
						\$2,954.08				
21	ACE Equipment Rentals, PO Box 324, Parry Sound, ON, P2A 2X4									
36688		10-03-25	Contracted Services - 2 WEEK RENTAL FOR EXCAVATOR - CULVURTS	10-31-25	\$7,687.97	\$7,687.97	01-06-220-147	Contracted Services	\$10,000.00	\$10,000.00
						\$7,687.97				
119	Dan Hamel,									
OCT-25		10-05-25	Mileage - FOR PROVINCIAL PLOW TRUCK ROADEO AT BECKWITH	10-31-25	\$313.77	\$313.77	01-06-200-006	Mileage	\$500.00	\$500.00
						\$313.77				
284	Weeks Construction Inc., PO Box 397, Parry Sound, ON, P2A 2X4									
107375		10-08-25	Materials & Supplies	10-31-25	\$15,477.70	\$15,477.70	01-06-634-145	Materials & Supplies	\$474,537.41	\$250,387.65
107375		10-08-25	Capital - Construction - Roads - Hardtop	10-31-25	\$181,183.76	\$181,183.76	01-06-634-424	Capital - Construction -	\$2,442,027.32	\$2,236,882.05
107375		10-08-25	Capital - Construction - Roads - Gravel	10-31-25	\$422,678.39	\$422,678.39	01-06-634-425	Capital - Construction -	\$777,446.40	\$733,030.93
107375		10-08-25	Capital - Consult Service	10-31-25	\$6,452.56	\$6,452.56	01-06-634-428	Capital - Consult Service	\$179,606.40	\$105,658.71
						\$625,792.41				
289	West P.S. RD Supt Association, 5 Humphrey Drive, Seguin, ON, P2A 2W8									
OCT-25		10-08-25	Memberships/Subscriptions - PARTICIPATION FEES FOR DAN HAMEL ROADEO	10-31-25	\$125.00	\$125.00	01-06-200-017	Memberships/Subscriptio	\$1,000.00	\$24.21
						\$125.00				
1019	CIBC VISA, P.O. BOX 4595, STATION "A", TORONTO, ON, M5W 4X9									
SEPT-25		09-22-25	Office Supplies/Materials - AMAZON DAILY PLANNER	10-31-25	\$45.78	\$45.78	01-06-200-009	Office Supplies/Materials	\$500.00	(\$310.87)
SEPT-25		09-22-25	Office Supplies/Materials - AMAZON COFFEE	10-31-25	\$39.99	\$39.99	01-06-200-009	Office Supplies/Materials	\$500.00	(\$310.87)
SEPT-25		09-22-25	Courses & Training - HOTEL SERVICE FEE	10-31-25	\$17.99	\$17.99	01-06-200-015	Courses & Training	\$5,000.00	\$2,606.60
						\$103.76				
Total Transportation						\$636,976.99				

Environmental Services

12	Adams Brothers Construction Ltd, P.O. Box 324, Parry Sound, ON, P2A 2X4									
185605		09-30-25	Scrap Metal Revenue - SCRAP PURCHASE	10-31-25	(\$537.68)	(\$537.68)	01-08-104-571	Scrap Metal Revenue	\$8,500.00	\$1,579.43

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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
185762		10-03-25	Scrap Metal Revenue - SCRAP PURCHASE	10-31-25	(\$582.50)	(\$582.50)	01-08-104-571	Scrap Metal Revenue	\$8,500.00	\$1,579.43
185761		10-03-25	Waste Hauling Contract - SEPTEMBER 2025	10-31-25	\$5,131.25	\$5,131.25	01-08-301-122	Waste Hauling Contract	\$60,000.00	\$23,798.42
						\$4,011.07				
Total Environmental Services						\$4,011.07				

Parks and Recreation Facilities

284	Weeks Construction Inc., PO Box 397, Parry Sound, ON, P2A 2X4								
107304	10-03-25 Maintenance Costs/Parts - MONTHLY TOILET RENTAL SEPT 5 - OCT 3 - COMM HALL	10-31-25	\$190.29	\$190.29	01-11-360-143	Maintenance Costs/Parts	\$7,000.00	\$3,940.91	
107305	10-03-25 Maintenance Costs/Parts - MONTHLY TOILET RENTAL SEPT 5 - OCT 3 - MINERVA PARK	10-31-25	\$336.83	\$336.83	01-11-360-143	Maintenance Costs/Parts	\$7,000.00	\$3,940.91	

Cultural

2599	JEANETTE CLEMENTS,									
OCT-25-3		10-01-25	Advertising - REIMBURSEMENT FOR BUSINESS CARDS - ST. STEPHENS & MUSEUM	10-31-25	\$47.21	\$47.21	01-13-383-011	Advertising	\$500.00	\$426.97
OCT-25-1		10-01-25	Event Materials & Supplies - REIMBURSEMENT FOR PRINTED PHOTOS - ST. STEPHENS CHURCH	10-31-25	\$129.29	\$129.29	01-13-383-145	Event Materials &	\$1,500.00	\$1,110.95
OCT-25-2		10-01-25	Event Materials & Supplies - REIMBURSEMENT FOR CARDSTOCK & GLUE - ST. STEPHENS CHURCH	10-31-25	\$53.92	\$53.92	01-13-383-145	Event Materials &	\$1,500.00	\$1,110.95
OCT-25-4		10-01-25	Event Materials & Supplies - REIMBURSEMENT FOR FRAMES - ST. STEPHENS CHURCH	10-31-25	\$42.69	\$42.69	01-13-383-145	Event Materials &	\$1,500.00	\$1,110.95
						\$273.11				

Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
Total Cultural						\$273.11				
Planning and Development										
1159	TERRANCE COLE,									
OCT-25		10-02-25	McKellar Market Vendor Fees - REFUND FOR VENDOR FEES - MARKET	10-31-25	\$45.00	\$45.00	01-14-104-539	McKellar Market Vendor	\$19,488.00	(\$6,237.00)
						\$45.00				
1474	GENERATIONS EFFECT, PO BOX 662, PARRY SOUND, ON, P2A 2Z1									
20250924-01		09-24-25	Georgian Bay Biosphere Research - 2025 BENTHIC MONITORING - LAKE MANITOUWABING	10-31-25	\$1,934.50	\$1,934.50	01-14-411-037	Georgian Bay Biosphere	\$4,600.00	\$2,665.50
						\$1,934.50				
2601	VANESSA STEWART, , , ,									
OCT-25		10-08-25	McKellar Market Vendor Fees - REFUND FOR VENDOR FEES - MARKET	10-31-25	\$45.00	\$45.00	01-14-104-539	McKellar Market Vendor	\$19,488.00	(\$6,237.00)
						\$45.00				
Total Planning and Development						\$2,024.50				
Total Bills To Pay:						\$647,274.45				

Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
General										
154	MINISTER OF FINANCE, 33 KING STREET WEST, P.O. BIX 620, OSHAWA, ON, L1H 8E9									
SEP2025	10-07-25 EHT payable			10-31-25	\$2,080.07	\$2,080.07	01-00-000-637	EHT payable	\$0.00	(\$2,074.93)
						\$2,080.07				
235	RECEIVER GENERAL, CANADA REVENUE AGENCY TECHNOLOGY CENTRE, 875 HERON ROAD, OTTAWA, ON, K1A 1B1									
OCT9/25	10-09-25 CPP Deductions			10-31-25	\$17,184.06	\$17,184.06	01-00-000-631	CPP Deductions	\$0.00	(\$6,448.32)
OCT9/25	10-09-25 EI Deductions			10-31-25	\$6,448.52	\$6,448.52	01-00-000-632	EI Deductions	\$0.00	(\$2,058.32)
OCT9/25	10-09-25 Income Tax Payable			10-31-25	\$2,089.65	\$2,089.65	01-00-000-633	Income Tax Payable	\$0.00	(\$17,184.51)
						\$25,722.23				
287	Workplace Safety & Insurance Board, PO Box 4115, Station A, Toronto, ON, M5W 2V3									
JULY-SEP2025	07-18-25 WSIB payable - WSIB - JULY-SEPT 30, 2025			07-31-25	\$10,914.67	\$10,914.67	01-00-000-636	WSIB payable	\$0.00	(\$10,997.04)
						\$10,914.67				
Total General						\$38,716.97				
Total Bills To Pay:						\$38,716.97				

Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
<u>General</u>										
60	Canada Brokerlink (Ontario) Inc., 24 WILLIAM STREET, PARRY SOUND, ON, P2A 1V1									
1386388		08-07-25	Prepaid Expense - MUNICIPAL INSURANCE RENEWAL 2025-2026 - BLIA	10-31-25	\$66,522.60	\$66,522.60	01-00-016-834	Prepaid Expense	\$0.00	\$3,075.18
1386392		08-07-25	Prepaid Expense - MUNICIPAL INSURANCE RENEWAL 2025-2026 - LEGAL EXPENSE	10-31-25	\$1,240.92	\$1,240.92	01-00-016-834	Prepaid Expense	\$0.00	\$3,075.18
1386412		08-07-25	Prepaid Expense - MUNICIPAL INSURANCE RENEWAL 2025-2026 - BOILER & EQUIPMENT BREAKDOWN	10-31-25	\$1,452.60	\$1,452.60	01-00-016-834	Prepaid Expense	\$0.00	\$3,075.18
1386418		08-07-25	Prepaid Expense - MUNICIPAL INSURANCE RENEWAL 2025-2026 - EXCESS LIABILITY	10-31-25	\$3,086.64	\$3,086.64	01-00-016-834	Prepaid Expense	\$0.00	\$3,075.18
1386422		08-07-25	Prepaid Expense - MUNICIPAL INSURANCE RENEWAL 2025-2026 - COMMERCIAL AUTO	10-31-25	\$29,602.00	\$29,602.00	01-00-016-834	Prepaid Expense	\$0.00	\$3,075.18
1402139		08-29-25	Prepaid Expense - MUNICIPAL INSURANCE RENEWAL 2025-2026 - BRIDGES	10-31-25	\$1,480.68	\$1,480.68	01-00-016-834	Prepaid Expense	\$0.00	\$3,075.18
1420729		09-26-25	Prepaid Expense - MUNICIPAL INSURANCE RENEWAL 2025-2026 - COMMERCIAL PROPERTY	10-31-25	\$48,932.64	\$48,932.64	01-00-016-834	Prepaid Expense	\$0.00	\$3,075.18
						\$152,318.08				
308	Debbie Zulak,									
OCT10/25		10-10-25	Bank Account - COUNCILLOR PAY SEPT 28-OCT 11	10-31-25	\$701.80	\$701.80	01-00-011-801	Bank Account	\$0.00	(\$7,751,410.90)
						\$701.80				
Total General						\$153,019.88				
<u>General Government</u>										
116	Hydro One Networks Inc., P. O. Box 4102 Stn A, Toronto, ON, M5W 3L3									
OCT-25		10-03-25	Hydro Admin	10-31-25	\$894.88	\$894.88	01-02-060-008	Hydro Admin	\$14,000.00	\$870.55
						\$894.88				
Total General Government						\$894.88				
<u>Fire Protection Services</u>										
116	Hydro One Networks Inc., P. O. Box 4102 Stn A, Toronto, ON, M5W 3L3									
OCT-25		10-03-25	Hydro	10-31-25	\$126.04	\$126.04	01-03-151-008	Hydro	\$2,500.00	\$1,180.81
OCT-25		10-03-25	Hydro	10-31-25	\$248.71	\$248.71	01-03-152-008	Hydro	\$3,500.00	\$975.01
OCT-25		10-03-25	Hydro	10-31-25	\$107.96	\$107.96	01-03-154-008	Hydro	\$1,750.00	\$506.83
						\$482.71				

Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
468	Fire Protection Survey Services, 6515 Rama Road, P.o Box 170, Longford Mills, ON, L0K 1L0									
2025-5		10-06-25	Equipment & Repairs - TANKER SHUTTLE ACCREDITATION	10-31-25	\$2,061.12	\$2,061.12	01-03-150-114	Equipment & Repairs	\$8,500.00	\$6,460.43
						\$2,061.12				
2603	DEPENDABLE FIRE EQUIPMENT, #4- 250 CLARENCE STREET, BRAMPTON, ON, L6W 1T4									
ON-007262		09-29-25	Fire Fighting Tools/Equipment - HOSE NOZZLE	10-31-25	\$3,459.84	\$3,459.84	01-03-150-111	Fire Fighting	\$29,724.00	\$8,504.57
ON-007263		09-29-25	Fire Fighting Tools/Equipment - HOSE	10-31-25	\$1,251.65	\$1,251.65	01-03-150-111	Fire Fighting	\$29,724.00	\$8,504.57
						\$4,711.49				
Total Fire Protection Services						\$7,255.32				
<u>Transportation</u>										
21	ACE Equipment Rentals, PO Box 324, Parry Sound, ON, P2A 2X4									
36783		10-14-25	Materials & Supplies - RENTAL - 600 LB TAMPER - CULVERTS	10-31-25	\$457.92	\$457.92	01-06-220-145	Materials & Supplies	\$21,000.00	(\$17,993.75)
						\$457.92				
116	Hydro One Networks Inc., P. O. Box 4102 Stn A, Toronto, ON, M5W 3L3									
OCT-25		10-03-25	Hydro	10-31-25	\$356.40	\$356.40	01-06-210-008	Hydro	\$3,000.00	(\$428.88)
						\$356.40				
137	MUSKOKA AUTO PARTS, 45 Gibson Street, Parry Sound, ON, P2A 1X1									
826795/4		09-30-25	Workshop Supplies - RATCHET STRAP	10-31-25	\$26.13	\$26.13	01-06-210-148	Workshop Supplies	\$3,000.00	\$686.84
826914/4		10-01-25	Workshop Supplies - 3/4" TRANSPORT CHAIN	10-31-25	\$48.13	\$48.13	01-06-210-148	Workshop Supplies	\$3,000.00	\$686.84
951288/3		10-14-25	Maintenance Costs/Parts - REPLACEMENT BATTERY FOR FREIGHTLINER # 19	10-31-25	\$372.29	\$372.29	01-06-237-143	Maintenance Costs/Parts	\$17,000.00	\$1,008.82
						\$446.55				
218	Parry Sound Auto Parts, 74 Parry Sound Drive, Parry Sound, ON, P2A 0B8									
1-3091392		10-01-25	Workshop Supplies - GASKET MAKER	10-31-25	\$18.81	\$18.81	01-06-210-148	Workshop Supplies	\$3,000.00	\$686.84
						\$18.81				
336	Wurth Canada Limited, 345 HANLON CREEK BLVD., GUELPH, ON, N1C 0A1									
26594804		10-14-25	Workshop Supplies - SHOP SUPPLIES - BOLTS & LOCKNUTS	10-31-25	\$129.63	\$129.63	01-06-210-148	Workshop Supplies	\$3,000.00	\$686.84
						\$129.63				
362	Budget Propane & Oil, 1011 Beiers Rd, RR 1, Gravenhurst, ON, P1P 1R1									
3508227		10-06-25	Maintenance Repairs - REPAIRS FOR HOT WASHER PRESSURE WASHER	10-31-25	\$206.19	\$206.19	01-06-210-113	Maintenance Repairs	\$15,000.00	\$12,717.34
						\$206.19				
982	AIR AUTOMOTIVE TRACKING INC., 160 COLLARD DRIVE, KING CITY, ON, L7B 1E4									
MCK010-25		10-02-25	Maintenance Costs/Parts	10-31-25	\$20.35	\$20.35	01-06-233-143	Maintenance Costs/Parts	\$13,000.00	\$3,138.83
MCK010-25		10-02-25	Maintenance Costs/Parts	10-31-25	\$20.35	\$20.35	01-06-235-143	Maintenance Costs/Parts	\$11,000.00	\$4,465.41

Township of McKellar
A/P Preliminary Cheque Run
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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
MCK010-25		10-02-25	Maintenance Costs/Parts	10-31-25	\$20.35	\$20.35	01-06-237-143	Maintenance Costs/Parts	\$17,000.00	\$1,008.82
MCK010-25		10-02-25	Maintenance Costs/Parts	10-31-25	\$20.35	\$20.35	01-06-246-143	Maintenance Costs/Parts	\$8,000.00	\$2,240.91
MCK010-25		10-02-25	Maintenance Costs/Parts	10-31-25	\$20.35	\$20.35	01-06-247-143	Maintenance Costs/Parts	\$5,000.00	\$4,817.20
MCK010-25		10-02-25	Maintenance Costs/Parts	10-31-25	\$20.35	\$20.35	01-06-248-143	Maintenance Costs/Parts	\$20,000.00	\$13,680.15
MCK010-25		10-02-25	Maintenance Costs/Parts	10-31-25	\$20.35	\$20.35	01-06-250-143	Maintenance Costs/Parts	\$10,000.00	\$5,453.84
MCK010-25		10-02-25	Maintenance Costs/Parts	10-31-25	\$20.35	\$20.35	01-06-251-143	Maintenance Costs/Parts	\$5,000.00	(\$205.23)
						\$162.80				

Total Transportation**\$1,778.30****Street Lighting****116 Hydro One Networks Inc., P. O. Box 4102 Stn A, Toronto, ON, M5W 3L3**

OCT-25	10-03-25	Hydro	10-31-25	\$13.40	\$13.40	01-07-229-008	Hydro	\$1,900.00	\$230.46
OCT-25	10-03-25	Hydro	10-31-25	\$23.20	\$23.20	01-07-229-008	Hydro	\$1,900.00	\$230.46
OCT-25	10-03-25	Hydro	10-31-25	\$5.52	\$5.52	01-07-229-008	Hydro	\$1,900.00	\$230.46
OCT-25	10-03-25	Hydro	10-31-25	\$134.58	\$134.58	01-07-229-008	Hydro	\$1,900.00	\$230.46
OCT-POLE	10-15-25	Hydro - FERGUSON BOUNDARY ROAD STREETLIGHT - OCTOBER 2025	10-31-25	\$7.37	\$7.37	01-07-229-008	Hydro	\$1,900.00	\$230.46

\$184.07**Total Street Lighting****\$184.07****Environmental Services****116 Hydro One Networks Inc., P. O. Box 4102 Stn A, Toronto, ON, M5W 3L3**

OCT-25	10-03-25	Hydro	10-31-25	\$99.31	\$99.31	01-08-300-008	Hydro	\$2,000.00	\$130.80
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\$99.31**Total Environmental Services****\$99.31****Parks and Recreation Facilities****116 Hydro One Networks Inc., P. O. Box 4102 Stn A, Toronto, ON, M5W 3L3**

OCT-25	10-03-25	Hydro	10-31-25	\$40.71	\$40.71	01-11-360-008	Hydro	\$450.00	\$132.35
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\$40.71**239 Rona Building Centre, 115 Bowes Street, Parry Sound, ON, P2A 2L8**

237280/	10-08-25	Skating Rink Maintenance - REPLACEMENT LIGHT BULBS FOR ICE RINK CHANGE ROOMS	10-31-25	\$40.70	\$40.70	01-11-360-131	Skating Rink Maintenance	\$13,000.00	\$12,963.41
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\$40.70

Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
290	Westburne Ruddy Ontario, PO Box 1220 STN B, Mississauga, ON, L4Y 3W5									
4665830		10-08-25	Skating Rink Maintenance - AREANA LIGHTS	10-31-25	\$3,975.98	\$3,975.98	01-11-360-131	Skating Rink Maintenance	\$13,000.00	\$12,963.41
4665830		10-08-25	Skating Rink Maintenance - ENERGY DISCOUNT	10-31-25	(\$2,412.00)	(\$2,412.00)	01-11-360-131	Skating Rink Maintenance	\$13,000.00	\$12,963.41
						\$1,563.98				
Total Parks and Recreation Facilities						\$1,645.39				
<u>Community Centre</u>										
21	ACE Equipment Rentals, PO Box 324, Parry Sound, ON, P2A 2X4									
36749		10-09-25	Grounds Maintenance - RENTAL - PRESSURE WASHER	10-31-25	\$116.42	\$116.42	01-12-370-116	Grounds Maintenance	\$3,000.00	\$2,903.33
						\$116.42				
116	Hydro One Networks Inc., P. O. Box 4102 Stn A, Toronto, ON, M5W 3L3									
OCT-25		10-03-25	Hydro	10-31-25	\$399.50	\$399.50	01-12-370-008	Hydro	\$7,500.00	\$1,638.60
						\$399.50				
2602	KING OF DRAINS INC., 119 OLD HIGHWAY 4, FLESHERTON, ON, N0C 1E0									
1530		10-06-25	Facility Maintenance - POWER FLUSHING SERVICE - CLEANED OUT COMMUNITY CENTRE DRAINS	10-31-25	\$1,729.92	\$1,729.92	01-12-370-115	Facility Maintenance	\$12,000.00	\$5,394.31
						\$1,729.92				
Total Community Centre						\$2,245.84				
<u>Cultural</u>										
116	Hydro One Networks Inc., P. O. Box 4102 Stn A, Toronto, ON, M5W 3L3									
OCT-25		10-03-25	Library - Hydro	10-31-25	\$303.62	\$303.62	01-13-381-008	Library - Hydro	\$5,000.00	\$545.33
						\$303.62				
Total Cultural						\$303.62				
Total Bills To Pay:						\$167,426.61				

Township of McKellar
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(Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
<u>General Government</u>										
1139	PITNEY WORKS, BOX 280, ORANGEVILLE, ON, L9W 2Z7									
SEPT-25		10-25-25	Postage/Courier - POSTAGE REFILL - SEPTEMBER 2025	10-31-25	\$218.78	\$218.78	01-02-060-010	Postage/Courier	\$8,000.00	\$961.23
						\$218.78				
Total General Government						\$218.78				
Total Bills To Pay:						\$242.95				

Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
<u>General Liabilities and Equity</u>										
2604	2198176		ONTARIO INC, 88 JAMES STREET, PARRY SOUND, ON, P2A 1T9							
OCT-25		10-16-25	Refundable Entrance/Bldg Fees - REFUND FOR ROAD DAMAGE DEPOSIT x 3	10-31-25	\$2,250.00	\$2,250.00	01-01-030-617	Refundable	\$0.00	(\$171,000.00)
						\$2,250.00				
Total General Liabilities and Equity						\$2,250.00				
<u>General Government</u>										
246	Township of Seguin, 5 Humphrey Drive, Seguin, ON, P2A 2W8									
2025-313		10-17-25	Election Expenses - ELECTION COMPLIANCE AUDIT 2025	10-31-25	\$342.86	\$342.86	01-02-060-022	Election Expenses	\$5,000.00	\$2,978.10
						\$342.86				
407	Corporate Express Canada Inc., C.O T04446C, PO BOX 4446, STN A, TORONTO, ON, M5W 4A2									
71360212		10-15-25	Office Supplies/Materials - BINDER CLIPS & LEGAL PAPER	10-31-25	\$116.25	\$116.25	01-02-060-009	Office	\$4,500.00	\$1,455.24
						\$116.25				
Total General Government						\$459.11				
<u>Fire Protection Services</u>										
36	Bell Mobility Inc., P.O. Box 5102, Burlington, ON, L7R 4R7									
OCT-25		10-13-25	Telephone- CHIEF	10-31-25	\$10.94	\$10.94	01-03-150-007	Telephone	\$3,000.00	\$523.55
OCT-25		10-13-25	Telephone- TURBO 1	10-31-25	\$11.19	\$11.19	01-03-150-007	Telephone	\$3,000.00	\$523.55
OCT-25		10-13-25	Telephone - TURBO 2	10-31-25	\$15.97	\$15.97	01-03-150-007	Telephone	\$3,000.00	\$523.55
OCT-25		10-13-25	Telephone- IPAD	10-31-25	\$3.05	\$3.05	01-03-150-007	Telephone	\$3,000.00	\$523.55
OCT-25		10-13-25	Telephone- RESCUE #2	10-31-25	\$3.05	\$3.05	01-03-150-007	Telephone	\$3,000.00	\$523.55
						\$44.20				
90	Georgian Bay Propane Inc., 55 Great North Road, Parry Sound, ON, P2A 2N9									
171497		10-01-25	Heating - YEARLY TANK RENTAL - FIRE STATION #1	10-31-25	\$97.69	\$97.69	01-03-151-033	Heating	\$3,000.00	\$565.35
171496		10-01-25	Heating - YEARLY TANK RENTAL - FIRE STATION #2	10-31-25	\$97.69	\$97.69	01-03-152-033	Heating	\$7,500.00	\$2,002.25
						\$195.38				

**Township of McKellar
A/P Preliminary Cheque Run
(Council Approval Report)**

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
246	Township of Seguin, 5 Humphrey Drive, Seguin, ON, P2A 2W8									
2025-303		10-15-25	Mutual Aid Agreement - OUR SHARE OF THE FIRE DISPATCH CONSOLE	10-31-25	\$8,640.43	\$8,640.43	01-03-150-102	Mutual Aid Agreement	\$9,500.00	\$9,500.00
						\$8,640.43				
1526	MAXTOWER COMPANY LIMITED, 5 EDMONDSON STREET, BRANTFORD, ON, N3R 7J2									
250717-2		10-09-25	Radio Tower Maintenance - TELECOM TOWER (10%) WITHHELD	10-31-25	\$132,067.05	\$132,067.05	01-03-150-107	Radio Tower	\$180,000.00	\$113,390.61
						\$132,067.05				
2605	EFFECTIVE COMMAND, 219 ROBERTSON LANE, ARNPRIOR, ON,									
INV-0233		10-21-25	Courses & Training - ANNUAL SUBSCRIPTION FOR TRAINING TOOLS - FIRE	10-31-25	\$508.80	\$508.80	01-03-150-015	Courses & Training	\$25,000.00	\$12,596.90
						\$508.80				
Total Fire Protection Services						\$141,455.86				
<u>Building Department</u>										
36	Bell Mobility Inc., P.O. Box 5102, Burlington, ON, L7R 4R7									
OCT-25		10-13-25	Telephone - CBO	10-31-25	\$16.03	\$16.03	01-04-170-007	Telephone	\$600.00	\$172.49
						\$16.03				
Total Building Department						\$16.03				
<u>Protection to Persons and Property</u>										
36	Bell Mobility Inc., P.O. Box 5102, Burlington, ON, L7R 4R7									
OCT-25		10-13-25	Miscellaneous - BY-LAW	10-31-25	\$10.94	\$10.94	01-05-190-024	Miscellaneous	\$1,500.00	(\$241.43)
						\$10.94				
975	Minister of Finance (OPP), 33 KING STREET WEST, P.O. BOX 647, OSHAWA, ON, L1H 8X3									
422509250907116		09-30-25	Policing Services Annual Levy - OPP LEVY - AUGUST 2025	10-31-25	\$31,216.00	\$31,216.00	01-05-160-030	Policing Services Annual	\$374,588.00	\$156,076.00
						\$31,216.00				
Total Protection to Persons and Property						\$31,226.94				

Township of McKellar
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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
<u>Transportation</u>										
21	ACE Equipment Rentals, PO Box 324, Parry Sound, ON, P2A 2X4									
36789		10-15-25	Materials & Supplies - OCT 6-14 RENTAL OF EXCAVATOR - CULVERTS	10-31-25	\$4,126.37	\$4,126.37	01-06-220-145	Materials & Supplies	\$21,000.00	(\$18,451.67)
						\$4,126.37				
35	B&I Truck Parts Inc., 480 Dunlop Street West, Barrie, ON, L4N 9W5									
01P249285		10-22-25	Maintenance Costs/Parts - COOLANT SENSOR FOR FREIGHTLINER #21	10-31-25	\$212.98	\$212.98	01-06-250-143	Maintenance	\$10,000.00	\$5,433.49
01P249293		10-22-25	Maintenance Costs/Parts - AD9 SI DRYER FOR FREIGHTLINER # 24	10-31-25	\$1,304.81	\$1,304.81	01-06-251-143	Maintenance	\$5,000.00	(\$225.58)
						\$1,517.79				
36	Bell Mobility Inc., P.O. Box 5102, Burlington, ON, L7R 4R7									
OCT-25		10-13-25	Telephone - ROADS	10-31-25	\$13.23	\$13.23	01-06-200-007	Telephone	\$1,400.00	\$680.15
						\$13.23				
109	Home Hardware, 31 Joseph Street, Parry Sound, ON, P2A 2G3									
188977		10-16-25	Materials & Supplies - PAINT ROLLER FOR COMMUNITY CENTRE PARKING LOT ACCESSIBLE SPOTS	10-31-25	\$8.64	\$8.64	01-06-245-145	Materials & Supplies	\$25,000.00	\$3,480.60
189050		10-22-25	Maintenance Costs/Parts - PAINT SUPPLIES FOR FREIGHTLINER #21	10-31-25	\$121.57	\$121.57	01-06-250-143	Maintenance	\$10,000.00	\$5,433.49
						\$130.21				
137	MUSKOKA AUTO PARTS, 45 Gibson Street, Parry Sound, ON, P2A 1X1									
K25467/4		10-16-25	Filters - AIR FILTER	10-31-25	\$29.65	\$29.65	01-06-228-143	Filters	\$4,000.00	\$117.02
						\$29.65				
239	Rona Building Centre, 115 Bowes Street, Parry Sound, ON, P2A 2L8									
237703/		10-20-25	Maintenance Costs/Parts - SUPPLIES FOR FLOAT TRAILER	10-31-25	\$20.60	\$20.60	01-06-242-143	Maintenance	\$1,000.00	\$1,000.00
237719/		10-20-25	Maintenance Costs/Parts - REPAIRS FOR FLOAT TRAILER	10-31-25	\$54.92	\$54.92	01-06-242-143	Maintenance	\$1,000.00	\$1,000.00
						\$75.52				
270	Township of Carling, RR 1, Nobel, ON, P0G 1G0									
AR-202500200		10-14-25	Courses & Training - WINTER ROAD PATROL TRAINING	10-31-25	\$1,100.00	\$1,100.00	01-06-200-015	Courses & Training	\$5,000.00	\$2,588.61
						\$1,100.00				
385	Constable Towing & Recovery, P.O. BOX 236, NOBEL, ON, P0G 1G0									
MCK1017		08-26-25	Maintenance Costs/Parts - ANNUAL INSPECTION FOR FREIGHTLINER #20	10-31-25	\$2,158.16	\$2,158.16	01-06-233-143	Maintenance	\$13,000.00	\$3,118.48
MCK1020		09-14-25	Maintenance Costs/Parts - ANNUAL INSPECTION FOR FREIGHTLINER #19	10-31-25	\$3,798.22	\$3,798.22	01-06-237-143	Maintenance	\$17,000.00	\$616.18

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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
MCK1018		09-05-25	Maintenance Costs/Parts - ANNUAL INSPECTION FOR 3 POINT HITCH TRAILER	10-31-25	\$1,312.70	\$1,312.70	01-06-242-143	Maintenance	\$1,000.00	\$1,000.00
MCK1019		09-05-25	Maintenance Costs/Parts - ANNUAL INSPECTION FOR FREIGHTLINER #21	10-31-25	\$1,577.28	\$1,577.28	01-06-250-143	Maintenance	\$10,000.00	\$5,433.49
533	Russell, Christie, LLP, 505 Memorial Avenue, P.O. Box 158, Orillia, ON, L3V 6J3					\$8,846.36				
64-103-063/4		10-16-25	Professional Services - Legal - PUBLIC WORKS LEGAL	10-31-25	\$660.51	\$660.51	01-06-200-020	Professional Services -	\$10,000.00	\$485.87
1520						\$660.51				
1185	HV DUTY SUPPLY, 5 WATER STREET, PARRY SOUND, ON, P2A 3A3	10-17-25	Workshop Supplies - SCREW PIN ANCHOR SHACKLES	10-31-25	\$47.13	\$47.13	01-06-210-148	Workshop Supplies	\$3,000.00	\$464.14
1522						\$47.13				
103574	NEAR NORTH INDUSTRIAL SOLUTIONS, BOX 570, SUNDRIDGE, ON, P0A 1Z0	10-21-25	Maintenance Costs/Parts - HYDRAULIC REPAIR FOR JOHN DEER BACKHOE	10-31-25	\$540.58	\$540.58	01-06-239-143	Maintenance	\$2,500.00	(\$3,536.13)
1547						\$540.58				
3164	J.W. Tire, 301 Sophia Street, Trout Creek, ON, P0H 2L0	10-15-25	Maintenance Costs/Parts - INSTALLED SNOW TIRES FOR FREIGHTLINER #20	10-31-25	\$235.32	\$235.32	01-06-233-143	Maintenance	\$13,000.00	\$3,118.48
3164		10-15-25	Maintenance Costs/Parts - INSTALLED SNOW TIRES FOR FREIGHTLINER #19	10-31-25	\$235.32	\$235.32	01-06-237-143	Maintenance	\$17,000.00	\$616.18
3164		10-15-25	Maintenance Costs/Parts - INSTALLED SNOW TIRES FOR FREIGHTLINER #21	10-31-25	\$235.32	\$235.32	01-06-250-143	Maintenance	\$10,000.00	\$5,433.49
3164		10-15-25	Maintenance Costs/Parts - INSTALLED SNOW TIRES FOR FREIGHTLINER #24	10-31-25	\$235.33	\$235.33	01-06-251-143	Maintenance	\$5,000.00	(\$225.58)
						\$941.29				
Total Transportation						\$18,028.64				
Environmental Services										
233	PARRY SOUND INDUSTRIAL PARK BOARD, TOWNSHIP OF CARLING, 2 WEST CARLING BAY ROAD, NOBEL, ON, P0G 1G0									
3346		10-14-25	Contracted Services/Annual Levy - MUNICIPAL LEVY - PARRY SOUND AREA INDUSTRIAL PARK - 2025	10-31-25	\$15,182.76	\$15,182.76	01-08-301-030	Contracted	\$15,000.00	\$15,000.00
						\$15,182.76				

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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
239	Rona Building Centre, 115 Bowes Street, Parry Sound, ON, P2A 2L8									
237703/		10-20-25	Maintenance Costs/Parts - LIGHTS FOR TRANSFER STATION	10-31-25	\$58.60	\$58.60	01-08-300-143	Maintenance	\$8,400.00	(\$155.06)
						\$58.60				
284	Weeks Construction Inc., PO Box 397, Parry Sound, ON, P2A 2X4									
107597		10-16-25	Maintenance Costs/Parts - MONTHLY TOILET RENTAL SEPT 19- OCT 16 - TRANSFER STATION	10-31-25	\$190.29	\$190.29	01-08-300-143	Maintenance	\$8,400.00	(\$155.06)
						\$190.29				
Total Environmental Services						\$15,431.65				
<u>Parks and Recreation Facilities</u>										
109	Home Hardware, 31 Joseph Street, Parry Sound, ON, P2A 2G3									
189007		10-20-25	Materials & Supplies - DUCT TAPE	10-31-25	\$24.41	\$24.41	01-11-360-145	Materials & Supplies	\$3,000.00	\$1,466.18
						\$24.41				
245	EA Shipman Electric Ltd, 234 HIGHWAY 518, SEGUIN, ON, P2A 0B2									
4079		10-23-25	Skating Rink Maintenance - AREANA LIGHTING INSTALL	10-31-25	\$2,971.39	\$2,971.39	01-11-360-131	Skating Rink Maintenance	\$13,000.00	\$11,358.73
						\$2,971.39				
284	Weeks Construction Inc., PO Box 397, Parry Sound, ON, P2A 2X4									
107686		10-20-25	Maintenance Costs/Parts - FINAL PAYMENT OCT 4-14 & PICKUP FOR TOILET RENTAL - COMM HALL	10-31-25	\$95.15	\$95.15	01-11-360-143	Maintenance	\$7,000.00	\$3,413.79
						\$95.15				
Total Parks and Recreation Facilities						\$3,090.95				
<u>Community Centre</u>										
660	FAST ENVIRO SERVICE, 705 SAVAGE SETTLEMENT ROAD, PO BOX 480, NOVAR, ON, P0A 1R0									
7035		10-20-25	Grounds Maintenance - SEPTIC INSPECTION ON OCT 18/25	10-31-25	\$157.73	\$157.73	01-12-370-116	Grounds Maintenance	\$3,000.00	\$2,786.91
						\$157.73				
Total Community Centre						\$157.73				
Total Bills To Pay:						\$212,116.91				

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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
<u>General</u>										
308	Debbie Zulak,									
OCT27/25	10-27-25	Bank Account - COUNCILLOR PAY OCT 12 - 25	10-31-25	\$701.80	\$701.80	01-00-011-801	Bank Account		\$0.00	(\$7,345,195.51)
					\$701.80					
Total General					\$701.80					
<u>General Government</u>										
206	Municipal Property Assessment Corp, P.O. BOX 3884, COMMERCE COURT POSTAL STATION, TORONTO, ON, M5L 1K1									
1800039045	10-01-25	MPAC Annual Levy - QUARTERLY PAYMENT - 4TH PAYMENT 2025	10-31-25	\$18,057.64	\$18,057.64	01-02-310-030	MPAC Annual Levy		\$72,230.57	\$18,057.65
					\$18,057.64					
1134	ENCOMPASSIT, 1894 LASALLE BOULEVARD, SUDBURY, ON,									
IN-15915	10-21-25	Information Technology Support - TMM IT SERVICES	10-31-25	\$610.56	\$610.56	01-02-060-023	Information Technology		\$45,000.00	(\$7,603.60)
					\$610.56					
Total General Government					\$18,668.20					
<u>Fire Protection Services</u>										
503	FIRE MARSHAL'S PUBLIC FIRE SAFETY COUNCIL, 100 STROWGER BLVD., SUITE 119, BROCKVILLE, ON, K6V 5J9									
IN169988	10-23-25	Fire Prevention - MINI HOCKEY STICKS	10-31-25	\$111.94	\$111.94	01-03-150-103	Fire Prevention		\$4,000.00	\$1,204.13
					\$111.94					
1200	SOUTHWEST PARRY SOUND MUTUAL FIRE AID ASSOCIATION, 4 CHURCH STREET, PARRY SOUND, ON,									
OCT-25	10-27-25	Mutual Aid Agreement - ANNUAL MEMBERSHIP FEE - 2025	10-31-25	\$450.00	\$450.00	01-03-150-102	Mutual Aid Agreement		\$9,500.00	\$859.57
					\$450.00					
1422	FLUENT IMS, PO BOX 580, BROCKVILLE, ON, K6V 5V7									
INV-10342	10-24-25	Radio System Maintenance - RADIO DIGITAL UPGRADE FEE	10-31-25	\$356.16	\$356.16	01-03-150-106	Radio System		\$25,000.00	\$17,604.83
					\$356.16					
Total Fire Protection Services					\$918.10					

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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
<u>Building Department</u>										
217	Parry Sound Fuels, 114 Bowes Street, Parry Sound, ON, P2A 2L7									
906248		10-29-25	Vehicle Fuel - Gas - REGULAR GAS - CBO	10-31-25	\$54.55	\$54.55	01-04-170-141	Vehicle Fuel - Gas	\$1,200.00	\$689.66
						\$54.55				
Total Building Department						\$54.55				
<u>Protection to Persons and Property</u>										
2606	West Parry Sound OPP Detachment Board, 2 WEST CARLING BAY ROAD, NOBEL, ON, P0G 1G0									
OCT-25		10-27-25	Contracted Services/Annual Levy - 2025	10-31-25	\$3,464.13	\$3,464.13	01-05-191-030	Contracted	\$0.00	\$0.00
						\$3,464.13				
Total Protection to Persons and Property						\$3,464.13				
<u>Transportation</u>										
218	Parry Sound Auto Parts, 74 Parry Sound Drive, Parry Sound, ON, P2A 0B8									
1-3094693		10-27-25	Maintenance Costs/Parts - SAFETY LIGHT FOR RAM 550	10-31-25	\$333.94	\$333.94	01-06-246-143	Maintenance	\$8,000.00	\$2,220.56
1-3094787		10-27-25	Maintenance Costs/Parts - PARTS FOR RAM 550	10-31-25	\$150.69	\$150.69	01-06-246-143	Maintenance	\$8,000.00	\$2,220.56
1-3094799		10-27-25	Maintenance Costs/Parts - 2 WIRE FOR RAM 550	10-31-25	\$14.01	\$14.01	01-06-246-143	Maintenance	\$8,000.00	\$2,220.56
1-3094851		10-28-25	Maintenance Costs/Parts - BACK-UP LIGHT FOR RAM 550	10-31-25	\$87.96	\$87.96	01-06-246-143	Maintenance	\$8,000.00	\$2,220.56
1-3094859		10-28-25	Maintenance Costs/Parts - RETURNED LIGHT FOR RAM 550	10-31-25	(\$147.05)	(\$147.05)	01-06-246-143	Maintenance	\$8,000.00	\$2,220.56
1-3094155		10-22-25	Maintenance Costs/Parts - PARTS FOR FREIGHTLINER # 24	10-31-25	\$15.34	\$15.34	01-06-251-143	Maintenance	\$5,000.00	(\$1,765.72)
						\$454.89				
632	TULLOCH GEOMATICS INC., 200 MAIN ST, P.O. BOX 579, THESSALON, ON, P0R 1L0									
2031156		10-13-25	Miscellaneous - OSIM BRIDGE + CULVERT STUDY	10-31-25	\$791.46	\$791.46	01-06-603-024	Miscellaneous	\$2,000.00	\$2,000.00
2031156		10-13-25	Miscellaneous - OSIM BRIDGE + CULVERT STUDY	10-31-25	\$791.47	\$791.47	01-06-680-024	Miscellaneous	\$2,000.00	\$2,000.00
2031156		10-13-25	Miscellaneous - OSIM BRIDGE + CULVERT STUDY	10-31-25	\$791.47	\$791.47	01-06-700-024	Miscellaneous	\$2,000.00	\$2,000.00
2031156		10-13-25	Miscellaneous - OSIM BRIDGE + CULVERT STUDY	10-31-25	\$791.47	\$791.47	01-06-701-024	Miscellaneous	\$2,000.00	\$2,000.00

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2031156		10-13-25	Miscellaneous - OSIM BRIDGE + CULVERT STUDY	10-31-25	\$791.47	\$791.47	01-06-702-024	Miscellaneous	\$2,000.00	\$2,000.00
2031156		10-13-25	Miscellaneous - OSIM BRIDGE + CULVERT STUDY	10-31-25	\$791.47	\$791.47	01-06-703-024	Miscellaneous	\$2,000.00	\$2,000.00
2031156		10-13-25	Miscellaneous - OSIM BRIDGE + CULVERT STUDY	10-31-25	\$791.47	\$791.47	01-06-704-024	Miscellaneous	\$2,000.00	\$2,000.00
2031156		10-13-25	Miscellaneous - OSIM BRIDGE + CULVERT STUDY	10-31-25	\$791.47	\$791.47	01-06-705-024	Miscellaneous	\$2,000.00	\$2,000.00
2031156		10-13-25	Miscellaneous - OSIM BRIDGE + CULVERT STUDY	10-31-25	\$791.47	\$791.47	01-06-706-024	Miscellaneous	\$2,000.00	\$2,000.00
						\$7,123.22				
763 24394	MORROWS PLUMBING & HEATING INC., 1 QUEEN STREET, PARRY SOUND, ON, P2A 2W1	10-23-25	Grounds Maintenance - REPAIRS FOR SEWAGE PUMP - GARAGE	10-31-25	\$213.70	\$213.70	01-06-210-116	Grounds Maintenance	\$500.00	\$411.06
						\$213.70				
1064 OCT-25	RODNEY MATTHEWS, , , ,	10-29-25	Personal Protective Equipment Employee Allowance - REIMBURSEMENT FOR PROTECTIVE CLOTHING	10-31-25	\$360.21	\$360.21	01-06-200-008	Personal Protective	\$2,000.00	\$981.97
						\$360.21				
1096 25014	RHH ENGINEERING, 70 ISABELLA STREET, UNIT 111, PARRY SOUND, ON, P2A 2Z1	10-03-25	Capital - Consult Service - ENGINEERING - HURDVILLE RD	10-31-25	\$18,113.28	\$18,113.28	01-06-634-428	Capital - Consult	\$179,606.40	\$99,206.15
						\$18,113.28				
1385 9595	PARRY SOUND STEEL INC., 7 HUNTER DRIVE, SEGUIN, ON, P2A 0B2	10-09-25	Maintenance Costs/Parts - SAFETY LIGHT FOR RAM 550	10-31-25	\$364.26	\$364.26	01-06-246-143	Maintenance	\$8,000.00	\$2,220.56
						\$364.26				
1520 1195	HV DUTY SUPPLY, 5 WATER STREET, PARRY SOUND, ON, P2A 3A3	10-24-25	Maintenance Costs/Parts - PARTS FOR FREIGHTLINER # 19	10-31-25	\$281.12	\$281.12	01-06-237-143	Maintenance	\$17,000.00	(\$3,417.36)
						\$281.12				
Total Transportation						\$26,910.68				

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Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
<u>Health Services</u>										
257	Town of Parry Sound, 52 Seguin Street, Parry Sound, ON, P2A 1B4									
OCT2025		10-17-25	EMS Ambulance Annual Levy - LAND AMBULANCE - OCTOBER 2025	10-31-25	\$20,659.66	\$20,659.66	01-09-320-030	EMS Ambulance Annual	\$247,915.93	\$61,978.99
						\$20,659.66				
Total Health Services						\$20,659.66				
<u>Social Services</u>										
159	District of Parry Sound Social Services Admin Bd, 1 Beechwood Drive, Parry Sound, ON, P2A 1J2									
OCT2025		10-23-25	Parry Sound District SSAB Annual Levy - MUNICIPAL LEVY - 4TH QUARTER PAYMENT - 2025	10-31-25	\$81,556.75	\$81,556.75	01-10-340-030	Parry Sound District	\$326,227.00	\$81,556.75
						\$81,556.75				
Total Social Services						\$81,556.75				
<u>Community Centre</u>										
109	Home Hardware, 31 Joseph Street, Parry Sound, ON, P2A 2G3									
189080		10-24-25	Facility Maintenance - PAINT & RUST REMOVER - YOUTH ROOM	10-31-25	\$48.51	\$48.51	01-12-370-115	Facility Maintenance	\$12,000.00	\$3,616.61
						\$48.51				
197	Near North Laboratories Inc, 11-191 Booth RD, North Bay, ON, P1A 4K3									
112101		10-21-25	Water Testing - WATER TESTING & COURIER FEES	10-31-25	\$47.99	\$47.99	01-12-370-257	Water Testing	\$2,000.00	\$367.79
						\$47.99				
Total Community Centre						\$96.50				
<u>Planning and Development</u>										
632	TULLOCH GEOMATICS INC., 200 MAIN ST, P.O. BOX 579, THESSALON, ON, P0R 1L0									
1020563		09-10-25	Planning Consultant Services - SURVEYING - DOCKSIDE DR	10-31-25	\$7,530.24	\$7,530.24	01-14-400-021	Planning Consultant	\$50,000.00	\$43,674.10

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1020809		10-14-25	Planning Consultant Services - SURVEYING - DOCKSIDE DR	10-31-25	\$6,024.19	\$6,024.19	01-14-400-021	Planning Consultant	\$50,000.00	\$43,674.10
						\$13,554.43				
Total Planning and Development						\$13,554.43				
Total Bills To Pay:						\$166,584.80				

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<u>General Government</u>										
194	Near North Business Machines, 86 West RD, Huntsville, ON, P1H 1M1									
66743		10-01-25	Information Technology Support - MICROSOFT OFFICE 365 - OCTOBER 2025	10-31-25	\$719.54	\$719.54	01-02-060-023	Information Technology	\$45,000.00	(\$4,768.48)
66750		10-01-25	Information Technology Support - FULLY MANAGED SERVICE PROGRAM - OCTOBER 2025	10-31-25	\$1,851.01	\$1,851.01	01-02-060-023	Information Technology	\$45,000.00	(\$4,768.48)
66940		10-08-25	Information Technology Support - UPGRADE TO WINDOWS 11 PRO FOR TMM	10-31-25	\$264.57	\$264.57	01-02-060-023	Information Technology	\$45,000.00	(\$4,768.48)
						\$2,835.12				
1457	LASALLE BUSINESS MACHINES, 887-D NOTRE DAME AVE, SUDBURY, ON, P3A 2T2									
147944		10-01-25	Printing/Photocopier - PRINTER LEASE & COPIES - OCTOBER 2025	10-31-25	\$319.42	\$319.42	01-02-060-012	Printing/Photocopier	\$5,000.00	\$1,324.32
						\$319.42				
Total General Government						\$3,154.54				
<u>Protection to Persons and Property</u>										
1392	CHRIS KASULKE,									
202509		10-10-25	Bylaw Enforcement Annual Levy - BY-LAW ENFORCEMENT SERVICES SEPT 2025	10-31-25	\$1,596.19	\$1,596.19	01-05-182-030	Bylaw Enforcement	\$40,000.00	\$30,347.81
202509		10-10-25	Mileage	10-31-25	\$55.11	\$55.11	01-05-190-006	Mileage	\$3,000.00	\$2,769.22
						\$1,651.30				
Total Protection to Persons and Property						\$1,651.30				
<u>Transportation</u>										
217	Parry Sound Fuels, 114 Bowes Street, Parry Sound, ON, P2A 2L7									
904461		10-14-25	Fuel - Gas - REGULAR GAS - GARAGE	10-31-25	\$666.27	\$666.27	01-06-228-141	Fuel - Gas	\$1,000.00	(\$5,158.14)
904460		10-14-25	Fuel - Diesel - DYED LOW SULPHUR DIESEL	10-31-25	\$844.22	\$844.22	01-06-228-142	Fuel - Diesel	\$65,000.00	\$23,376.83
						\$1,510.49				
255	WINDSOR SALT LTD., CP 11321, Succ Centre Ville, Montreal, QC, H3C 5H1									
5300749329		10-06-25	Materials & Supplies - BULK SAFE-T-SALT	10-31-25	\$4,250.43	\$4,250.43	01-06-225-145	Materials & Supplies	\$100,000.00	\$96,392.60
						\$4,250.43				

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(Council Approval Report)

Invoice Number	Vendor	Date	Description	Due Date	Invoice Amt	Approved Amt	Account Number	Account Description	Budgeted \$	YTD Balance
533	Russell, Christie, LLP, 505 Memorial Avenue, P.O. Box 158, Orillia, ON, L3V 6J3									
64-103-045/7		10-07-25	Professional Services - Legal - PUBLIC WORKS LEGAL	10-31-25	\$1,921.55	\$1,921.55	01-06-200-020	Professional Services -	\$10,000.00	\$2,407.42
						\$1,921.55				
Total Transportation						\$7,682.47				
Community Centre										
109	Home Hardware, 31 Joseph Street, Parry Sound, ON, P2A 2G3									
188911		10-10-25	Facility Maintenance - PAINT SUPPLIES - YOUTH ROOM	10-31-25	\$47.78	\$47.78	01-12-370-115	Facility Maintenance	\$12,000.00	\$3,664.39
188899		10-09-25	Water Testing - BLEACH	10-31-25	\$47.29	\$47.29	01-12-370-257	Water Testing	\$2,000.00	\$415.08
						\$95.07				
296	Wood Wyant Inc., 190 Annagem Blvd, Mississauga, ON, L5T 2V5									
484105		10-01-25	Cleaning Supplies - TOILET PAPER & SOAP DISPENSERS	10-31-25	\$68.91	\$68.91	01-12-370-254	Cleaning Supplies	\$1,500.00	\$1,461.57
						\$68.91				
Total Community Centre						\$163.98				
Total Bills To Pay:						\$12,652.29				

THE TOWNSHIP OF MCKELLAR, P.O.Box 69, McKellar, Ontario. P0G 1C0

SEPTEMBER 22, 2025.:

We the residents of Middle River Drive feel that over the past three decades we have had our requests ignored by the township, while many other roads in the area have had their road surfaces upgraded from gravel to asphalt. There are five permanent residences and five seasonal properties on Middle River Drive. When all are in attendance, most are senior citizens who experience great difficulties attempting to walk on the gravel surface and several have given up trying to push their WALKERS through the gravel to check the mailbox. Two are BLIND-SITED; one with a seeing-eye dog. Also there are fifteen dogs that require exercising by their owners on Middle River Drive.

The legal speed posted by the Township of McKellar on Middle River Drive is 40 kilometers per hour. Any vehicle attempting to maintain 40 k. around the curve at the beginning of the road, finds that they are performing a dangerous FOUR-WHEEL-DRIFT in the loose gravel and are often shocked to discover that they are about to crash into a senior walking their dog or a disability scooter heading for the mailbox. A much more sensible legal posted speed for Middle River Drive, proposed by its residences, would be 25 kilometers per hour. Hopefully this speed reduction, would slow down clients rushing to their appointments and deter reckless Amazon drivers from forcing pedestrians and their animals out of their way.

Grant J. Edwards PERMANENT RESIDENT 15 MIDDLE RIVER DRIVE
SINCE APRIL 1, 1999.

Rhynie Wozniak 09/24/25 21 middle River Drive

Neal Pollock 17 middle River Drive

Robert Baranovsky 09/27/25 11 Middle River Dr.

Need speed bump after first turn, Deliveries + cars to Post + car lot in evening

Maibach Walden 09/27/25 9 Middle River Dr.

Connie C'hevassi
5 Middle River Dr.
McKellar.

Sept/27/25

Sept 27/25 5 middle river dr

Stephen Krause Nov. 2, 2025 14 Middle River Dr. Louise Krause Nov 3/25 14 Middle River Dr

Greg Ingleson 13 middle river

Brian Smith-Verdatsch 19 Middle River Dr.

Bob Galt 19 Middle River Dr.

THE TOWNSHIP OF MCKELLAR, P.O.Box 69, McKellar, Ontario. POG 1C0

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Grant N. Edwards a permanent resident at 15 MIDDLE RIVER DRIVE since APRIL 1, 1999.

Further to the difficulty the loose gravel creates for the residents and animals of Middle River Dr, there is also the snow clearing to consider.

Every year the snow plow moves and deposits a vast quantity of gravel from the road and deposits the gravel on our yard at 23 Middle River. Every year the process of cleaning the gravel up is time consuming and costly. Several years, I have had the town workers come with their tractor, to scrap off the tonnage of gravel and return it to the road.

Quen Clifford - Resident of 23 Middle River Drive

THE TOWNSHIP OF MCKELLAR, P.O.Box 69,McKellar,Ontario. POG 1C0

SEPTEMBER 22,2025.:

We the residents of Middle River Drive feel that over the past three decades we have had our requests ignored by the township, while many other roads in the area have had their road surfaces upgraded from gravel to asphalt. There are five permanent residences and five seasonal properties on Middle River Drive. When all are in attendance, most are senior citizens who experience great difficulties attempting to walk on the gravel surface and several have given up trying to push their WALKERS through the gravel to check the mailbox. Two are BLIND-SITED; one with a seeing-eye dog. Also there are fifteen dogs that require exercising by their owners on Middle River Drive.

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Grant J. Edwards a permanent resident at 15 MIDDLE RIVER DRIVE SINCE APRIL, 1999.

Pauline Gay Resident of 23 Middle River Drive



Township of McKellar

701 Hwy #124, P.O. Box 69, McKellar, Ontario P0G 1C0

Phone: (705) 389-2842

Fax: (705) 389-1244

COUNCIL MEETING SCHEDULE 2026

Tuesday, January 13, 2026

Tuesday, January 27, 2026

Tuesday, February 3, 2026

Tuesday, February 17, 2026

Tuesday, March 3, 2026

Tuesday, March 17, 2026

Tuesday, April 7, 2026

Tuesday, April 21, 2026

Tuesday, May 5, 2026

Tuesday, May 19, 2026

Tuesday, June 2, 2026

Tuesday, June 16, 2026

Tuesday, July 7, 2026

Tuesday, July 21, 2026

Tuesday, August 4, 2026

Tuesday, August 18, 2026

Tuesday, September 1, 2026

Tuesday, September 15, 2026

Tuesday, October 6, 2026

Tuesday, October 20, 2026

Tuesday, November 3, 2026

Tuesday, November 17, 2026

Tuesday, December 1, 2026

Tuesday, December 15, 2026



Township of McKellar

701 Hwy #124, P.O. Box 69, McKellar, Ontario P0G 1C0

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HOLIDAY/MUNICIPAL OFFICE CLOSURE SCHEDULE

2026

New Year's Day	Thursday, January 1, 2026
Family Day	Monday, February 16, 2026
Good	Friday, April 3, 2026
Easter	Monday, April 6, 2026
Victoria Day	Monday, May 18, 2026
Canada Day	Wednesday, July 1, 2026
Civic Holiday	Monday, August 3, 2026
Labour Day	Monday, September 7, 2026
Thanksgiving	Monday, October 12, 2026
Remembrance Day	Wednesday, November 11, 2026
Christmas	Friday, December 25, 2026
Boxing Day	Saturday, December 26, 2026

Christmas Closure

Thursday, December 24, 2026, from 12:00 p.m. to Friday, January 1, 2027, inclusive.
The Office will re-open on Monday, January 4, 2027, at 8:30 a.m.

***This list does not include the Transfer Station, Library or Public Works – Please refer to the Township's website for Transfer Station Holiday Hours – [click here](#)**

BY-LAW NO. 2025-52

Being a By-law to Establish a Public Notice Policy

WHEREAS Section 270 of the Municipal Act, 2001, S.O. 2001, c.25, as amended, states that a municipality shall adopt and maintain a policy with respect to the circumstances in which the municipality shall provide notice to the public, and, if notice is to be provided, the form, manner and times notices shall be given; and

WHEREAS Sections of the Municipal Act, 2001 require a municipality to give notice to the public generally of its intention to pass certain by-laws, notice of the holding of certain required public meetings, and notice of other matters; and

WHEREAS the Corporation of the Township of McKellar deems it advisable to set out reasonable minimum requirements for those actions by the municipality for which the notice requirements are not prescribed under the provisions of the Act or its regulations; and

WHEREAS the Council of the Corporation of the Township of McKellar deems it advisable to establish a public notice policy;

NOW THEREFORE the Council of the Corporation of the Township of McKellar hereby enacts as follows:

1. **THAT** the Public Notice Policy, attached hereto as Schedule 'A' and forming part of this by-law is hereby adopted.
2. **THAT** if a section of this by-law is found invalid (~~ultra vires~~) by a court of competent jurisdictions, such section shall be deemed severable, and all other sections of this by-law shall remain in force and effect.
3. **THAT** By-laws No. 2003-04 and 2011-11, along with any and all amendments thereto, are hereby repealed in their entirety.
4. **THAT** this By-law shall come into force and take effect upon the date of its passing.

READ a **FIRST** and **SECOND** time this day of , 2025.

David Moore, Mayor

Karlee Britton, Clerk Administrator

READ a **THIRD** time and **PASSED** in **OPEN COUNCIL** this day of , 2025.

David Moore, Mayor

Karlee Britton, Clerk Administrator

Schedule 'A' to By-law 2025-52

The Township of McKellar Public Notice Policy

Purpose

The Corporation of the Township of McKellar acknowledges the importance of having an informed public. The Township of McKellar is an accountable and transparent organization that believes that its residents should be made aware of the business of the municipality. ~~and as such, that commitment is characterized in the Township of McKellar's values of Transparency and Accountability.~~ Section 270 of the Municipal Act, 2001 affirms that the municipality shall adopt and maintain a policy with respect to the circumstances in which the municipality shall provide notice to the public and, if notice is to be provided, the form, manner and times notice shall be given.

Policy Statement

This Policy describes the circumstances in which notice shall be provided to the public and the form, manner, and times notice shall be given as required under section 270(1) 4 of the Municipal Act, 2001, S.O. 2001, c.25.

Scope

This policy applies to public notices issued by the Corporation of the Township of McKellar, pursuant to the Municipal Act, 2001, with the following exceptions:

1. Where notice is otherwise prescribed by statute, regulation, by-law or other policy;
2. The requirements of notice are prescribed in another policy, resolution or by-law;
3. Where Council directs an alternate form or manner of public notice or deems that notice is not required.

Definitions (as they apply in this By-law)

"Clerk" means the Municipal Clerk/Administrator for the Corporation of the Township of McKellar.

"Council" means the Council of the Corporation of the Township of McKellar.

"Day" means calendar days including Saturdays, Sundays and holidays.

"Municipal Act" means the Municipal Act, 2001, S.O. 2001, c.25, as amended.

"Newspaper" ~~means a local online publication, published at regular intervals and circulated with the municipality so as to provide reasonable notice to those affected.~~ means the for the purposes of the Township of McKellar, "newspaper" refers to a digital news publication that serves the local community and surrounding area. As the local area does not have a print newspaper, "*ParrySound.com*", a digital publication operated by Metroland Media, is recognized as the Township's sole local newspaper for the purpose of publishing official notices.

"Notice" means a written, printed, electronic, published, or posted notification or announcement.

"Posted" means the erection of a physical sign in the vicinity of the lands that are subject to the notice.

"Public Notices" means the subdirectory of the Township of McKellar's website where notices are electronically disseminated to the public (<https://www.mckellar.ca/en/news/public-notices.aspx?mid=42112>)

"Published" means published on the Website, or in the "Newspaper", as required.

"Registered Mail" means registered mail that requires the recipient to sign for it and is delivered by Canada Post or a courier service.

"Social Media" refers to the Corporation of the Township of McKellar's official accounts on internet-based technologies and sites specifically designed for the public dissemination of information, news, opinions, and other matters of interest in a freely available manner. These include but are not limited to, Facebook.

"Subject Matter" means the issue, measure, requirement, meeting or other matter in respect of which a notice is being given.

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"Township" shall mean the Corporation of the Township of McKellar.

"Website" means the official Corporation of the Township of McKellar's internet website.

Policy

1. Application

Where the Township is required to give Public Notice under a provision of the *Municipal Act*, *Ontario Regulation* or the *Planning Act*, the notice shall be given in a form and manner and at times indicated in this By-Law unless;

- The Act, another statute, or a regulation prescribes or permits otherwise;
- The requirements of notice are prescribed in another policy, resolution or by-law;
- Council directs that other public notice is to be given as the Council considers necessary in the circumstances, upon adoption of a resolution of Council.

The form, manner and timing for giving of notice as set out in this By-Law shall be deemed to be the minimum requirement and nothing in this By-Law shall prevent the use of more comprehensive methods of Notice or for providing for a longer notice period. Wherever possible, public notice should be written in plain language in a manner that promotes openness and engagement from members of the public.

The Township's Accessibility Policy shall be followed to ensure that the notices are produced and published/posted in clear language and in such a way to be in an accessible format thereby reducing barriers to the public.

2. Provision of Notice

Where the Township is required to give public notice or notice to other parties pursuant to a provision of the Municipal Act, or where Council deems it appropriate to prescribe notice to the public or other parties, notice shall be given pursuant to Appendix "A" attached hereto.

The provision of notice shall primarily be by publishing to the Township's website; however, notice may also be provided in the form of direct delivery, including hand delivery, direct mail, email, newspapers, location signs, radio and television (e.g. media releases).

A public notice given under this provision utilizing the municipal website shall be sufficient even if the Township of McKellar website is not accessible at all times during the public notice period.

Notwithstanding the provisions of this By-Law to the contrary, section 2 shall not be applicable where:

- 2.1. The Municipal Act, or another Act or regulations, prescribe specific notice requirements; or
- 2.2. The Council of the Township of McKellar directs that public notice be given in a manner different from the public notice provisions of paragraph 2.

3. Timing of Notice

Where notice of intention to pass a by-law or notice of public meeting is required to be given, such notice shall be provided in the time frame prescribed in the legislation or its regulations and if it is not prescribed, notice shall be given pursuant to Appendix "A" as attached.

4. Minimum Requirements

This policy sets out the minimum requirements for providing notice; nothing in this policy shall prevent the use of additional methods of Public Notice or for providing for a longer Public Notice period.

No public notice shall be required under the provisions of this By-law where Council is authorized by the Municipal Act to consider a matter in a meeting closed to the public.

5. Additional Public Notice

If a matter is deferred at a Council meeting or if a matter is considered at a subsequent Council meeting, no additional public notice shall be required, except where the Municipal Act, or other Provincial Statute(s) provides otherwise, or if Council directs that additional public notice be given.

6. Emergency Provisions

The Public Notice requirements of this policy may be waived by the Clerk/Administrator, in consultation with the Mayor, where a matter arises, which in the opinion of the Clerk is considered to be of an urgent, or time-sensitive nature, or which could affect the health, safety, or well-being of the public, impact the welfare or security of public or private property or Township infrastructure, seriously impact service delivery, if a State of Emergency is declared, or when so advised by a Provincial or Federal Ministry. In such cases, the Clerk shall make best efforts to provide as much notice as is reasonable under the circumstances.

7. Contents of Public Notice

Notice to the Public shall contain the following information when applicable:

- 7.1. A general description of the subject matter under consideration or otherwise involved;
- 7.2. Reference to the applicable legislation, regulation or Township by-law under which the Notice is being given.
- 7.3. Where the matter relates to a defined location, sufficient particulars of the location to identify it generally, such as reference to a municipal address or street intersection, or a legal description or plan or key map;
- 7.4. The purpose of any meeting of which notice is required to be given or the purpose and effect of the proposed action.
- 7.5. The date, time and location of the meeting and virtual meeting link (if applicable);
- 7.6. The name and address of the person who will receive written comments on the issue which is the subject of the meeting and the deadline for receiving such comments;
- 7.7. That Notice is given by The Corporation of the Township of McKellar, or by the Clerk, or designate on its behalf;

8. Responsibility

It is the responsibility of the appropriate Department Head in coordination with the Clerk, or Deputy Clerk, to ensure notice requirements applicable to their department are met, and that notices meet the Township's accessibility requirements.

9. Accessibility

It is the responsibility of the appropriate Department Head, in coordination with the Clerk or Deputy Clerk, to ensure that notice requirements applicable to their department meet the Township's commitment to accessibility requirements. If requested, staff are to provide alternative formats. [Please visit the Township's website to review the accessibility plan and policy.](#)

10. Amendments

Over time, additional notice requirements may be determined. In such cases, Appendix "A" shall be amended and updated if required. Delay in amending Appendix "A" does not preclude the implementation of notice requirements determined by Council or staff, or legislation. Schedule "A" can be amended by resolution of Council.

11. Attachments

Appendix A – Public Notice Requirements

Revision History

This Policy shall be reviewed [nearing the end of the Council's term or every five \(5\) years](#) by the Clerk and will be revised in light of any changes in legislation.

Appendix "A" - Public Notice Requirements

Part III – Specific Municipal Powers under the Ontario Municipal Act

1. Section 34 – Permanent Closure of Highway

Municipal Act requirement: None.
Township of McKellar notice requirement: as per the Township’s current policy for the closure and sale of Road Allowances.

~~By-law 2024-04: Notice of a Public Meeting will be posted on the Municipality's website at least fourteen (14) days prior to the Council meeting. The purpose of the meeting is to allow the public to speak in favour or against the application. At this meeting, Council will choose to deem the lands subject to the application surplus. If the lands are not deemed surplus and Council wishes to retain the land, the applicant will be notified and the process ends. The applicant's deposit will be refunded within thirty (30) days. The consideration amount for the lands subject to the application may be considered at this meeting if an appraisal has been received by the Municipality at this time.~~

2. Section 48 – Naming Private Roads

Municipal Act requirement: A local municipality may name or change the name of a private road after giving public notice of its intention to pass the by-law.
Township of McKellar notice requirement: as a minimum, ~~for any road, not just private~~:
- notice will be posted for at least twenty-eight (28) days on the Township’s website and posted in the area of the proposed road naming/changing that will be viewed by its residents.
- All ratepayers fronting the private road will be mailed a notice to the last known address of the owner.
- Notice will be provided to the abutting Municipality, if applicable.
- Notice will be posted at the Municipal Office.

3. Section 81 – Utilities

~~Municipal Act requirements: A municipality shall provide reasonable notice of the proposed shut-off to the owners and occupants of the land by personal service or prepaid mail or by posting the notice on the land in a conspicuous place.
Township of McKellar notice requirements: As required by the Act.~~

4. Section 99 – Advertising Devices

~~Municipal Act requirement: none.
Township of McKellar notice requirement: notice to be posted on the website – 14 days.~~

5. Section 110 – Agreements for Municipal Capital Facilities

~~Municipal Act requirements: (5) Upon the passing of a by-law permitting a municipality to enter into an agreement under this section, the clerk of the municipality shall give written notice of the by-law to the Minister of Finance. 2001, c. 25, s. 110 (5); 2015, c. 27, Sched. 5, s. 4 (2). (8) Upon the passing of a by-law under subsection (6), the clerk of the municipality shall give written notice of the contents of the by-law to, (a) the assessment corporation; (b) the clerk of any other municipality that would, but for the by-law, have had authority to levy rates on the assessment for the land exempted by the by-law; and (c) the secretary of any school board if the area of jurisdiction of the board includes the land exempted by the by-law.
Township of McKellar notice requirements: As required by the Act.~~

Part IV—Licenses under the Ontario Municipal Act

6.—Section 150—General Licensing Powers

Municipal Act requirement: none.

Township of McKellar notice requirements: Notice to be posted to the Township website a minimum of 14 days prior to the Council meeting where the matter is being considered.

7.—Section 151—Business Licensing

Municipal Act requirement: None.

Township of McKellar notice requirement: Notice to be posted to the Township website a minimum of 7 days prior to the Council meeting at which any By law to license businesses under Section 151 is being considered.

Part V – Municipal Reorganization under the Ontario Municipal Act

8. Section 173 – Restructuring Proposal

Municipal Act requirement: Before the council of a municipality votes on whether to support or oppose a restructuring proposal, the council shall or may, as applicable, do the following things when the proposal is being developed or after it is developed:

- Council shall consult with the public by giving notice of, and by holding at least one public meeting.
- Council shall consult with such persons or bodies as the Minister may prescribe.
- Council may consult with such other persons and bodies as the municipality considers appropriate.

Township of McKellar notice requirement: Council shall hold at least one public meeting. Notice to be posted to the Township website one (1) month 14 days prior to the Council meeting at which the Subject Matter is being considered.

9. Section 187 – Change of Name of Municipality

Municipal Act requirement: None

Township of McKellar notice requirement: Council shall hold at least one public meeting. Notice to be posted to the Township website a minimum of twenty-eight 28 days prior to the Committee of the Whole, Public Meeting or Council meeting at which the Subject Matter is being considered.

10.—Sections 204-210—Business Improvement Areas

Municipal Act requirement: Before passing a by-law under subsection 204 (1), clause 208 (2) (b), subsection 208 (3) or section 209, notice of the proposed by-law shall be sent by prepaid mail to the board of management of the improvement area, if any, and to every person who, on the last returned assessment roll, is assessed for rateable property that is in a prescribed business property class which is located, (a) where the improvement area already exists, in the improvement area and in any geographic area the proposed by law would add to the improvement area; and (b) where a new improvement area would be created by the proposed by law, in the proposed improvement area.

Township of McKellar notice requirements: As required by the Act.

11.—Section 211—Business Improvement Areas—Repeal of By-law

Municipal Act requirement: Council shall give notice in accordance with subsection 210(1) of a proposed By law to repeal a by-law under subsection 204(1). Council shall give the notice within 60 days after receiving the resolution or request. Recipients are to respond within 60 days after the day of mailing notices.

Township of McKellar notice requirement: As required by the Act.

12. Section 216 Dissolution of Local Boards

Municipal Act notice requirement: none.

Township of McKellar notice requirement: Notice to be posted to the Township website a minimum of ~~fourteen (14)~~ days prior to the Council meeting where the matter is being considered.

13. Section 217-219 – Composition of Council of Local Municipality

Municipal Act requirement: Before passing a by-law described in section 218 or a resolution described in clause 218 (7) (b), the municipality shall give notice of its intention to pass the by-law or resolution and shall hold at least one public meeting to consider the matter.

Township of McKellar notice requirement: Before passing a by-law to change the composition of Council, the Township shall give notice of its intention to pass the by-law ~~fourteen (14) days one (1) month~~ prior to the public meeting at which the matter is being considered.

14. Section 222 – Establishment of Wards

Municipal Act requirement: Within 15 days after a by-law described in subsection (1) is passed, the municipality shall give notice of the passing of the by-law to the public specifying the last date for filing a notice of appeal under subsection.

Township of McKellar notice requirement: Council shall hold at least one public meeting. Notice to be posted to the Township website a minimum of twenty-eight (28) days prior to the Council meeting at which the Subject Matter is being considered. Notice to be published in the Newspaper (Digital Publication) and posted to the Township website within 15 days of passing of the By-law.

Part VI – Practices and Procedures under Ontario Municipal Act

15. Section 238 – Procedural By-law

Municipal Act requirement: The procedure By-law shall provide for public notice of meetings.

Township of McKellar notice requirement: Post notice on the Township's website a minimum of fourteen (14) days prior to public meeting. ~~Before passing a by-law to change the composition of Council, the Township shall give notice of its intention to pass the by-law seven (7) days prior to the public meeting at which the by-law is being considered.~~

16. Section 270 - Sale of Municipal Land

Municipal Act requirement: Municipality is required to adopt a policy with respect to the sale and disposition of municipally-owned land.

Township of McKellar requirement: as per the Township's current Sale of Real Property By-law.

~~By-law 2011-24, as amended: Unless otherwise directed by Council, Public Notice shall be given as follows:~~

~~a) Where the land has been declared surplus and the intended manner or process by which the sale of land will be carried out has been approved, the Clerk shall give notice to the public by publishing a notice of the intended sale of the Surplus Land at least once in a newspaper having general circulation in the Township and with notice to be posted on the Township's website under Public Notices;~~

~~b) The notice shall be given at least fourteen (14) days prior to the Council meeting which includes this item on the agenda and shall specify that anyone wishing to comment on the proposed sale may do so by delivering such comment in writing to the Clerk at the Township Office. The final date for submitting such comments shall be on or before the subject matter is to be considered by Council. Any comments received shall be considered by Council which in its sole discretion shall decide if any further action shall be taken on same.~~

~~c) If a final decision is not made at the Council meeting specified in a notice given under this By-law and Council refers consideration of the matter to a future Council meeting for discussion, no further notice is required provided that a public statement was made of the Township's intent to continue its deliberations on the matter at a future meeting. On such specified date, notice shall be deemed to have~~

~~been sufficiently given to continue the public meeting or consideration and pass the proposed by-law.~~

Parts VII, VIII, IX, X & XI – Financial Administration and Taxation

17. Section 290 and 291 – Yearly Budget, Local Municipalities

Municipal Act requirement: None.

Township of McKellar notice requirement: ~~Council shall hold one public meeting prior to the annual budget being adopted by Council; notice to be published on the Township's website. Notice to be published to the Township website a minimum of seven (7) days prior to the Budget meeting or Council meeting at which the by-law adopting the annual budget is to be considered.~~

Notice of all budget meetings held before any readings of the budget by-law shall be published on the Township's website in advance of those meetings.

One (1) notice will be posted on the Township's website informing the public that Council will give the budget by-law its first and second readings at the same Council meeting, and that the third reading will take place at a subsequent meeting. This notice shall be posted a minimum of seven (7) days prior to the meeting at which the first and second readings will occur.

18. Section 295 – Publication of Financial Statements

Municipal Act requirements: Within 60 days after receiving the audited financial statements of the municipality for the previous year, the treasurer of the municipality,

- (a) shall publish in a newspaper having general circulation in the municipality,
 - (i) a copy of the audited financial statements, the notes to the financial statements, the auditor's report and the tax rate information for the current and previous year as contained in the financial review, or
 - (ii) a notice that the information described in subclause (i) will be made available at no cost to any taxpayer or resident of the municipality upon request; and
- (b) may provide the information described in subclause (a) (i) or (ii) to such persons and in such other manner as the treasurer considers appropriate.

Township of McKellar notice requirement: As required by the Act, subsection 295(1)(a); and posted on the Township's website.

19. Section 308(22)(b) – Establishment of Tax Ratios

Municipal Act notice requirements: The Minister may make regulations requiring municipalities that establish tax ratios to give notice of the tax ratios to such persons and in such manner as prescribed.

Township of McKellar notice requirements: As required by the Act.

20. Section 318 – Phase-in of Tax Changes Resulting from Reassessments

Municipal Act notice requirement: A notice of demand of taxes payable in respect of which there is a phase-in shall indicate the amount of taxes that would have been payable without the phase-in, the amount of taxes that are payable and the difference.

Township of McKellar notice requirement: As required by the Act.

21. Section 331 – Taxes on Eligible Property

Municipal Act notice requirement: The local municipality shall mail to the owner of each eligible property the list of the comparable properties and the determination made under subsection (2) with respect to that eligible property within 60 days after the date the list is received by the local municipality.

Township of McKellar notice requirement: As required by the Act.

22. Section 343 – Notice of Tax Bill

Municipal Act requirements: The Treasurer shall send a tax bill to every taxpayer at least twenty-one (21) days before any taxes shown on the tax bill are due.

Township of McKellar notice requirements: As required by the Act.

~~23. Section 348 – Determination of Tax Status~~

~~Municipal Act notice requirement: On making the determination required by subsection (1), the treasurer shall send to every taxpayer who owes taxes from a preceding year a notice of those taxes and of the related late payment charges.~~

~~Township of McKellar notice requirement: As required by the Act.~~

24. Section 350 – Obligations of a Tenant

Municipal Act notice requirement: Where taxes are owed in respect of any land occupied by a tenant, the treasurer may give the tenant notice in writing requiring the tenant to pay the rent in respect of the land to the treasurer as it becomes due up to the amount of the taxes due and unpaid plus costs, and the tenant shall comply with the notice.

Township of McKellar notice requirement: As required by the Act.

~~25. Section 351 – Seizure~~

~~Municipal Act requirements: Subject to certain conditions, if taxes on land remain unpaid after the due date, the treasurer or the treasurer's agent may seize personal property to recover the taxes and costs of the seizure. The treasurer or the treasurer's agent shall give the public notice of the time and place of the public auction and of the name of the person whose personal property is to be sold.~~

~~Township of McKellar notice requirements: As required by the Act.~~

~~26. Section 356 – Division into Parcels~~

~~Municipal Act requirements: Upon application by the Treasurer of a local municipality or to the Treasurer by an owner of land, the local municipality may:~~

- ~~(a) divide, for the purposes of this section, land which is assessed in one block into two or more parcels if each parcel is one that can be legally conveyed under the Planning Act;~~
- ~~(b) apportion the unpaid taxes on the land among the parcels, (i) in proportion to their relative value at the time the assessment roll for the year in which the application is made was returned, or (ii) if council is of the opinion that an apportionment under subclause (i) is not appropriate due to special circumstances, any other manner; and~~
- ~~(c) direct what proportion of any part payment of taxes on the land is to be applied to each of the parcels. On or before September 30 of the year following the year in which the application is made, the Council shall, (a) hold a meeting at which the applicants and owners of any part of the land may make representations to council; (b) notify the applicants and owners of the meeting by mail sent at least 14 days before the meeting; and (c) make its decision. Within 14 days after making its decision, council shall notify the applicants and owners of the decision and specify the last day for appealing the decision.~~

~~Township of McKellar notice requirements: As required by the Act.~~

~~27. Section 357 – Cancellation, Reduction, Refund of Taxes~~

~~Municipal Act requirements: Upon application, and subject to certain conditions, the local municipality may cancel, reduce or refund all or part of taxes levied on land in the year in respect of which the application is made. On or before September 30th of the year following the year in respect of which the application is made, council shall: (a) hold a meeting at which the applicants may make representations to council; (b) notify the applicants of the meeting by mail sent at least 14 days before the meeting; and (c) make its decision. Within 14 days after making its decision, council shall notify the applicants of the decision and specify the last day for appealing the decision~~

~~Township of McKellar notice requirements: As required by the Act.~~

~~28. Section 358 – Overcharges Due to Gross or Manifest Error~~

~~Municipal Act requirements: Upon receipt of an application, and subject to certain conditions, the municipality may cancel, reduce or refund all or part of taxes which were overcharged due to a gross or manifest error in the preparation of the assessment roll. The treasurer shall send a copy of the application to the assessment corporation and the registrar of the Assessment Review Board. If an application is not valid under subsection (5), the treasurer shall notify the applicant in writing of the reasons it is not valid. On or before September 30 of the year following the year in which the application is made, council shall: (a) hold a meeting at which the applicant may make representations to council; (b) notify the applicant of the meeting by mail sent at least 14 days before the meeting; and (c) make its decision. Within 14 days after making its decision, council shall notify the applicant of the decision.~~

~~Township of McKellar notice requirements: As required by the Act.~~

29. Section 359 – Increase of Taxes as Result of Undercharge by Gross or Manifest Error

Municipal Act requirement: Upon receipt of an application by the treasurer, the municipality may increase the taxes levied when the taxes were undercharged due to a gross or manifest error. Council shall: (a) hold a meeting at which the treasurer and the person in respect of whom the application is made may make representations to council; (b) notify the treasurer and the person in respect of whom the application is made of the meeting by mail sent at least 14 days before the meeting; and (c) make its decision. Within 14 days after making its decision, council shall notify the treasurer and the person in respect of whom the application is made of the decision and specify the last day for appealing the decision.

Township of McKellar notice requirements: As required by the Act.

30. Section 365.2 – Tax Reduction for Heritage Property

Municipal Act notice requirement: A local municipality shall deliver a copy of a by-law under this section to the Minister of Finance within 30 days after the by-law is passed.

Township of McKellar notice requirements: As required by the Act.

31. Section 379-381 – Tax Arrears Certification – Public Notice

Municipal Act requirements: If the cancellation price remains unpaid 280 days after the day the tax arrears certificate is registered under section 373, the treasurer, within 30 days after the expiry of the 280-day period, shall send to the persons entitled to receive notice under section 374 a final notice that the land will be advertised for public sale unless the cancellation price is paid before the end of the one-year period following the date of the registration of the tax arrears certificate. If at the end of the one-year period the cancellation price has not been paid the land shall be offered by public auction or public tender. The Treasurer shall make a statutory declaration stating the names of the persons to whom notice was sent previously and advertise the land for sale in accordance with the Regulations once a week for four weeks in a newspaper that, in the opinion of the Treasurer, has such circulation within the municipality as to provide reasonable notice of the sale. After the sale is made, and within 60 days after making a subsequent statement and payment to the Superior Court of Justice, the treasurer shall send a copy of the statement to the Public Guardian and Trustee and to the persons to whom notice was previously sent. Any notice required to be sent may be given by personal delivery or be sent by certified or registered mail.

Township of McKellar notice requirements: As required by the Act.

~~32. Section 386.2 – Tax Sales, Entering to Carry Out Inspection without Warrant~~

~~Municipal Act notice requirement: At least seven days before entering to carry out an inspection, the municipality shall, by personal service or by prepaid mail, serve a written notice of the inspection on the owners and occupants of the land as shown by the records of the land registry office and by the last returned assessment roll of the municipality in which the land is located.~~

~~Township of McKellar notice requirement: As required by the Act.~~

~~33. — Section 386.3 — Tax Sales, Entering to Carry Out Inspection with Warrant~~

~~Municipal Act notice requirement: The municipality shall give the owners and occupiers of the land seven days written notice (requirements of notice specified in the Act).~~

~~Township of McKellar notice requirement: As required by the Act.~~

34. Section 391 – Fees and Charges By-law

Municipal Act notice requirement: None

Township of McKellar notice requirements: Public notice for the adoption of or an amendment to the Fees and Charges By-law is given by publishing a notice on the Township's website a minimum of fourteen (14) days ~~7 days~~ prior to the meeting.

~~35. — Section 400 — Fees and Charges — Regulations~~

~~Municipal Act notice requirement: The Minister may make regulations regarding fees and charges with priority lien status, including a requirement that the municipality give notice of its intention to pass a by-law imposing fees and charges which will have priority lien status.~~

~~Township of McKellar notice requirements: As required by Ontario Regulation 586/06.~~

~~36. — Section 402 — Notice of Debt~~

~~Municipal Act notice requirement: Upon receipt of an application of a municipality to incur a debt, the Ontario Land Tribunal may direct the municipality to give notice of the application to such persons and in such manner as the Tribunal determines.~~

~~Township of McKellar notice requirements: As required by the Tribunal.~~

Part XIII – Enforcement under the Ontario Municipal Act

37. Section 435 – Power of Entry ~~Enter~~ onto Private Land

Municipal Act notice requirement: Where subsection (1) requires that notice of a proposed exercise of a power of entry be given, the notice must satisfy the specific requirements under the Act.

Township of McKellar notice requirements: As required by the Act.

~~38. — Section 441 — Collection of Unpaid Licensing Fines~~

~~Municipal Act notice requirement: If any part of a fine for a contravention of a business licensing by-law remains unpaid after the fine becomes due and payable under section 66 of the Provincial Offences Act, including any extension of time for payment under section 66 or 66.0.1 of that Act, the authorized officer may give the person against whom the fine was imposed a written notice specifying the amount of the fine payable and the final date on which it is payable, which shall be not less than 21 days after the date of the notice.~~

~~Township of McKellar notice requirements: As required by the Act.~~

~~39. — Section 447 — Court Order to Close Premises~~

~~Municipal Act notice requirement: The municipality that passed the licensing by-law in respect of which a closing order was made is a party to any proceedings instituted under subsection (3), (4) or (6) in respect of the order and shall be given notice of the proceedings in accordance with the rules of the court.~~

~~Township of McKellar notice requirements: As required by the Act.~~

Ontario Regulations (O. Regs)

40. O. Reg 244/02 Section 6 – Fees and Charges for Use of a Waste Management Service and Fire Permit / Inspection Service

O. Reg 244/02 Requirements: Before passing a by-law imposing a fee or charge, the municipality or local board, as the case may be, shall, (a) hold at least one public meeting at which any person who attends has an opportunity to make representation with respect to the matter; (b) ensure that a minimum of 21 days notice of the public meeting is given, including giving 21 days notice to every person and organization that has, within five years before the

day of the public meeting, given the clerk of the municipality or secretary of the local board, as the case may be, a written request for notice of the passing of the by-law containing a return address; (c) ensure that notice under this section, (i) sets out the intention of the municipality or local board to pass the by-law and whether the by-law would impose any fee or charge which was not in effect on the day the notice is given or change any fee or charge which was in force on the day the notice is given, and (ii) sets out the information described in clause (d) or states that the information will be made available at no cost to any member of the public upon request; and (d) shall make available to the public information setting out, (i) a description of the service or activity or other matter for which the fee or charge is being imposed, (ii) an estimate of the costs of providing the waste management system, the sewage system or the water system, in respect of which the fee or charge is being imposed, (iii) the amount of the fee or charge, and (iv) the rationale for imposing the fee or charge.

Township of McKellar requirements: As per O. Reg 244/02(6).

41. O. Reg 586/06 - Local Improvement Charges - Priority Lien Status

[O. Reg 586/06](#) requirements: 4. (1) Any person or body that is required to give notice under this Regulation shall, except as otherwise provided, give notice in the form, in the manner and at the time that the person or body considers adequate to give reasonable notice. O. Reg. 586/06, s. 4 (1). (2) A notice to an owner under this Regulation is sufficiently given if it is, (a) served personally; (b) sent by mail to the owner's place of business or residence as set out in the municipality's last returned assessment roll, as most recently revised; or (c) left at or sent by mail to the owner's actual place of business or residence, if known. 6. (1) Before passing a by-law to undertake a work as a local improvement under section 5, the municipality shall give notice of its intention to pass the by-law, to the public and to the owners of the lots liable to be specially charged. (2) The notice shall include, (a) the estimated cost of the work; (b) the estimated lifetime of the work; (c) the estimated special charges per metre of frontage for the lots liable to be specially charged; (d) when the special charges described in clause (c) shall be paid; (e) if the municipality intends to apply to the Ontario Land Tribunal under section 8 for approval to undertake the work as a local improvement, (i) a statement that the municipality intends to apply to the Tribunal for this purpose, (ii) a description of the right to object, under section 8, to the work being undertaken as a local improvement, and (iii) the last day for filing an objection under section 8; (f) if the municipality has received an approval, recommendation or sufficient petition under clause 7 (2) (a), (b) or (c) with respect to the work, a statement of that fact; (g) if the municipality has not received an approval, recommendation or sufficient petition under clause 7 (2) (a), (b) or (c) with respect to the work, (i) a description of the right to petition council not to undertake the work as a local improvement, (ii) the last day for making the petition, and (iii) the effect of the petition.

Township of McKellar notice requirements: As required by [O. Reg 586/06](#).

PLANNING ACT NOTICE REQUIREMENTS

42. Section 17 – Official Plans

Planning Act notice requirements: [O. Reg 543/06](#)

Township of McKellar notice requirements: As per the requirements stipulated in the Planning Act, 1990, c. P. 13, as amended.

43. Sections 34, 36, 38 - Zoning By-Laws, Hold By-Laws, Interim Control By-Laws

Planning Act notice requirements: [O. Reg 545/06](#)

Township of McKellar notice requirements: As per the requirements stipulated in the Planning Act, 1990, c. P. 13, as amended.

44. Section 45 - Minor Variance Applications

Planning Act notice requirements: [O. Reg 200/96](#)

Township of McKellar notice requirements: As per the requirements stipulated in the Planning Act, 1990, c. P. 13, as amended.

45. Sections 50, 51 - Plans of Subdivision

Planning Act notice requirements: [O.Reg 544/06](#)
Township of McKellar notice requirements: As per the requirements stipulated in the Planning Act, 1990, c. P. 13, as amended.

46. Section 53 - Consent Applications

Planning Act notice requirements: [O.Reg 197/96](#)
Township of McKellar notice requirements: As per the requirements stipulated in the Planning Act, 1990, c. P. 13, as amended.

BUILDING CODE ACT REQUIREMENTS

47. Sections 6, 7 & 8 – Change in Fees

Building Code Act requirements: If a principal authority proposes to change any fee imposed under clause (1) (c), the principal authority shall, (a) give notice of the proposed changes in fees to such persons as may be prescribed; and (b) hold a public meeting concerning the proposed changes. The notice of proposed changes in fees must contain the prescribed information, including information about the public meeting, and must be given in the prescribed manner. The public meeting concerning proposed changes in fees must be held within the period specified by regulation before the regulation, by-law or resolution to implement the proposed changes is made.

Township of McKellar notice requirements: As required by the Act.

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22. Unfinished Business

Date	Res. No.	Item & Description	Assigned to	Status
		Deerfield-Bay Road Upgrades	Public Works & Administration	No response from the Association, project on hold.
		Stoney Road, Dockside Drive and Bruce Trail (Fire Route 152, 152A, 152B) Road Upgrades	Public Works & Administration	Road studies completed. Awaiting 2/3 in favour.
		Moffat Road Upgrades	Public Works & Administration	Road study completed.
Mar. 7/23	23-204	By-law 2023-23 Being a By-law to Regulate Dogs in the Township	By-law Enforcement	By-law deferred at Dec. 19/23 meeting. BLEO to make updates and present to Council at a future meeting.
Feb. 7/24	24-080	By-law 2024-15 Being a By-law to Amend the Parking By-law (with respect to fees)	By-law Enforcement	Report to Council on the area Municipality fees.
Mar. 1/24	24-107 25-194	Quotations for Playground Equipment for Broadbent Ball Park	Administration	Staff have submitted an NOFHC grant for this project. Staff are obtaining pricing through Canoe Procurement group and will present the designs and pricing to Council at a future date.
Mar. 4/25		Add to the greeting message that calls are recorded	Administration	Current phones do not have this capability. Contract is up in September 2027.
May 6 /25		Sevier Township Property on Dockside Drive to create 5 new non-waterfront lots	Administration	Surveying of 5 lots is completed.
October 29/25		Monument repairs in cemeteries (Lakeview, Hurdville and St. Stephen's)	Administration and Public Works Department	Staff have heard from Sanderson Monument, and they will attempt to repair the monuments as weather permits or at the beginning of Spring.
August 19/25		The floor in the Community Hall and the McKellar Arena is to be replaced	Public Works Department	RHH Engineering is reviewing the arena floor. Staff are pricing flooring for the hall, with samples to come.
Oct. 7/25	25-432	Circular Materials Change Order for Depot Operations Agreement	Administration	Waiting for CM to provide change order.
Oct 21/25	25-445	Cyber Security Insurance	Administration/Treasury	Deferred at the October 21, 2025, meeting. Staff speaking to the Township's IT provider. Staff to bring Report to Council, November 18 Regular Meeting



October 30, 2025

In This Issue:

- Deadline Extended: Nov 3rd! 2026 Youth Fellowship Program applications.
- Excess Soil and Records of Site Condition Regulatory Amendment.
- Webinar: Permission changes for storm water management works.
- MECP best practices for Source Water Protection Program.
- Request for Proposals for AMO AGM and Annual Conference.
- Seeking re-election or first-time candidate? AMO's new, free workshop series is for you.
- Request your delegations at the ROMA Conference.
- ROMA Trade show - over 50% sold out!
- How Municipalities Can Spot – and Stop – Professional Identity Fraud.
- Provide sewer and water line protection for homeowners.
- Partnering for Impact: Collaborating on Municipal Solutions.
- Register now for Magnetic North Conference 2025 at Science North.
- Call for proposals inviting municipalities to apply for infrastructure projects funding.
- Careers.

AMO Matters

Application deadline for AMO's 2026 Youth Fellowship Program are now closing next Monday, November 3rd. Share this opportunity with students and youth interested in local government, governance, and the health of our democracy. Participants learn about municipal governance and policy while gaining exposure to real-time issues facing Ontario's municipalities. [Applications information linked here.](#)

Provincial Matters

Ontario has made amendments to [Ontario Regulation 406/19](#) and [Ontario Regulation 153/04](#) to enable greater beneficial reuse of excess soil and remove barriers to redeveloping brownfield properties.

The Ministry of the Environment, Conservation and Parks is holding a webinar about changes to environmental permissions for storm water management from 1:30-3.00pm November 4, 2025. Contact enviropemissions@ontario.ca for the link and further details.

The Ministry of the Environment, Conservation and Parks is accepting applications to assist municipalities and First Nations communities to develop source water protection action plans. Applications can be submitted until October 31, 2025. Contact SourceProtectionFunding@ontario.ca for more information.

Education Opportunities

The Association of Municipalities of Ontario (AMO) is now accepting bids for our 2028, 2029, 2030 and 2031 AMO Annual Conference. The Request for Proposals (RFP) is open to all AMO members in good standing able to best fulfill/meet the criteria as laid out in the RFP. [Click here for the RFP.](#)

Stronger Leaders, Stronger Communities is designed to equip you with the tools, resilience, and confidence to meet the challenges of the political landscape head-on. This workshop series is being offered at no charge in two streams: those considering re-election in 2026 and a second for first-time candidates who want to explore whether elected office is right for them. [Full details and registration information here.](#)

ROMA is pleased to share that the Ministry of Municipal Affairs and Housing (MMAH) has launched its [delegation request process](#) for the 2026 ROMA Annual Conference. Only registered ROMA Conference delegates are eligible to participate in delegation meetings with the provincial government. [Register today.](#)

ROMA members represent over 2.8 million residents living in about 1,000,000 households. Connect with rural municipal leaders at the ROMA Conference trade show. [Complete your application today](#) before it is sold out.

LAS

LAS' Electronic Signature Program partner contributes an article about identifying fraudulent identity credentials. Read about various cases and [learn how to identify and stop these occurrences](#) in your municipality.

Through the [LAS Sewer and Water Line Warranty program](#), municipalities can provide a cost-saving option for homeowners who find themselves with damaged sewer and water

lines. Learn more about this guaranteed warranty program provided by Service Line Warranties of Canada (SLWC).

Municipal Wire*

Join us on November 19th at 12:00pm for an interactive session exploring how municipal and post-secondary partnerships can tackle today's most complex local challenges. Learn practical ways municipal leaders, planners, and researchers can collaborate with academic institutions to drive innovation and change. [Register here](#).

Registration is now open for Magnetic North 2025 at Science North. Join the Northern Policy Institute in Sudbury to explore population growth and immigration in Northern Ontario. For more details about the conference and to register, [click here](#).

Co-operators [Resilience Acceleration Lab](#) is inviting municipalities to apply for funding to develop infrastructure projects that reduce physical climate risks, including flooding, wildfires, storms, and heat. Selected proposals may receive up to \$250,000 and expert guidance to prepare for private capital financing. Projects will be reviewed on a rolling basis until January 30, 2026. Contact [Don Iveson](#) or resilience@cooperators.ca if you have any questions.

Careers

[Strategic Initiatives & Engagement Manager - Bruce County](#). Closing Date: November 7, 2025

[Associate Director, Fleet Services - Niagara Region](#). Closing Date: Nov 13, 2025

[Legal and Real Estate Coordinator - King Township](#). Closing Date: November 6, 2025

[Chief Financial Officer / Treasurer - King Township](#). Closing Date: November 17, 2025

[Zoning Examiner and Planning Coordinator - King Township](#). Closing Date: October 31, 2025

About AMO

AMO is a non-profit organization representing almost all of Ontario's 444 municipal governments. AMO supports strong and effective municipal government in Ontario and

promotes the value of municipal government as a vital and essential component of Ontario's and Canada's political system. Follow [@AMOPolicy](#) on Twitter!

AMO Contacts

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[Conferences/Events](#)

[Policy and Funding Programs](#)

[LAS Local Authority Services](#)

[MEPCO Municipal Employer Pension Centre of Ontario](#)

[ONE Investment](#)

[Media Inquiries](#)

[Municipal Wire, Career/Employment and Council Resolution Distributions](#)





AMO Watchfile



November 06, 2025

In This Issue:

- New resources added to Gender-Based Violence toolkit.
- AMO releases resource to support increasing voter turnout.
- AMO releases new version of its Local Democracy Solutions Bank.
- Ontario Energy Board Plans 2026 review of Model Franchise Agreement.
- ROMA Conference concurrent sessions release.
- Workshop: Everything You Need to Know as a Diverse Candidate – Dec 3rd.
- Seeking re-election or first-time candidate? AMO's new, free workshop series is for you.
- Request your delegations at the ROMA Conference.
- ROMA Trade Show - selling out fast!
- Request for Proposals for AMO AGM and Annual Conference.
- How Municipalities Can Spot – and Stop – Professional Identity Fraud.
- Provide sewer and water line protection for homeowners.
- LTC Webinar for Councillors – Recording and Presentation Deck.
- IESO LT2 Q&A Session.
- IESO Long Lead Time Procurement Webinar.
- Invasive Species Action Fund.
- Partnering for Impact: Collaborating on Municipal Solutions.
- Careers.

AMO Matters

New resources have been added to [AMO's Gender-Based Violence Toolkit](#), including the newly launched [Leader's Pledge on Preventing and Addressing Sexual Misconduct](#).

[Turn Up the Turnout: A Resource on Voter Participation in Local Elections](#) equips politicians, policymakers, civil society leaders, and citizens with evidence-based strategies to increase voter turnout. This resource is part of AMO's Healthy Democracy Project designed to support AMO members to better engage residents in their communities, help people understand the important role of their local government, and understand how their voice and votes matter.

The new version of [AMO's Local Democracy Solutions Bank](#) includes a catalogue of existing resources for candidates looking to run or seek re-election. The resources have been collected from national and local Ontario candidate support organizations. Explore growing catalogues of local democracy solutions, candidate supports, and local democracy related reports and research.

Provincial Matters

The OEB [issued a letter](#) advising interested stakeholders that it intends to commence a generic proceeding in 2026 to review the OEB's Model Franchise Agreement.

Education Opportunities

The ROMA 2026 Conference is a vital hub for sharing innovative solutions, gaining insight into best practices and tools that can drive the sustainability of your community. View the [program outline](#) and list of topics that will be explored at the conference and [register today](#).

Focused specifically on diverse candidates, AMO's [Running for Municipal Office – Everything You Need to Know as a Diverse Candidate](#) 90-minute workshop provides useful insights and strategies to support you in getting your name on the ballot.

Stronger Leaders, Stronger Communities is designed to equip you with the tools, resilience, and confidence to meet the challenges of the political landscape head-on. This workshop series is being offered at no charge in two streams: those considering re-election in 2026 and a second for first-time candidates who want to explore whether elected office is right for them. [Full details and registration information here](#).

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Municipal Wire*

A [recording and presentation slides](#) are available for AdvantAge's webinar on the long-term care environment from a municipal perspective. Municipal councils and staff involved in LTC are encouraged to review.

The Independent Electricity System Operator (IESO) is hosting an [information session](#) on November 12th on its proposed “Long Lead Time” (LLT) Procurement followed by a [breakout session for municipalities](#). Attendees must register for the session and breakout separately.

The Independent Electricity System Operator (IESO) is hosting a [Q&A session](#) about the proposal process for the long-term 2 procurements on November 13. The deadline for LT2 proposals is December 18.

The Invasive Species Centre is accepting proposals to the Invasive Species Action Fund to facilitate on-the-ground monitoring and management of critical invasive species. Visit www.invasivespeciescentre.ca/grants to apply by January 9th.

Join AMO and the [Future Cities Institute](#) on November 19th at 12:00pm for an interactive session exploring how municipal and post-secondary partnerships can tackle today’s most complex local challenges. Learn practical ways municipal leaders, planners, and researchers can collaborate with academic institutions to drive innovation and change. [Register here](#).

Careers

[Director of Children and Social Services - City of Greater Sudbury](#). Closing Date: November 25, 2025.

[Senior Policy Advisor \(Labour relations and contingency planning\)/ Conseiller principal en politiques \(relations de travail et planification des mesures d'urgence\); conseillère principale en politiques \(relations de travail et planification des mesures d'urgence\)](#) - Treasury Board Secretariat/Secrétariat du Conseil du Trésor. Closing Date: November 13, 2025.

[Team Lead \(Strategy and Contingency Planning\)/Chef d'équipe \(stratégies et planification des mesures d'urgence\)](#) - Treasury Board Secretariat/Secrétariat du Conseil du Trésor. Closing Date: November 13, 2025.

[Licensing and Public Services Coordinator - King Township](#). Closing Date: November 17, 2025.

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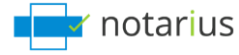
[LAS Local Authority Services](#)

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[Municipal Wire, Career/Employment and Council Resolution Distributions](#)



October 2025

LABOURFOCUS

The Labour Market Group

JOBS REPORT SEPTEMBER 2025

TOTAL NUMBER OF JOB POSTINGS

481

NIPISSING

-8

from
August

118

PARRY SOUND

-4

from
August

TOP INDUSTRY WITH VACANCIES

NIPISSING

Health Care & Social
Assistance (26.6%)

PARRY SOUND

Health Care & Social
Assistance (23.7%)

To view the full report, visit our website
www.thelabourmarketgroup.ca
readysethired.ca

Questions or concerns?
 Feel free to contact us at
info@thelabourmarketgroup.ca



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 P1B 3B9

The Labour Market Group is funded by:



ONTARIO ECONOMIC SCAN 2024

DEMOGRAPHICS



Ontario represents

39.0%

of Canada's total
population.

6.2 million people

lived in Ontario in 2024,

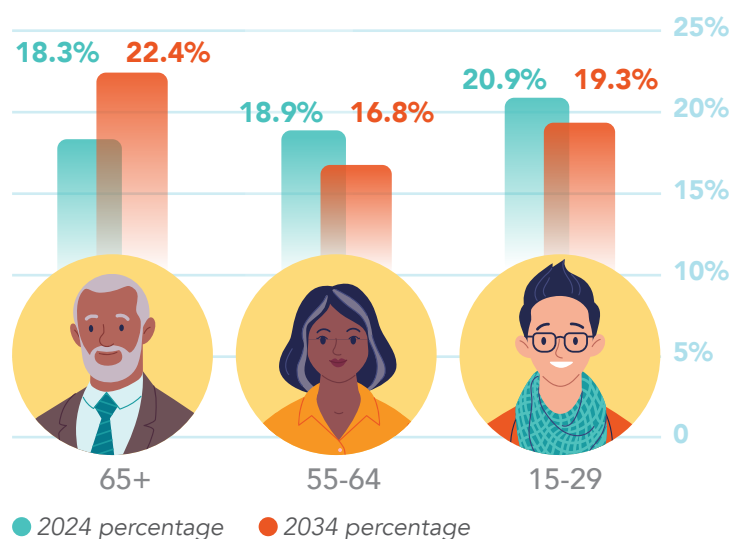
an increase from 2023 of 2.2%

Labour force
 participation has
**risen amongst
 workers aged 65
 and over** in
 recent years
 as the cost
 of living has
 increased.



Age Cohort Proportions of Working Age Population – 2024 Versus 2034

In 2034 the proportion
 of seniors aged 65+ is
 projected to increase from
 2024 numbers; on the other
 hand the proportion of
 working-age individuals aged
 55-64 and 15-29 years old is
 projected to decline in that
 same time frame.



18.6%
 less permanent residents
 planned for 2025



Large Decrease Expected in New Permanent Residents

Ontario has the largest proportion of recent immigrants
 arriving in Canada between 2016 and 2021, with 44.0%.

In 2024, Canada welcomed 483,390 new permanent
 residents, an increase of 2.5% compared to the previous
 year, about 42.6% settled in Ontario.

Immigration, Refugees and Citizenship Canada has set
 a lower goal of about 395,000 new permanent residents
 for 2025, a decrease of 18.6% from 2024.

Source: Canada Job Bank Economic Scan – Ontario 2024

www.thelabourmarketgroup.ca

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info@thelabourmarketgroup.ca

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P1B 3B9

The Labour Market Group is funded by:



ONTARIO ECONOMIC SCAN 2024

RISKS TO THE ONTARIO ECONOMY IN 2025

Ontario continues to face challenges arising from affordability pressures, and weak employment gains. Recent changes to Canada's immigration policies and targets may affect the economic outlook for Ontario. Lower levels of immigration and an aging population will likely slow down economic momentum in Ontario.

Low-income populations



About 10.1% of Ontario's population were in low-income status, according to the 2021 Census. The prevalence of low-income was especially high for those living alone, and those living in a single-parent household.

10.1%

Small-Medium Enterprises (SMEs)

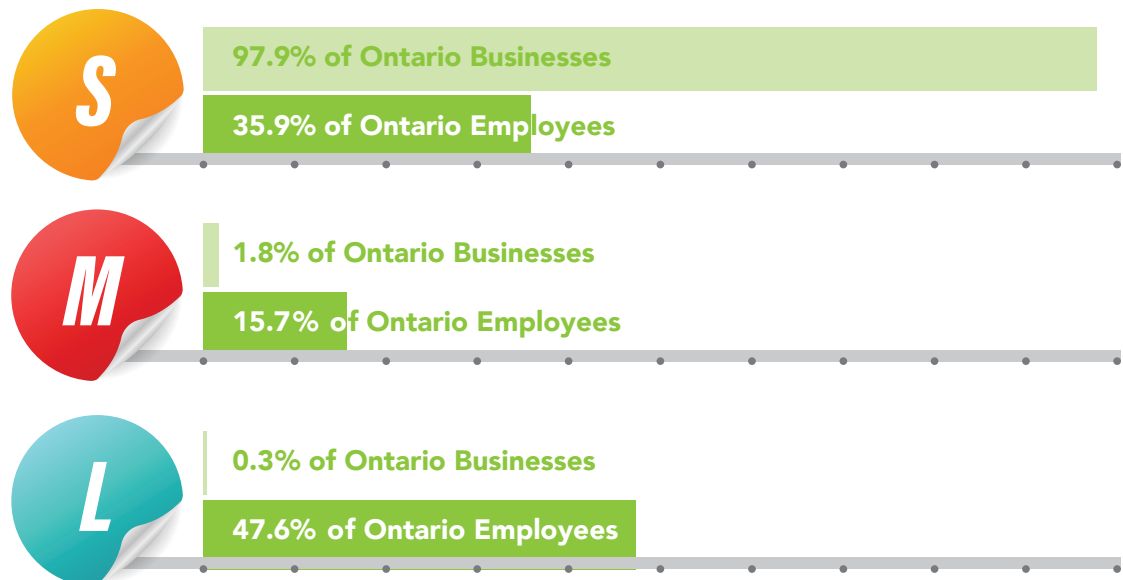
Small enterprises (1-99 employees) represented 97.9% of businesses with at least one employee in Ontario and employed 35.9% of employees in Ontario as of June 2024.

Medium-sized enterprises (100-499 employees) represented 1.8% of businesses with at least one employee in Ontario and employed 15.7% of employees in Ontario as of June 2024.

Large enterprises (500+ employees) represented 0.3% of businesses with at least one employee in Ontario and employed 47.6% of employees in Ontario as of June 2024.



Average wages went up by 5.2% in 2024, higher than the Ontario inflation rate of 2.4%.



Source: Canada Job Bank Economic Scan – Ontario 2024

www.thelabourmarketgroup.ca

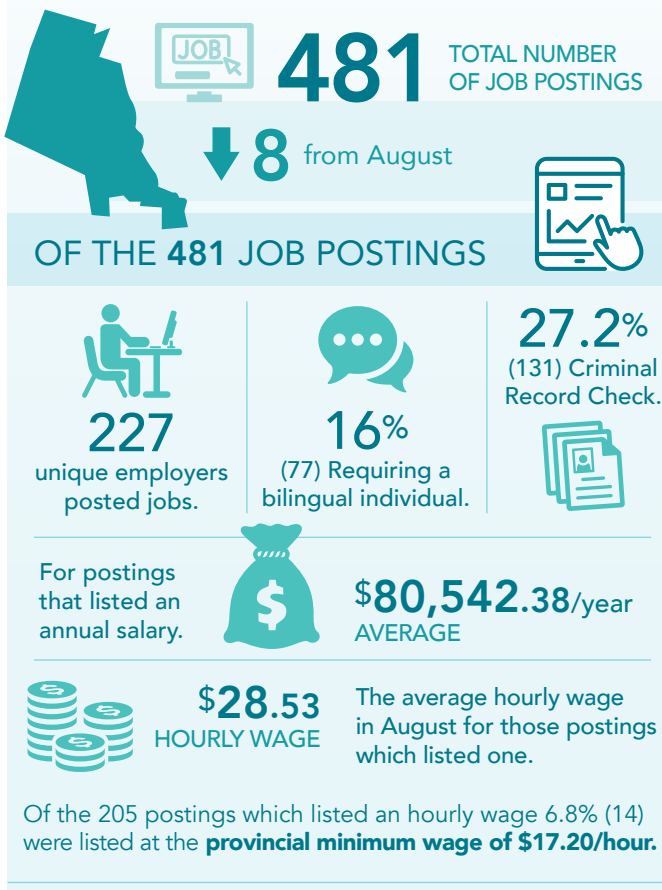
MONTHLY JOBS REPORT

September 2025

The Labour Market Group
Guiding partners to workforce solutions.

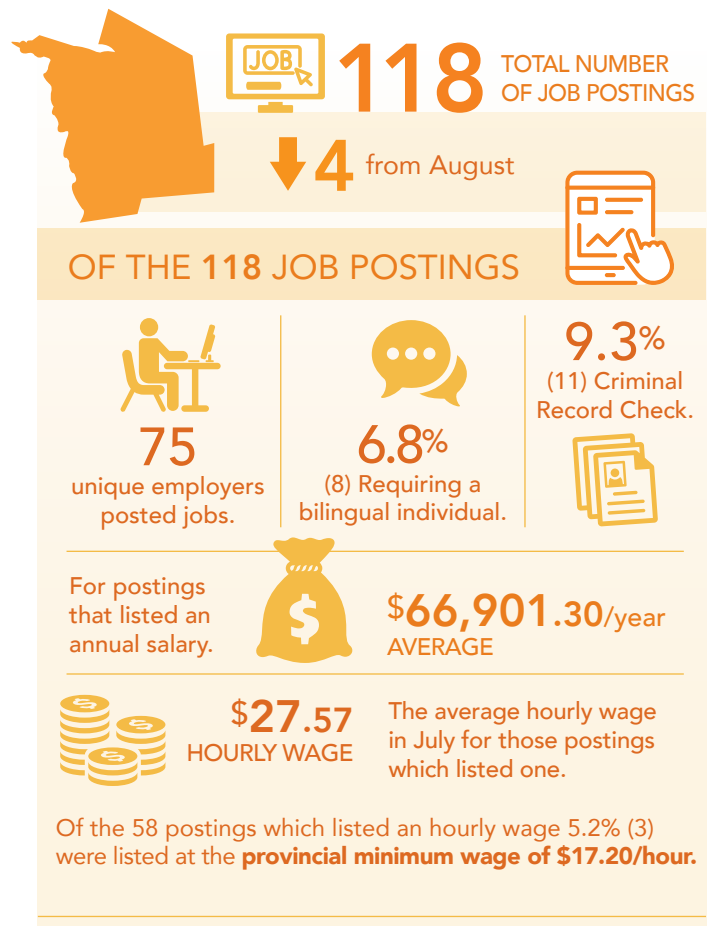
NIPISSING DISTRICT

There were 481 job postings recorded in September for Nipissing District. This marks a slight month-over-month decrease of -1.6% (-8 postings) compared to August, and a significant year-over-year decrease of -18.6% (-110 postings) compared to September 2024. This continues the trend of YoY declines seen over the past few months, despite smaller fluctuations in MoM data. It suggests a still-cooling labour market, though the pace of decline may be stabilizing. This is similar to the trends seen in the Canadian economy as a whole, wherein, according to StatCan the labour market has been in decline since January 2025. A total of 227 unique employers posted jobs, which is a 5.0% drop (-12 employers) from the previous month and 20.1% lower than last year.



PARRY SOUND DISTRICT

There were 118 job postings recorded for the Parry Sound District in September. This is slightly lower in month-over-month (-3.3%, -4) numbers and a notable decrease in year-over-year (-9.2%, -12) comparisons. Like Nipissing, this is likely due to labour softening effects seen all over Canada. There were 75 unique employers this month, higher in month-over-month (+5.6%, +4) comparisons, which may reflect renewed employer activity despite the slight overall drop in postings this month.



* North American Industry Classification System (NAICS) is the system utilized by the governments of Canada, United States and Mexico in order to classify companies based on their primary functions/objectives.

TOP 5 EMPLOYERS POSTING JOBS



TOP 5 EMPLOYERS POSTING JOBS



TOP 5 INDUSTRIES HIRING (NAICS)



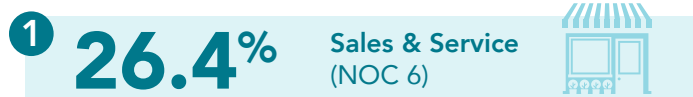
The Health Care and Social Assistance (NAICS-62) industry saw the most number of job postings in September making up 26.6% (128) of the total. The largest MoM decrease (-3.6%, -18) was seen in Accommodation and Food Services (NAICS-72), which is expected as the summer months come to an end and seasonal tourism-related hiring slows down. Other Services (NAICS-81) saw the largest month-over-month increase of +2.1%.

TOP 5 INDUSTRIES HIRING (NAICS)



The Health Care and Social Assistance (NAICS-62) industry saw the most number of job postings in September with 23.7% (28) of the total. The largest MoM decrease (-3.6%, -18) was seen in Accommodation and Food Services (NAICS-72). The Retail Trade (NAICS-44-45) industry saw the largest month-over-month increase + 8.9%.

TOP 3 OCCUPATIONAL CATEGORIES (NOC)



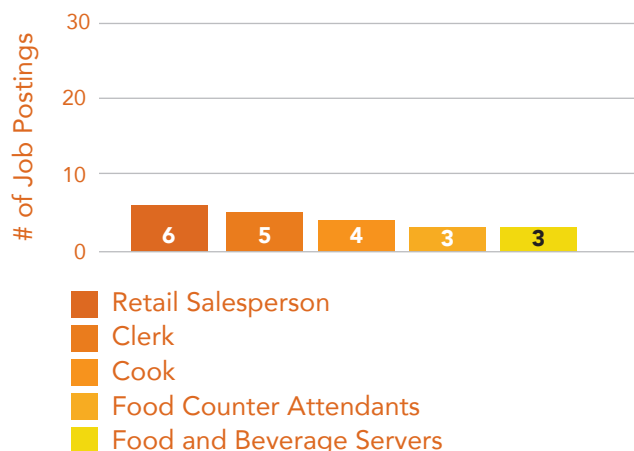
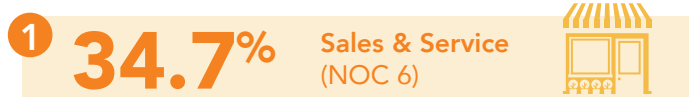
- Truck Driver (16)
- Automotive Service Technician (12)
- Building Maintenance Worker (7)
- Heavy Equipment Operators (5)
- Carpenters (4)



- Social and community service workers (15)
- Teacher - Elementary / Kindergarten (11)
- Early Childhood Educator / Assistant (9)
- Home Support Worker (8)
- University Professors / Lecturers (7)

Sales and Service (NOC-6) based occupations made up 26.4% (127) of all the job postings listed in September. It also saw the largest month-over-month decrease (-2.6%, -15), likely reflecting a seasonal slowdown in retail and customer-facing services following the end of peak summer demand. Contrary to August, but in-line with July, the Trades, Transportation, and Equipment Operators (NOC-7) based occupations saw the largest increase (+3.8%). Looking at managerial roles, 9 of 23 fell in the Sales and Service occupations and 4 in Trades, Transportation, and Equipment Operators. There were no senior managerial roles this month.

TOP 3 OCCUPATIONAL CATEGORIES (NOC)



- Material Handler (4)
- Building Maintenance Worker (4)
- Truck Drive (3)
- Construction Trades Labourers (3)
- 2 tied with (2)



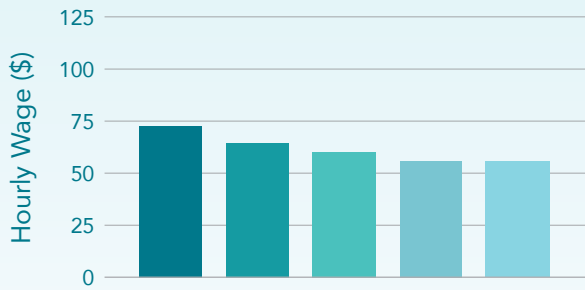
- Social and community service worker (6)
- Home Support Worker (5)
- Early Childhood Educator / Assistant (3)
- Teacher - Elementary / Kindergarten (2)
- 4 tied with (1)

Sales and Service (NOC-6) based occupations represented the largest number of job postings in August (34.7%, 41). It also saw the largest month-over-month decrease (-5.4%, -8) for the second month in a row, likely seasonal. The largest increase (+2.8%) was seen in the Business, Finance and Administration (NOC 1) occupations. Looking at managerial roles, of the 6 roles advertised, 2 each fell in the Sales and Service, Business, Finance and Administration and Trades, Transport and Construction. There were no senior manager roles advertised this month.

TOP 5 HOURLY WAGE VACANCIES



\$72.51 Director –
Finance and Asset Management
@ Hands, TheFamilyHelpNetwork.ca



\$64.17 Information Systems and Technology Head
@ Hands, TheFamilyHelpNetwork.ca

\$60.28 Physiotherapist - Advanced Practice
@ North Bay Regional Health Centre

\$56.36 Paramedic - Primary Care
@ District of Nipissing Social Services
Administration Board

\$56.00 Registered Nurse
@ North Bay Regional Health Centre

TOP 3 ANNUAL SALARY VACANCIES

\$300,000.00

Dentist - Associate
@ Dentistry on Worthington

\$197,000.00

Chief Financial Officer / City Treasurer
@ The Corporation of the City of North Bay

\$175,000.00

Crown Attorney - Assistant
@ Ministry of the Attorney General



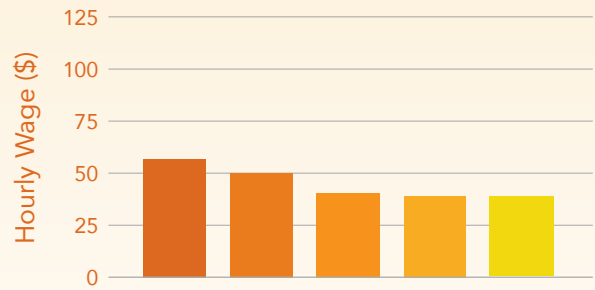
Lowest Annual Salary \$36,000.00

Clerk
@ Metro

TOP 5 HOURLY WAGE VACANCIES



\$56.00 Registered Nurse
@ est Parry Sound Health Centre



\$50.24 Medical Laboratory Technologist
@ West Parry Sound Health Centre

\$48.60 Planning Administrator
@ Municipality of Callander

\$45.00 Mechanic - Marine
@ Rose Point Marina

\$44.26 Social Service Worker
@ Canadian Mental Health Association

TOP 3 ANNUAL SALARY VACANCIES

\$116,000.00

Labour And Employee Relations Coordinator
@ Victorian Order of Nurses

\$108,636.91

Development Planner
@ Municipality of Callander

\$90,000.00

Accountant - Senior
@ Gingrich Harris Copeland, Chartered Professional
Accountants



Lowest Annual Salary \$36,000.00

Cashier
@ No Frills - Stacie and Troy's

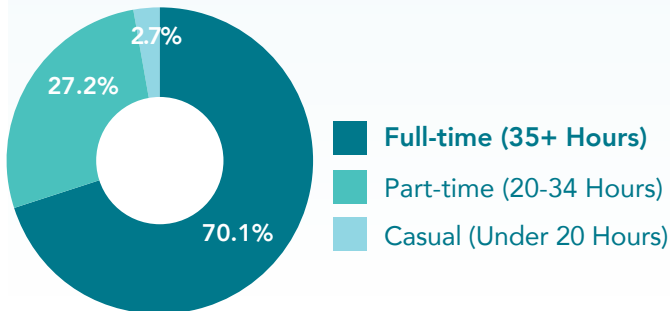
42.6% (205) postings listed an hourly wage, with an average of \$28.53/hour. This is slightly above the 12-month average of \$28.36/hour (+\$0.17, or +0.6%). Of the jobs which posted an hourly wage, 6.8% (14 postings) were listed at the provincial minimum wage (\$17.20/hour). For jobs listing an annual salary, the average was \$80,542.38/year, slightly higher (+\$260.34, +0.3%) than the 12-month average of \$80,282.04/year.

49.2% of the job postings listed an hourly wage this month. The average hourly wage was \$27.57/hour, slightly higher than the 12-month average of \$26.79/hour (+\$0.78, +2.9%). Of the 58 postings which listed an hourly wage, 5.2% (3) were offered at the provincial minimum wage. The average annual salary listed was \$66,901.30, lower than the current 12-month average of \$71,684.24 (-\$4,782.94, -6.7%). These fluctuations are expected as only a small share of job postings in the district provide annual salary information.

FULL-TIME / PART-TIME BREAKDOWN

70.1% of listings in September **↓ 2.5%** from August

70.1% of job postings (337) were for full-time work (35+ hours/week), this is small decrease of -2.5% compared to August, when 73.6% of postings were full-time.

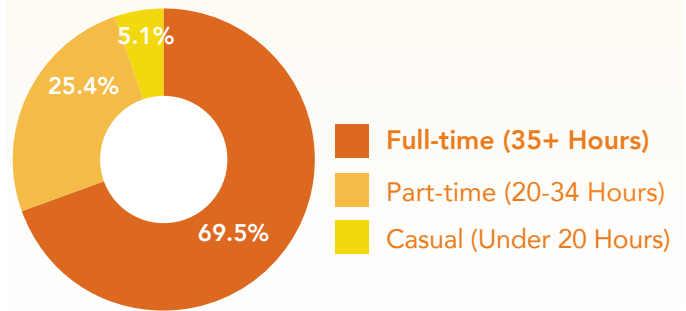


481 Postings listed hours offered (100%)

FULL-TIME / PART-TIME BREAKDOWN

69.5% of listings in September **↑ 1.5%** from August

69.5% (82) of the listings in September indicated that the employment offered would be classified as full-time. This is an increase of 1.5% from August, where 68.0% of listings were full-time. A decent rebound in full-time opportunities after several months of fluctuations.

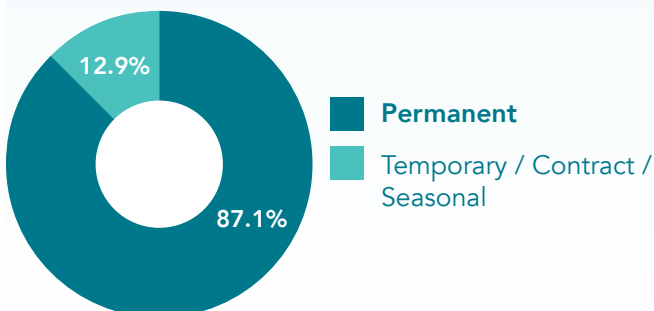


118 Postings listed hours offered (100%)

TERM OF EMPLOYMENT

87.1% of listings in September **↓ 0.4%** from August

87.1% (419) of the listings in September stated that the opportunity in question would be permanent. This is almost identical (-0.4%) to the previous month's figure of 87.5%.

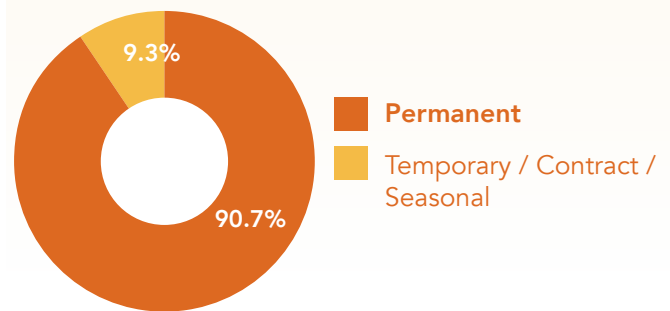


481 Postings listed hours offered (100%)

TERM OF EMPLOYMENT

90.7% of listings in September **↓ 5.2%** from August

90.7% (107) of the listings in September stated that the opportunity in question would be permanent. This is lower (-5.2%) than the previous month's figure of 95.9%, which brings us closer to the July numbers.



118 Postings listed hours offered (100%)

ALL EMPLOYERS WITH POSTINGS IN MONTH



NIPISSING DISTRICT

241 Pizza Sturgeon Falls	Conseil scolaire public du Nord-Est de l'Ontario	Marina Point Village	Reliance Home Comfort
A&S Towing	Con-Tech Mechanical	Martin Roy Transport / MRT	Rise Controls Inc
A1 Blasting Mats	Contrans Flatbed Group	Mattawa Hospital	Roofmart
Actlabs	Contrans Flatbed Group	Mattawa River Resort	Roots Canada
Adjusters SSA Limited	Cooper Equipment Rentals	Maurices	Royal Bank of Canada - North Bay
AECOM	Cosmoprof Canada	McDonald's (North Bay)	Scotiabank - Mattawa
AIM Kenny U-Pull	Crisis Centre North Bay	McDonald's (West Nipissing)	Scotiabank - North Bay
All About Gardens	Currie Truck Centre	Metal Fab Ltd.	Sephora Canada
American Eagle Outfitters	Dentistry on Worthington	MetricAid	Shoppers Drug Mart
AMRITSARI BITES	Designed Roofing Inc	Metro - North Bay	Sienna Senior Living
Aramark Canada Ltd.	Di-Corp	Mincon Canada	Sobeys - North Bay
Avison Electrical	District of Nipissing Social Services	Ministry of the Attorney General	Spencer Gifts
Bath & Body Works	Administration Board	Morguard	Spirit Halloween
Battano Construction Limited	District School Board Ontario North East	Mosaic North America	Stantec
Battlefield Equipment Rentals	Dynacare Inc.	Municipality of West Nipissing	Staples Canada
Bay Truck Stop Family Restaurant	Eclipse Stores Inc	MyCar	Steeltech Machining Inc
Bayland Property Management	Economical Roof and Reno Co.	MyCar North Bay	Stockfish Automotive Group
Bayshore Health Care	Ecotrex Ltd.	Near North District School Board	Sturgeon Falls Brush and Contracting Ltd
Bdo	Empire Living Centre	Neddy's North Bay Hyundai	Subway - Lakeshore Drive
Beef N Brand Bar & Grill	Enterprise Rent-A-Car	Nipissing Healthcare	Subway - Shirreff Ave.
Best Buy	Eye Associates of North Bay	Nipissing Serenity Hospice	Subway - Sturgeon Falls
Best Western North Bay Hotel & Conference Centre	Family Enrichment Program	Nipissing Transition House	Superior Propane
Beyond Wireless North Bay-McKeown	Fastenal	Nipissing University	Talize
Bin City Liquidation	FDM4	Nipissing Wellness Ontario Health Team	Taylormaid
Binx Professional Cleaning	FedEx Express Canada	Nipissing-Parry Sound Catholic	TC Energy
BioPed Footcare	Fire & Flower Inc	District School Board	Testmark Laboratories Ltd.
Bishops Building Services	First North Enterprise Inc.	Noll Climatecare	The Body Sculptors
Blanchfield Roofing Co. Ltd.	First Student / First Transit	Nordic Minesteel Technologies Inc.	The Corporation of the City of North Bay
BMO - North Bay	Foundever	North Bay Endodontics	The Erb Group of Companies
Brand Momentum Inc.	Fowler Construction	North Bay Humane Society	The Lindsay Weld Centre for Children
Brookfield Global Integrated Solutions	GardaWorld	North Bay Police Service	The Sisters of St. Joseph of Sault Ste. Marie
Buchner Manufacturing Inc.	Gardewine	North Bay R.C Cemeteries	Thermo Coustics Limited
Bulk Barn Foods Limited	Gervais Restaurant and Tavern, Country Style Donuts	North Bay Regional Health Centre	Total Cabinet Modules
Bumper to Bumper - H.E. Brown	Giant Tiger - North Bay	North Bay Stamp & Coin Ltd.	Trans Canada Safety
Caisse Alliance	GRW Transport Limited	Northern Lift Truck	Tremblay Chrysler Dodge Jeep Ram
Callon Dietz	Guac Mexi Grill	Northern OK Tire	Tulloch Engineering
Campus Living Centres	Guy's Tire Sales Inc	Northern Reflections	Tutor Match
Canada Clean Fuels	Hands, TheFamilyHelpNetwork.ca	Northern Shores Pharmacy	Twiggs - Sturgeon Falls
Canadian Addiction Treatment Centres	Indigo Books & Music	Northern Smiles Dental	Twiggs Coffee Company Inc
Canadian Mental Health Association	Integrated Solutions	Northwood Window and Door Centre	Underground Solutions
Canadian Shield Health Care Services Inc.	Intelcom Dragonfly	OCP Construction Supplies	Vianet
Canadian Tire - North Bay	IPC	Old Dutch Foods	Victorian Order of Nurses / VON
Canadore College - College Drive	K & K Automotive	One Kids Place Children's Medical Treatment Center of North East Ontario	Vista Radio Ltd
Cannabis Jacks	Kal Tire	Ontario Ministry of Natural Resources and Forestry	Volkswagen North Bay
CarePartners	Karis Disability Services (formerly Christian Horizons)	Ontario Ministry of Transportation	Voyageur Aviation Corp
Carter's OshKosh	Kia North Bay	Ontario Northland	Voyago
Cascades Casino	Kleenway Services Inc.	Outstanding Services	Wacky Wings
CBRE Ltd.	Kohltech/Seymour Windows	Paramed Home Health Care	Waggy Tails Resort
Cementation Canada	L.I.P.I. - Low Income People Involvement of Nipissing	Peter Conti Custom Woodworking & Design	Walmart - North Bay
CIBC - North Bay	Lafarge Canada Inc	Petro Canada	Wendy's Restaurant
Classic Contracting Sales & Services	Lakeshore Dental Care	PHARA	West Ferris Day Nursery
Clemens Eggert Professional Corporation	LCBO	QE Home /Quilts Etc	Westburne
Closing the Gap Healthcare	Les Compagnons des francs loisirs	Quantum Lifecycle Partners LP	William Perrins Auto Body
Cogeco	LifeLabs	Queen Street Family Dentistry	Winners
Columbia Forest Products Ltd	Loblaw Companies Limited	Rainbow Concrete Industries Ltd.	WIS International
Commissionaires	Long & McQuade	Redpath Mining Contractors and Engineers	Workplace Safety North
Community Counselling Centre of Nipissing	Magnera Corporation		YMCA of Northeastern Ontario
Community Living North Bay			Zedd Customer Solutions
Conseil Scolaire Catholique Franco-Nord			

Continued on next page



PARRY SOUND DISTRICT

180 Smoke
Adams Bros. Construction
Air Liquide
Almaguin Highlands Community Living
Almex Group
Aramark Canada Ltd.
Bayshore Health Care
Bernards Bistro On The Lake
Best Buy Express
Best Value Inn and Suites
Best Western Plus Parry Sound
Bowman Landscaping and Excavation
Brand Momentum Inc.
BudsSmoke
Callander IDA
Canada Post
Canadian Addiction Treatment Pharmacy
Canadian Mental Health Association
Canadian Shield Health Care Services Inc.
Copperhead Distillery and Spirits

Country Haven Acres Residential Services Inc
Crofters Food Ltd
CSN Buchans
DBL Air Conditioning and Heating
Dent Bay Baking Company
District of Parry Sound Social Services Administration Board
Eastholme Home for the Aged
Fowler Construction
Gardens of Parry Sound Retirement Home
Georgian Bay Propane Inc.
GGB Exhaust Technologies
Gingrich Harris Copeland, Chartered Professional Accountants
Grand Tappattoo Resort
Hands, TheFamilyHelpNetwork.ca
Harvest Share Community Food Programs
IDA pharmacy

Jolly Roger Inn & Resort
Kawartha Credit Union
Little Gardens
Magnetawan Grill and Grocery
Municipality of Callander
Municipality of Powassan
Near North District School Board
Nipissing-Parry Sound Catholic District School Board
No Frills - Stacie and Troy's
Oakcrest Co.
Parry Sound Animal Hospital
Parry Sound Auto Parts Inc.
Petro Canada
Pizza Hut - Parry Sound
Port Carmen Marina
Powassan Home Hardware
RONA - Parry Sound
Rose Point Marina
Rosseau Road Powersports and Marine Ltd.

Shoppers Drug Mart
Sobeys - Parry Sound
South Parry Lumber
Stacked Pancake and Breakfast House
Starbucks
Subway - Parry Sound
Sundridge & District Medical Centre
Tailwinds Bar & Grill
The Friends
The Home Depot - Parry Sound
Tim Hortons - Parry Sound
Township of Perry
Value Buds
Victorian Order of Nurses / VON
W.S. Morgan Construction Limited
Walmart - Parry Sound
Wasauksing First Nation
West Parry Sound Health Centre
Western Financial Group
YMCA of Simcoe/Muskoka



WHAT IS THE LMG MONTHLY JOBS REPORT?

This Jobs Report is a monthly publication produced by the Labour Market Group.

Each month we compile this report based on our job portal **readysethired.ca**.

Readysethired.ca is an online job portal that provides and collects real time job postings within the districts of Nipissing and Parry Sound. These postings are updated daily and provide job seekers with a one stop shop for local current employment opportunities.

FOR MORE INFORMATION & FURTHER DETAILS ABOUT LOCAL JOBS, PLEASE CONTACT :

The Labour Market Group
readysethired.ca
info@thelabourmarketgroup.ca



The Labour Market Group
Guiding partners to workforce solutions.

Parry Sound DDSAB

Expression of Interest

October 28, 2025



Issued by: Parry Sound District Social Services Administration Board

Issue Date: October 28, 2025

Submission Deadline: November 19, 2025 at 3 pm

Re: Expression of Interest (EOI) for Parry Sound District Social Services Administration - Housing Development Opportunities in Parry Sound District

The Parry Sound District Social Services Administration Board (Parry Sound DSSAB) is inviting Expressions of Interest (EOIs) from qualified organizations to help advance new affordable and attainable housing opportunities across the Parry Sound District.

Parry Sound DSSAB is responsible for delivering social services across 22 municipalities and numerous communities within the District of Parry Sound. The Board provides leadership in housing, homelessness prevention, childcare and income support programs, working collaboratively with local partners, Indigenous communities and senior levels of government to improve social and economic well-being across the region.

As part of its commitment to addressing the housing crisis, Parry Sound DSSAB is exploring innovative and sustainable ways to expand the local supply of affordable and attainable homes.

This EOI seeks to identify innovative, feasible and sustainable housing concepts that align with Parry Sound DSSAB's mission to expand access to affordable housing for residents of the District. Submissions will inform development of a Strategic Housing Development Plan and guide future decisions regarding partnerships, site development and potential acquisitions.

Section 1 - Objectives of EOI

The purpose of this EOI is to identify collaborative opportunities that can accelerate the creation of affordable and attainable housing within the Parry Sound District. Through this process, Parry Sound DSSAB aims to understand current market capacity, interest and innovation among potential partners, and to establish a foundation for a future project delivery pathway.

Through this EOI, Parry Sound DSSAB aims to:

- Identify potential development partners across the Indigenous, non-profit and private sectors.
- Explore potential development opportunities on Parry Sound DSSAB-owned land.
- Assess acquisition or partnership models for existing or in-progress housing projects.
- Gather information on any innovative delivery approaches available to Parry Sound DSSAB.

Section 2 - Types of Opportunities

Respondents may submit proposals under one or more of the following pathways:

Figure 1: Summary of Types of Opportunities

Type of Opportunity	Summary of Opportunity
Development on Parry Sound DSSAB Owned Land	Proposals that leverage Parry Sound DSSAB's land holdings for new housing development (66 Waubeek Street*).
Joint Ventures or Partnerships	Collaborative initiatives involving Parry Sound DSSAB and other organizations to deliver new housing projects.
Acquisition or Turnkey Projects	Opportunities to acquire or partner on completed or in-progress developments that meet Parry Sound DSSAB's housing objectives.

Each respondent may submit up to three proposals, one for each type of opportunity. Proposals should clearly indicate which pathway they address. Respondents are not required to submit for all three; submissions can be made for any one, two or all three categories.

**Parry Sound DSSAB owns the property at 66 Waubeek Street, which has received an approved Official Plan Amendment and Zoning By-law Amendment to enable the development of up to 90 residential units. Please reference Appendix A for the Official Plan Amendment and Appendix B for the Zoning By-law Amendment.*

Section 3 - Submission Requirements

Submissions should include the following information (as applicable). Responses must be limited to 15 pages in total per submission, excluding optional attachments.

Figure 2: Submission Requirements

Section	Requirements
A. Proponent Information	- Organization name and type (non-profit, Indigenous organization or private developer). - Contact information and key personnel. - Summary of relevant housing development or management experience
B. Project Concept	- Overview of the proposed opportunity (location, scale, tenure mix, target population). - Proposed development pathway (Parry Sound DSSAB-owned site, joint venture or acquisition). - Current development readiness (zoning, building permits, servicing, design level, etc.). - If applicable, summary of the project team (including general contractor and design team) - If submitting for 66 Waubeek Street, please indicate your proposed vision and solution for the site.
C. Affordability and Community Impact	- Intended affordability levels (rents or income thresholds). - Anticipated community and social benefits. - If applicable, highlight any partnerships with local agencies or service providers.
D. Financial and Delivery Approach	- Potential or confirmed funding sources, financing partners or grants. - Expected role of Parry Sound DSSAB (e.g., partner land contributor, funder and/or operator). - Pro Forma (Recommended): Respondents are encouraged to include a high-level pro forma to illustrate project costs, funding sources and operating assumptions. Key financial assumptions should be included.
E. Implementation Timeline	Key milestones and anticipated delivery timeline.
F. Proposed Structure and Partnership Approach	- Respondents should outline the proposed structure of their concept and the anticipated partnership with Parry Sound DSSAB, including: - Proposed ownership or governance model. - Roles and responsibilities between parties. - Expectations regarding financial participation, land contribution, or long-term ownership. - Key success factors for implementing the partnership.
G. Additional Supporting Information (Optional – not included in page count)	- Concept drawings, renderings, or site photos. - Any other applicable information.

Confidential Information and Non-Disclosure Agreements (NDAs)

Respondents who anticipate including commercially sensitive or confidential information within their submission should notify the Contact Person no later than ten (10) business days prior to the submission deadline to request execution of a Non-Disclosure Agreement (NDA).

Parry Sound DSSAB will review the request and, if appropriate, execute an NDA prior to the submission deadline. Any information not identified as confidential at the time of submission will be treated as non-confidential. Parry Sound DSSAB reserves the right to decline NDA requests that are submitted after this date or are deemed unnecessary for the purposes of this EOI.

Section 4 – Submission Process & Key Dates

Submissions must be provided electronically in PDF format to ntomic@ellisdon.com. Submissions must not exceed 25 MB in total file size (including attachments). Respondents requiring additional capacity for large files should contact the Contact Person in advance to arrange an alternative method of submission (e.g., secure file-transfer link).

For clarity:

- All responses should be limited to 15 pages, excluding optional attachments, per submission (maximum of 3 submissions).
- The email subject line should read: "EOI Submission – Parry Sound District Housing Opportunities"
- Questions regarding this EOI may be submitted in writing to the Contact Person no later than November 10, 2025. Responses to all questions will be shared with interested parties to ensure transparency.
- If your organization wishes to include commercially sensitive or confidential information, please notify the Contact Person by November 5, 2025 to request execution of a Non-Disclosure Agreement.

The following table summarizes the key milestones, deadlines and anticipated decision points associated with this EOI process. Respondents are encouraged to review these carefully and plan their submissions accordingly.

Figure 3: Summary of Key Dates

Milestone	Date
EOI Release	October 28, 2025
Deadline to Request NDA	November 5, 2025
Questions Due	November 10, 2025
Addendum Deadline	November 14 2025
EOI Submissions Due	3 pm on November 19, 2025
Parry Sound DSSAB Review & Interviews (If required)	November 19, 2025 to January 15, 2026
Communication with Respondents on Next Steps	January 16, 2026

Section 5 – Review & Assessment Process

All submissions will be reviewed by Parry Sound DSSAB and its advisors. This process is exploratory and non-competitive; the purpose of the EOI is to understand potential housing concepts, partnership structures and delivery pathways that could inform future decisions.

Submissions will be assessed using the following directional framework:

Figure 4: Framework for Assessment

Criteria	Description	Rating
Alignment with Parry Sound DSSAB Priorities	Degree to which the proposal supports affordable, sustainable, and community-focused housing outcomes.	High / Medium / Low
Feasibility & Readiness	Readiness for implementation, including land control, zoning, site plan, servicing and overall viability.	High / Medium / Low
Financial	Strength and realism of the proposed funding or delivery approach, including availability of a high-level pro forma if provided.	High / Medium / Low
Partnership Potential	Clarity and feasibility of the proposed relationship with Parry Sound DSSAB.	High / Medium / Low
Innovation & Scalability	Creativity and potential for regional benefit.	High / Medium / Low

Parry Sound DSSAB may invite selected respondents to participate in an interview or discussion session to clarify their proposal or explore partnership opportunities. These discussions are non-binding and intended solely to support strategic understanding. Please note that participation does not imply prequalification or selection for any future procurement.

Section 6 – Contact Person

Nina Tomic,
Senior Development Analyst, EllisDon Community Builders
ntomic@ellisdon.com



APPENDIX A - OFFICIAL PLAN AMMENDMENT

Corporation of The Town of Parry Sound

10.3.1

Passing of By-law No: 2023 – 7309

17th Day of January 2023

Moved by Councillor

Seconded by Councillor

 GA


That By-law No: 2023 – 7309

Being a By-law to Adopt Official Plan Amendment No. 5 - 66 Waubeek Street

Be considered as read a first time.

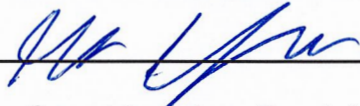
- Carried - ✓



Are all members in favour of having the second and third readings? ✓

Moved by Councillor

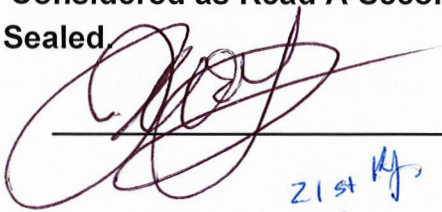
Seconded by Councillor


 GA.

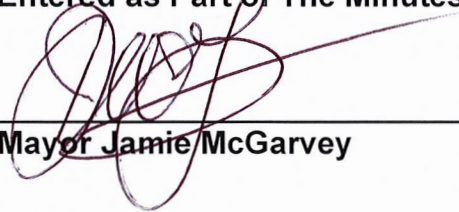
That the By-law Above Mentioned Be Considered as Read A Second,
And Third Time, Passed, Signed and Sealed

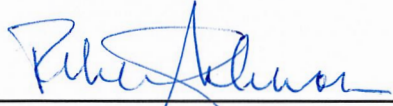
Deferred to
Feb 21/23

- Carried -



Entered as Part of The Minutes of the Meeting Held this 17th day of January 2023.


Mayor Jamie McGarvey


Clerk Rebecca Johnson

Postponed to: _____
Amends By-law: _____
Repeals By-law: _____
By-law Amended: _____
By-law Repealed: _____

The Corporation of the Town of Parry Sound

By-law 2023 – 7309

Being a By-law to Adopt Official Plan Amendment No. 5 – 66 Waubeek Street

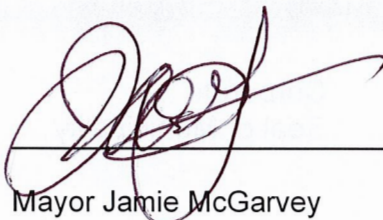
Whereas Sections 17 and 22 of the Planning Act, R.S.O. 1990, c.P.13 as amended, authorize municipalities to adopt Official Plans and Amendments to Official Plans; and

Whereas Section 17(9) of the Planning Act and O.Reg 525/97 exempt amendments to the Town of Parry Sound Official Plan from the Minister of Municipal Affairs and Housing's approval;

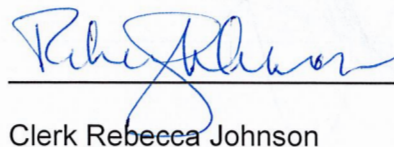
Now Therefore the Council of The Corporation of the Town of Parry Sound Enacts As Follows:

1. Official Plan Amendment No. 5 for The Corporation of the Town of Parry Sound, in the format as generally attached in Schedule "I", is hereby adopted;
2. Schedule "I" attached hereto is hereby made part of this By-law; and
3. Official Plan Amendment No. 5 shall take effect on the final passing thereof, and shall come into force in accordance with the Planning Act, R.S.O. 1990, c.P.13 as amended.

READ a FIRST time this 17th day of January, 2023



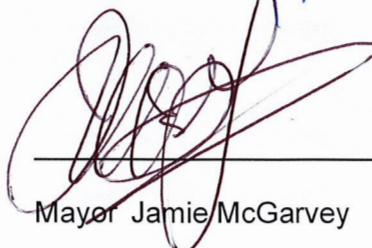
Mayor Jamie McGarvey



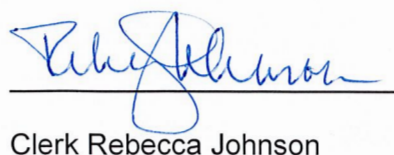
Clerk Rebecca Johnson

READ a SECOND and THIRD time, PASSED, SIGNED and SEALED this 21st day of

February, 2023



Mayor Jamie McGarvey



Clerk Rebecca Johnson

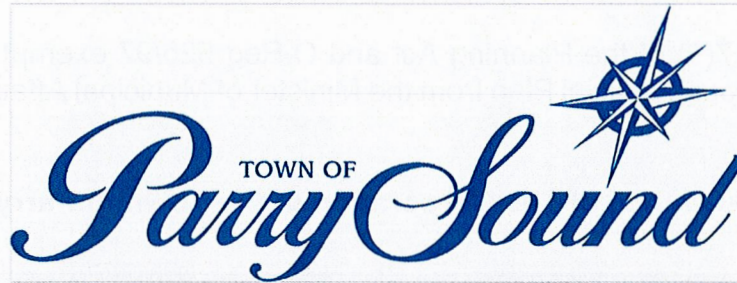
The Corporation of the Town of Parry Sound

By-law 2023 – 7309

Schedule “I”

Amendment No. 5 to the Official Plan for the Town of Parry Sound

Being a site-specific amendment - Part of Block MA, Plan 137, except Part 1, Plan 42R-2931, Town of Parry Sound, 66 Waubeek Street.



The attached document constitutes Amendment No. 5 to the Official Plan for the Town of Parry Sound

Date: 21st day of February, 2023

Clerk:

A blue ink signature is written over a horizontal line. The signature is cursive and appears to read "R. Johnson".

Mayor:

A red ink signature is written over a horizontal line. The signature is cursive and appears to read "M. [unclear]".

Corporate
Seal of Municipality

The Corporation of the Town of Parry Sound

By-law 2023 – 7309

Constitutional Statement

The following Amendment to the Official Plan of the Town of Parry Sound Consists of two parts, being Part A and Part B.

Part A - The Preamble, does not constitute part of this Amendment.

Part B - The Amendment, consisting of the noted text and Schedule A constitutes Official Plan Amendment No. X to the Town of Parry Sound Official Plan.

The Corporation of the Town of Parry Sound

By-law 2023 – 7309

AMENDMENT NO. 5 TO THE OFFICIAL PLAN FOR THE TOWN OF PARRY SOUND

Part A - The Preamble

SECTION 1 - LANDS SUBJECT TO THE AMENDMENT

- 1.1 This amendment is for the lands described as part of Block MA, Plan 137, except Part 1, Plan 42R-2931, Town of Parry Sound; 66 Waubeek Street. The lands are more specifically identified on Appendix A.

SECTION 2 - PURPOSE OF THE AMENDMENT

- 2.1 This Amendment has been prepared in response to an application submitted by John Jackson Planner Inc., on behalf of District of Parry Sound Social Services Assessment Board, being the owner of the subject lands.
- 2.2 The purpose of the Amendment is to redesignate the lands from Low Density Residential and Medium Density Residential to High Density Residential.

SECTION 3 - BACKGROUND AND BASIS OF AMENDMENT

- 3.1 The Subject Property is located at 66 Waubeek Street and legally described part of Block MA, Plan 137, except Part 1, Plan 42R-2931, Town of Parry Sound.
- 3.2 The Subject Property is located in the Low Density Residential, Medium Density Residential and High Density Residential Designations. The Official Plan of the Town of Parry Sound in Section 3.1.2, Low Density Residential, states that:
 - 3.1.2.1 *The maximum allowable net density in the Residential Low Density designation is 25 units per hectare.*
 - 3.2.2.2 *This designation will generally be limited to single detached dwellings.*
- 3.3 The Official Plan of the Town of Parry Sound in Section 3.1.3, Medium Density Residential, states that:
 - 3.3.2 3.1.3.1 *The maximum allowable net density in the Medium Density Residential designation is 50 units per hectare.*
 - 3.3.3 3.1.3.2 *This designation includes single detached dwellings, converted*

The Corporation of the Town of Parry Sound

By-law 2023 – 7309

dwelling, duplexes, triplexes, semi-detached dwellings and row houses and multiple unit dwellings to a maximum of three units. Fourplexes, row housing and small scale multiple dwellings in excess of three units are permitted in accordance with the policies of this Section.

- 3.3.4 3.1.3.3 *Lands designated Residential Medium Density will be zoned to allow up to three dwelling units on a property. Additional dwellings may be permitted by rezoning up to the maximum density subject to the following criteria:*
- a) *the design of the project is compatible with the area in which it is situated and does not conflict with adjoining development;*
 - b) *appropriate access, both vehicular and pedestrian, can be provided to and from the site;*
 - c) *the development is located within close proximity to public open space or adequate on-site open space and/or recreational facilities are provided;*
 - d) *the development is located on or in close proximity to arterial or collector roads; and*
 - e) *there is adequate sewer and water capacity available to service the development*
- 3.4 Up to 90 residential dwelling units are proposed for the subject property in the form of rowhouses and apartment dwellings.
- 3.5 The portions of the subject property located in the Low Density Residential, Medium Density Residential are proposed to be located in the High Density Residential Designation. The Official Plan of the Town of Parry Sound in Section 3.1.4, High Density Residential, states that:
- 3.5.1 3.1.4.1 *The maximum allowable net density in the High Density Residential designation is 75 units per hectare.*
- 3.5.2 3.1.4.2 *This designation includes all those uses permitted in the Residential Medium Density designation, but apartment buildings, row housing, stacked townhouses and all forms of multiple housing are the preferred form of development.*
- 3.6 The location of the Subject Property is identified on Appendix A. Appendix B, attached, is a copy of the Official Plan Schedule A to be amended.

The Corporation of the Town of Parry Sound

By-law 2023 – 7309

- 3.7 The proposal has been reviewed in accordance with the Provincial Policy Statement and is consistent with the relevant policies and conforms to the intent of the Town of Parry Sound Official Plan.
- 3.8 A Zoning By-law amendment is being processed concurrently with this Official Plan Amendment.

The Corporation of the Town of Parry Sound

By-law 2023 – 7309

Part B - The Amendment

SECTION 4 – APPLICABLE LANDS

The Official Plan for the Town of Parry Sound and Schedule “A”, as modified and approved as modified April 29, 2014, be amended for the lands located at 66 Waubeek Street, and legally described as Block MA, Plan 137, except Part 1, Plan 42R-2931, Town of Parry Sound, and more specifically identified on Appendix A as follows:

- 4.1 Schedule “A” to the Town of Parry Sound Official Plan be modified to redesignate portions of the subject property to High Density Residential, per Appendix B.

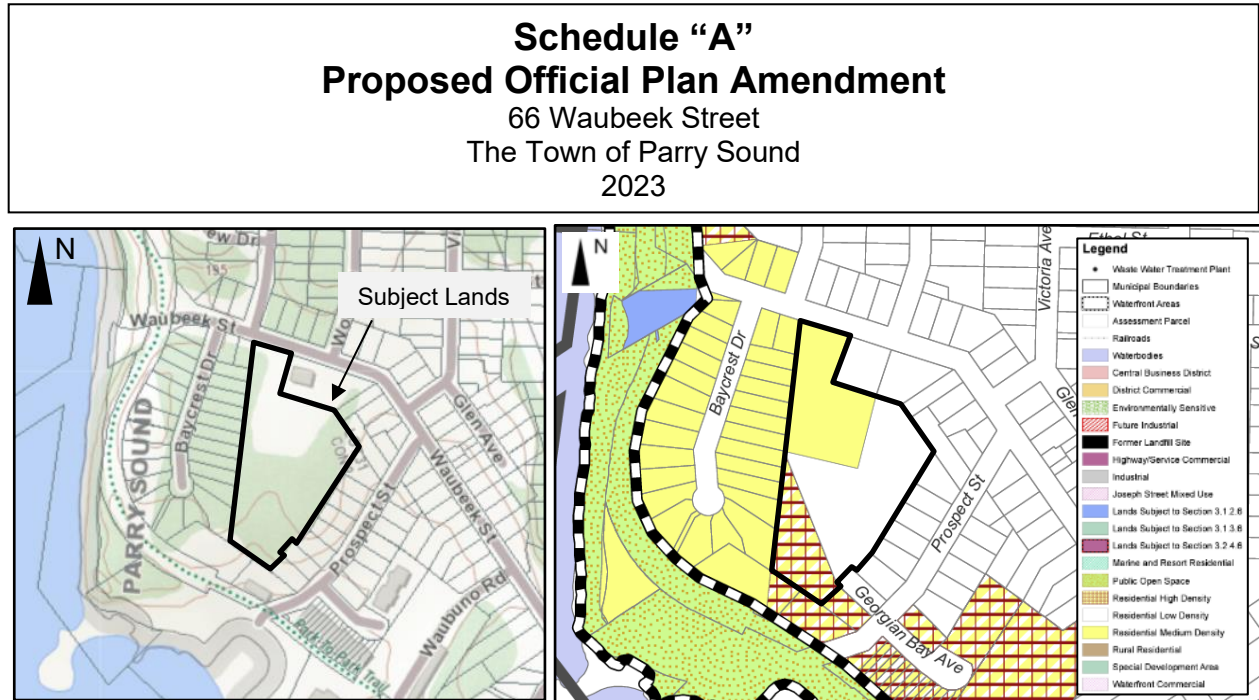
SECTION 5 - IMPLEMENTATION AND INTERPRETATION

- 5.1 The provisions of this Amendment shall be implemented by a Zoning By-law amendment to be enacted by the Town.
- 5.2 The interpretation of the Official Plan for the Town of Parry Sound, as modified, shall govern the interpretation of this Amendment.

The Corporation of the Town of Parry Sound

By-law 2023 – 7309

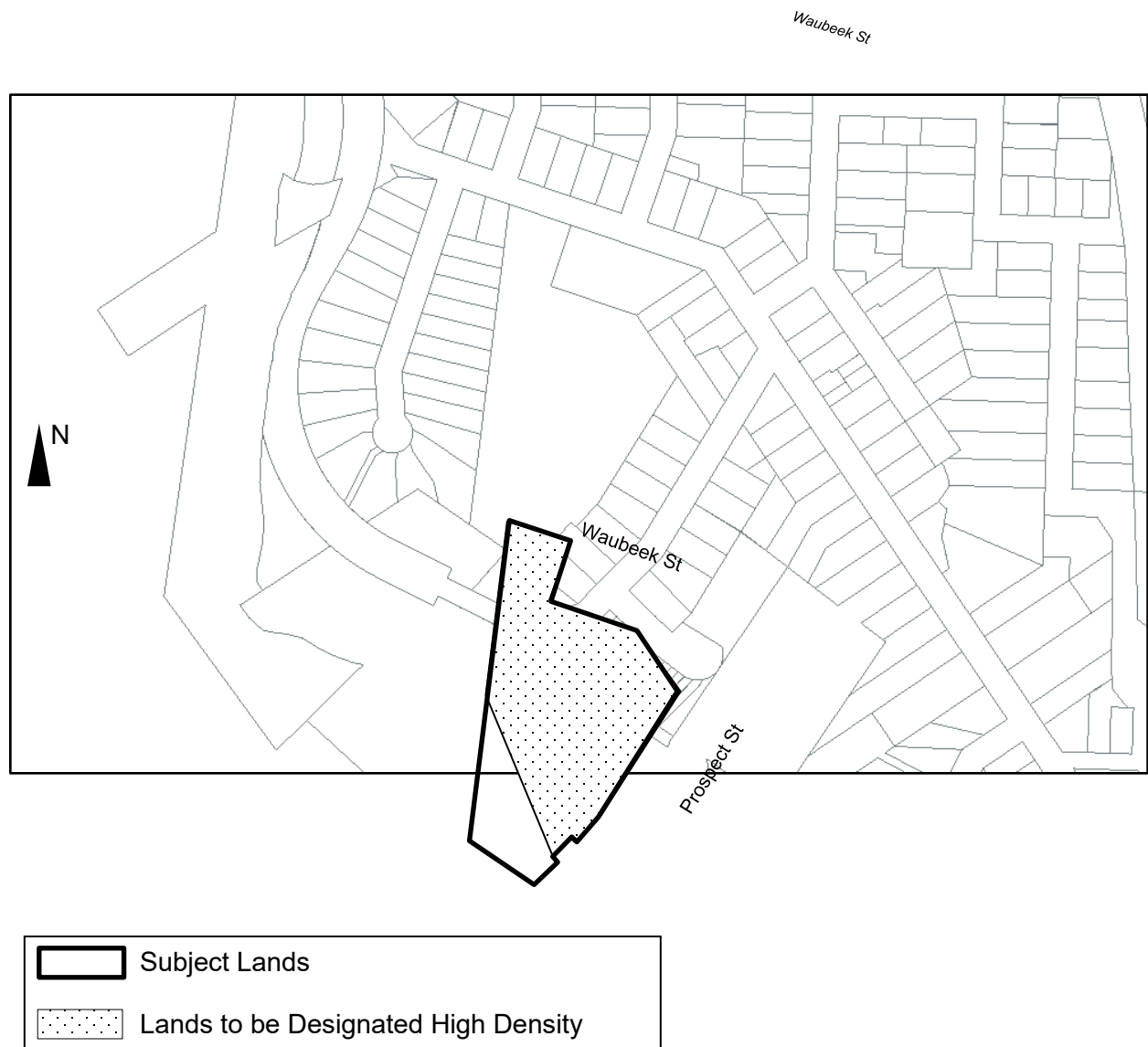
APPENDIX B – PROPOSED OFFICIAL PLAN AMENDMENT - Lands to be redesignated from Low Density Residential and Medium Density Residential to High Density Residential.



Baycrest Dr

The Corporation of the Town of Parry Sound

By-law 2023 – 7309





APPENDIX B - ZONING BY-LAW AMMENDMENT

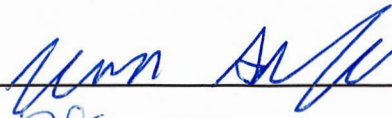
Corporation of The Town of Parry Sound

10.3.2.

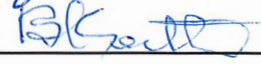
Passing of By-law No: 2023 – 7310

17th Day of January 2023

Moved by Councillor

 G.A.

Seconded by Councillor



That By-law No: 2023 – 7310

Being a By-law to amend By-law No. 2004-4653, as amended, for 66 Waubeek Street

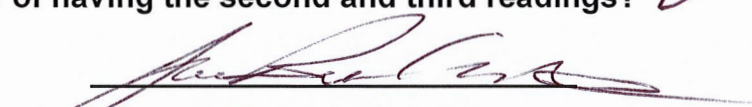
Be considered as read a first time.

- Carried - 



Are all members in favour of having the second and third readings? 

Moved by Councillor

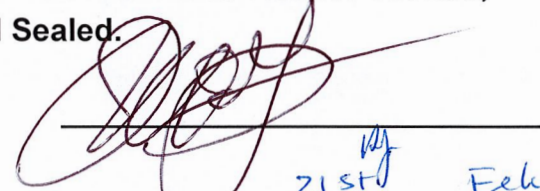


Seconded by Councillor



That the By-law Above Mentioned Be Considered as Read A Second,
And Third Time, Passed, Signed and Sealed.

- Carried -



Entered as Part of The Minutes of the Meeting Held this 17th day of January 2023.


Mayor Jamie McGarvey


Clerk Rebecca Johnson

Postponed to: _____
Amends By-law: _____
Repeals By-law: _____
By-law Amended: _____
By-law Repealed: _____

The Corporation of the Town of Parry Sound

By-law 2023 - 7310

Being a By-law to amend By-law No. 2004-4653 (The Zoning By-law), as amended, for 66 Waubeek Street (Parry Sound District Social Services Administration Board)

Whereas the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, c P.13 and amendments hereto;

Whereas By-law 2004-4653 was enacted by the Corporation of the Town of Parry Sound to regulate land use within the Municipality;

And whereas the Council of the Corporation of the Town of Parry Sound deems it advisable to further amend By-law 2004-4653:

Now Therefore the Council of the Corporation of the Town Of Parry Sound Enacts As Follows:

1. Schedule "A" and Section 26 – Special Provisions of By-law 2004-4653, as amended, are further amended by changing the zoning for the property described as Part of Block MA, Plan 137 and Part 1, Plan 42R-2931, from the existing Residential First Density (R1) Zone and Open Space (O1) Zone to S.P.26.134 (h), as shown hatched in red on *Schedule "A"*.
2. Schedule "A" shall form part of this By-law.
3. Section 26 "Special Provisions" of By-law No. 2004-4653, as amended, is hereby further amended by adding the following immediately after S.P. 26.133:

"S.P. 26.134(h) The lands affected are described as Part of Block MA, Plan 137 and Part 1, Plan 42R-2931. Despite Section 8.3 – R3 Zone Requirements of By-law 2004-

The Corporation of the Town of Parry Sound

By-law 2023 - 7310

4653, as amended, for those lands described above, a development is permitted subject to:

- a) A minimum interior side yard of 6.0 metres.
- b) A maximum number of 90 residential units.

Except as noted above, all provisions of the R3 zone and By-law 2004-4653, as amended shall continue to apply.

Council may pass a By-law to lift the Holding Provision (h) on the lands when the following has been completed to the satisfaction of the Town:

1. Confirmation of sufficient servicing capacity to the satisfaction of the Town's Public Works Department.
2. The completion of a site plan agreement with the Town which shall include provisions that ensure the existing access function of the "laneway" bisecting the easterly portion of the property be maintained. This could include the establishment of a new configuration of the access provided existing access rights are maintained.
3. Completion of Species at Risk assessment for the entire property and completion of a tree preservation plan.

Schedule 'A' attached hereto is hereby made part of this By-law.

This By-law shall come into force and take effect upon the final passing thereof pursuant to Section 34 (21) and (30) of The Planning Act, R.S.O. 1990, c. P.13, as amended.

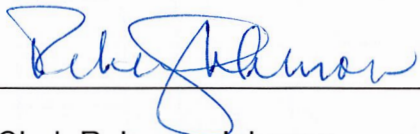
The Corporation of the Town of Parry Sound

By-law 2023 - 7310

READ a FIRST time this 17th day of January, 2023

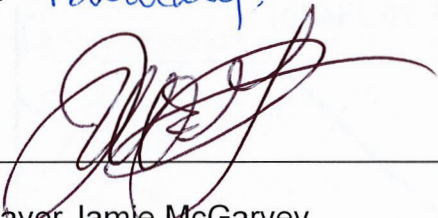


Mayor Jamie McGarvey

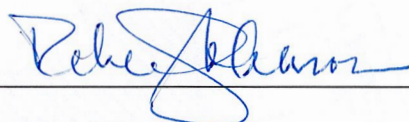


Clerk Rebecca Johnson

READ a SECOND and THIRD time, PASSED, SIGNED and SEALED this 21st day
of February, , 2023



Mayor Jamie McGarvey

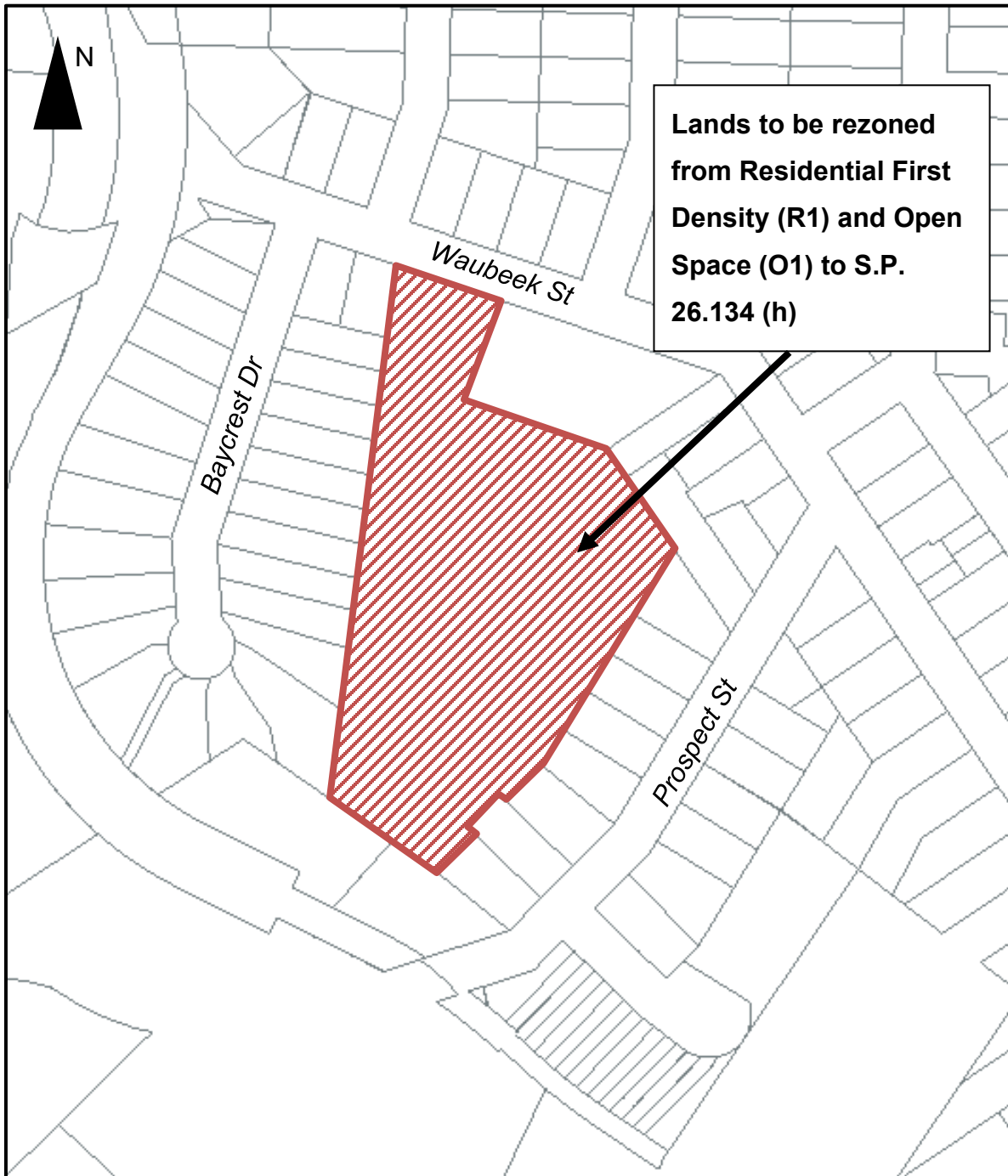


Clerk Rebecca Johnson

The Corporation of the Town of Parry Sound

By-law 2023 - 7310

SCHEDULE A - LOCATION MAP - Lands subject to Zoning By-law Amendment





Date:

8 October 2025

2

Moved By:

Councillor Kristen Rodrigues

Seconded By:

Councillor Alex Boughen

Whereas conservation authorities serve a critical function in safeguarding Ontario's natural heritage, overseeing watershed management, mitigating flood risks, and advancing climate resilience;

And whereas the Province of Ontario's recent mandate to freeze conservation authority fees has significantly hindered their capacity to deliver essential services;

And whereas Conservation Authorities are now expected to process an increasing volume of permit applications under a fee structure that remains frozen, despite rising costs of living and wage pressures, further compounding operational and fiscal challenges;

And whereas municipalities are increasingly compelled to absorb the resulting financial shortfalls, leading to unsustainable downloading of costs onto local taxpayers;

And whereas the intent behind the provincial fee freeze was to reduce development-related expenses and accelerate housing supply;

And whereas this policy has inadvertently shifted the financial burden from a user-pay cost recovery model to the municipal tax base, thereby straining local budgets and compromising the principle of fair and equitable funding;

Now Therefore, be it resolved that the Council of the Town of Plympton-Wyoming urges the Province of Ontario to reconsider the fee freeze mandate and to implement a funding framework that protects municipal taxpayers from cost recovery deficits, while supporting a sustainable and balanced approach to conservation authority financing.

✓

Carried

Defeated

Deferred

	Yay	Nay
Gary L. Atkinson	☐	☐
Netty McEwen	☐	☐
Alex Boughen	☐	☐
Kristen Rodrigues	☐	☐
John van Klaveren	☐	☐
Mike Vasey	☐	☐
Bob Woolvett	☐	☐



**THE CORPORATION OF THE TOWN OF PARRY SOUND
RESOLUTION IN COUNCIL**

NO. 2025 – 149

DIVISION LIST

YES NO

DATE: November 4, 2025

Councillor **G. ASHFORD**
Councillor **J. BELESKEY**
Councillor **P. BORNEMAN**
Councillor **B. KEITH**
Councillor **D. McCANN**
Councillor **C. McDONALD**
Mayor **J. McGARVEY**

MOVED BY:

SECONDED BY:

CARRIED: ✓ **DEFEATED:** _____ **Postponed to:** _____

That the Council of the Town of Parry Sound hereby supports the Township of the Archipelago's Resolution 25-159 which supports the planning of a 20th Anniversary Celebration for the West Parry Sound Geography Network (WPSGN), to be held on November 19, 2025.

Mayor Jamie McGarvey



November 3, 2025

RE: GIS Day and 20th Anniversary Celebration of the West Parry Sound Geography Network

At the Township of Carling's Committee of the Whole Meeting held on October 28, 2025
Council passed the following resolution:

Resolution

Moved by Councillor Kelly
Seconded by Councillor Doubrough

NOW THEREFORE BE IT RESOLVED that Committee of the Whole on behalf of Council supports the planning of a 20th Anniversary Celebration for the West Parry Sound Geography Network (WPSGN), to be held on November 19, 2025;

AND FURTHER BE IT RESOLVED the Council express its encouragement for all municipal partners of the WPSGN to support and actively participate in this milestone event.

Carried

If you require further information, please do not hesitate to contact the undersigned at 705-342-5856 ext. 9181 or mtaylor@carling.ca

Sincerely

Mackenzie Taylor
Deputy Clerk

CC: Chris Mahon, Data Management & GIS Coordinator
West Parry Sound Municipalities



The Corporation of The Township of The Archipelago
Council Meeting

Agenda Number: 15.2.

Resolution Number 25-159

Title: GIS Day November 19th, 2025 and the 20th Anniversary Celebration of the West Parry Sound Geography Network(WPSGN)

Date: Friday, October 17, 2025

Moved by: Councillor Cade Fraser

Seconded by: Councillor Manners

NOW THEREFORE BE IT RESOLVED that Council supports the planning of a 20th Anniversary Celebration for the West Parry Sound Geography Network (WPSGN), to be held on November 19, 2025; and

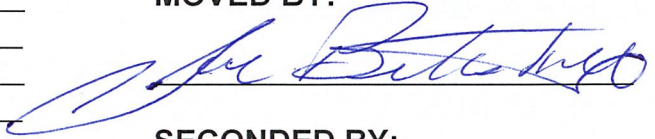
FURTHER BE IT RESOLVED that Council express its encouragement for all municipal partners of the WPSGN to support and actively participate in this milestone event.

Carried



**THE CORPORATION OF THE TOWN OF PARRY SOUND
RESOLUTION IN COUNCIL**

NO. 2025 – 145

DIVISION LIST	YES	NO	DATE: November 4, 2025
Councillor G. ASHFORD	_____	_____	MOVED BY: 
Councillor J. BELESKEY	_____	_____	
Councillor P. BORNEMAN	_____	_____	
Councillor B. KEITH	_____	_____	
Councillor D. McCANN	_____	_____	SECONDED BY: 
Councillor C. McDONALD	_____	_____	
Mayor J. MCGARVEY	_____	_____	
CARRIED: ☒ DEFEATED: _____ Postponed to: _____			

Whereas schools are an important part of the fabric of a community that extends beyond the physical classroom; and

Whereas three (3) tennis courts were built in the early 1970s as a partnership between the Parry Sound Tennis Club and the former West Parry Sound District School Board, on school board property at Parry Sound High School; and

Whereas these tennis courts were funded outside of school board funding; and

Whereas these courts were used from the time of installation, by Parry Sound High School students as part of their physical education classes and through the Parry Sound High School Tennis Club, as well as by members of the public through the Parry Sound Tennis Club; and

Whereas physical activity has many benefits for children and people of all ages, including improved academic performance, brain health, muscular fitness, greater range of motion, heart and lung health, cardiometabolic health, long-term health, bone strength, cognitive and social skills, and measures of a healthy weight; and

Whereas these three (3) tennis courts were removed by the School Board in 2023 as part of the new construction plan for the JK-Grade 12 school on site; and

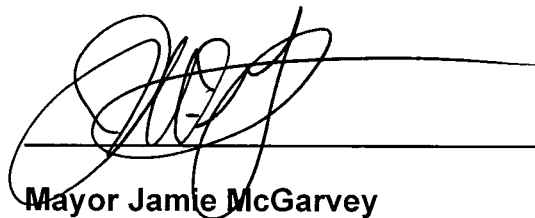
Whereas the School Board's removal of the above-mentioned tennis courts resulted in tennis being removed from the high school physical education program, and termination of the High School Tennis Team; and

Whereas students and the public should not be left with fewer services as a result of the new school; and

Whereas Town Council has received a petition from members of the public to replace the tennis courts;

Now Therefore the Council of the Town of Parry Sound hereby requests that the Near North District School Board replace on School Board property the tennis courts; and

That this resolution be copied to the Minister of Education, MPP Graydon Smith, Parents for Parry Sound, Community Schools Alliance, West Parry Sound Municipalities and First Nations in West Parry Sound.



Mayor Jamie McGarvey



377, rue Bank Street
Ottawa, Ontario K2P 1Y3
tel./tél. 613 236 7238
fax/télé. 613 563 7861
www.cupw-sttp.org



CUPW respectfully acknowledges this office is located on the traditional unceded territory of the Anishinaabeg People.

Le STTP reconnaît, en tout respect, que son bureau est situé sur le territoire traditionnel et non cédé des peuples anishinaabés.

BY EMAIL AND MAIL

September 23, 2025

Reeve David Moore
Township of McKellar
PO Box 69 701 Hwy 124
McKellar ON P0G 1C0

OCT 21 2025

Dear Reeve Moore,

Re: Upcoming Mandate Review of Canada Post Could Affect Jobs and Services in Your Community

I am writing you to let you know that the Federal Government is planning a mandate review of Canada Post from October 2025 to March 2026. At this time, we do not have details regarding the format, process or terms of reference. We are very concerned that there is no guarantee of public or stakeholder consultation ([please see enclosure](#)).

I had written you earlier this year about the Industrial Inquiry Commission (IIC) launched to review negotiations between Canada Post and our union. Unfortunately, it examined issues that were beyond collective bargaining and made some recommendations for drastic service cuts. Notably, these were in the form of post office closures and to resume conversion to community mailboxes – something the first Liberal Government after Harper was elected to stop.

CUPW's recommendations for expanded services, including things like postal banking, seniors check ins, community hubs, the reinstatement of an improved Food Mail Program, were rejected as a means to immediately address the financial challenges faced by Canada Post. This, despite the fact that many individuals, municipalities and organizations have supported our efforts over the years.

Canada Post also used the IIC to set up its demands for regulatory changes that could form the basis of the mandate review. We believe that regulatory changes should only be examined after Canada Post returns to stabilized operations, the full impact of the January 2025 stamp price increase is realized, and when parcel volumes reflect sectoral demand.

Canadians deserve to have their say on a public service they own. Our Federal Government must respect their voice, their needs, their communities, including those in rural, remote and Northern locations, workers and their rights, and safeguard public services and jobs – not try to quietly erode them.

I am asking your municipality to:

- 1) Pass a resolution asking for a delay on this mandate review,
- 2) Ask the Government to commit to a fully transparent, public process involving input and hearings from all stakeholders in all regions, and;





- 3) Make a written and/or oral submission to the upcoming mandate review – if you have the capacity and depending upon how the review is structured.

Should you have any questions or concerns, please feel free to reach out to me via Vanessa Murenzi at vmurenzi@cupw-sttp.org

Thank you for your attention to this matter.

Sincerely,



Jan Simpson
National President
Canadian Union of Postal Workers

Encl.

PS - We are pleased to see some municipal-level pushback around the unilateral change in delivery practice for the red flags on rural mailboxes. This has raised concerns, in particular for elderly residents and those with mobility issues, who now have to go to their mailbox to check for mail.

C.C.:

National Executive Board
Regional Executive Committees
CUPW Locals
CUPW Specialists

/mlg cope 225





Appendix A

Canada Post Corporation Review

Notionally, public consultations may be undertaken to consider the Canadian Postal Service Charter (2009) and to get a pulse on Canadians' needs and use of the postal service. Should engagement be necessary, the goal would be obtain [sic] views from Canadians and stakeholders to redefine the government's service-oriented vision for Canada Post, in a context where the postal industry landscape has changed, the needs of Canadians have evolved, and the volume of mail and letters has declined significantly to the point where Canada Post's sustainability has been undermined.

Source: Secretariat, Treasury Board of Canada. 2025. "Consulting with Canadians." Canada.ca. <https://www.canada.ca/en/government/system/consultations/consultingcanadians.html>. Accessed September 5, 2025. Search term "Canada Post Corporation Review"





Elizabeth Roy
Mayor

T 905.430.4300 x2203
mayor@whitby.ca



October 17, 2025

The Honorable Todd McCarthy, MPP (Durham)
Minister of the Environment, Conservation and Parks
Via email: minister.mecp@ontario.ca

Re: Extended Producer Responsibility for Blue Box Recycling Collection and Impacts to
Small Businesses located in Mixed-Use Properties

Dear Minister McCarthy,

Please be advised that at its meeting held on October 6, 2025, the Council of the Town of
Whitby adopted the following as Resolution # 191-25:

Whereas in 2016 the Waste-Free Ontario Act was enacted, which also enacted the
Resource Recovery and Circular Economy Act (RRCEA) and the Waste Diversion
Transition Act; and,

Whereas the RRCEA and its associated regulations focus on strengthening Extended
Producer Responsibility for materials like used tires and blue box recycling; and,

Whereas on November 23, 2020, Town Staff submitted comments to the Environmental
Registry of Ontario on the proposed blue box regulation, which highlighted concerns
about the lack of a requirement for blue box recycling collection for certain “non-eligible”
sources like small businesses located in mixed-use properties which are prevalent in
Business Improvement Areas; and,

Whereas in the Town of Whitby there are approximately 200 small businesses in mixed-
use properties who currently receive blue box collection and are impacted by the blue
box regulation and will potentially lose blue box collection services; and,

Whereas in June 2021 the Province of Ontario released Blue Box Regulation O. Reg.
391/21, under the RRCEA which transitions the financial and operational responsibility of
recycling from municipalities to the producers of packaging and paper products; and,

Whereas Circular Materials Ontario (CM) was named the Producer Responsibility
Organization taking on all blue box recycling responsibilities in Ontario over a three-year
transition period; and,

Whereas the Region of Durham has indicated that the estimated costs to continue to
provide blue box recycling for small businesses after the 2026 transition date to CM was
exorbitant and no longer a core responsibility of the Region pursuant to Provincial
legislation; and,

Whereas on July 1, 2024, the Town of Whitby and all local area municipalities in Durham Region transitioned from the Regional blue box program to the CM blue box program; and,

Whereas the Region of Durham and CM negotiated a temporary agreement to continue providing blue box collection services to small businesses in mixed-use properties during the blue box transition period from June 30, 2024 to December 31, 2025, however, CM will not service these small businesses or any non-residential properties effective January 1, 2026, as they are not included as “eligible sources” under Blue Box Regulation 391/21; and,

Whereas on October 17, 2024, Mayor Roy sent a letter to the Honourable Andrea Khanjin, who was at that time the Minister of Environment, Conservation and Parks, advocating for changes to the blue box regulation as it related to blue box collection for small businesses; and,

Whereas on June 4, 2025, the Ministry of Environment, Conservation and Parks proposed amendments to the RRCEA through the Environmental Registry of Ontario and staff comments were submitted jointly to the Municipal Waste Association and Regional Public Works Commissioners of Ontario on June 13, 2025 highlighting concerns with the blue box regulation and impacts to small businesses located in mixed-use properties; and,

Whereas on August 15, 2025, CM hosted a municipal engagement session with members of a Municipal Working Group, reviewing a proposal for blue box recycling for non-eligible sources; and,

Whereas it is not clear how the recycling collector will differentiate commercial recycling from residential recycling at mixed-residential locations as they are typically set out together; and,

Whereas the proposal submitted by CM must be agreed to by all three Producer Organizations before it will be considered by the Ministry of Environment, Conservation and Parks; and,

Whereas on October 1, 2025, all three Producer Organizations, which includes CM, Ryse Solutions, and Landbell Canada, provided a letter to Mayor Roy outlining their decision to not proceed with blue box collections for small IC&I locations, citing, “system capacity limitations, current regulatory obligations, and time constraints that make it impractical for CCS to provide (blue box) collections from IC&I locations”; and,

Whereas on October 1, 2025, the Honourable Todd McCarthy, Minister of the Environment, Conservation, and Parks provided a letter to the Town of Whitby advising that the Producers will not voluntarily continue to offer blue box services to municipalities for small business locations.

Now therefore, be it resolved:

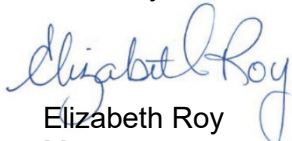
1. That the Council of the Town of Whitby requests that the Ministry of Environment, Conservation and Parks amend Blue Box Regulation 391/21 to require Producers to provide blue box collection services to businesses located in mixed-use properties;

and,

2. That the Mayor be requested to author a letter to the Minister of Environment, Conservation and Parks advocating for changes to Blue Box Regulation 391/21, and that a copy of this letter be forwarded to all Ontario Municipalities, Ontario Big City Mayors (OBCM), the Association of Municipalities of Ontario (AMO), and the Ontario Business Improvement Area Association (OBIAA).

Should you require further information, please do not hesitate to contact mayor@whitby.ca.

Sincerely,



Elizabeth Roy
Mayor

Town of Whitby
Office of the Mayor
575 Rossland Road East
Whitby, ON L1N 2M8
whitby.ca

cc Mayor Marianne Meed Ward, Chair Ontario's Big City Mayors - chair@obcm.ca
Ontario's Big City Mayors – info@obcm.ca
Ontario Business Improvement Area Association - info@obiaa.com
Association of Municipalities of Ontario - resolutions@amo.on.ca
All Ontario Municipalities
Karey Anne Large, CEO, Whitby Chamber of Commerce – Karey@whitbychamber.org
info@whitbychamber.org
Downtown Whitby BIA – info@whitbybia.org
Lorne Coe, MPP, Whitby - lorne.coe@pc.ola.org
Matthew Gaskell, CAO, Town of Whitby – gaskellm@whitby.ca

Karlee Britton

From: Salisko, Holly <HSalisko@ptbocounty.ca>
Sent: November 7, 2025 11:36 AM
Subject: Peterborough County Council Resolution Re: Re-instating the Eligibility for Curbside Blue Box Collection January 1 2026, for Nonprofit Organizations

You don't often get email from hsalisko@ptbocounty.ca. [Learn why this is important](#)

Good morning,

Please note at their meeting on November 5, 2025, Peterborough County Council passed the following resolution:

Resolution No. 203-2025

Moved by Deputy Warden Senis
 Seconded by Councillor Taylor

Whereas the Province of Ontario designated producers to be responsible to collect recycling in the Province; and

Whereas nonprofit organizations, including our local food banks, have been deemed ineligible for producer blue box collection effective January 1 2026; and

Whereas food insecurity is a local, provincial and federal issue; and

Whereas food banks need to receive grocery items that are delivered in cardboard boxes and cartons which generate copious amounts of recyclable material; and

Whereas food banks are volunteer and donation based with no revenue collected to pay for services such as removal of recyclable materials;

Therefore be it resolved that the Council of the County of Peterborough strongly urges the Province to re-instate the eligibility for curbside blue box collection January 1 2026, for nonprofit organizations, such as food banks; and

That this motion be forwarded to Premier Doug Ford, Minister of the Environment, Conservation and Parks, MPP Dave Smith, MPP Laurie Scott, MPP David Piccini, the City of Peterborough, EOWC, AMO, and all Ontario municipalities for support.

Carried

Should you have any questions or concerns please contact Kari Stevenson, Director of Legislative Services/Clerk at kstevenson@ptbocounty.ca.

Thanks!

Holly Salisko

Administrative Services Assistant | Clerk's Division/Planning
Peterborough County
(705) 743-0380 Ext. 2105

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EDWARDSBURGH CARDINAL

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VIA EMAIL

Tuesday, October 14, 2025

The Honourable Doug Ford, Premier of Ontario
 The Honourable Kinga Surma, Minister of Infrastructure
 The Honourable Rob Flack, Minister of Municipal Affairs and Housing
 The Honourable Francois-Phillipe Champagne, Minister of Finance
 Association of Municipalities of Ontario (AMO)
 Ontario Small Urban Municipalities (OSUM)
 Federation of Canadian Municipalities (FCM)
 The United Counties of Leeds and Grenville
 All Upper- and Lower-Tier Municipalities in Ontario

Please be advised that at its Regular Council meeting held on Monday, September 29, 2025, the Council of the Township of Edwardsburgh Cardinal unanimously adopted the following resolution:

RESOLUTION: Ontario Community Infrastructure Fund (OCIF)

WHEREAS the Township of Edwardsburgh Cardinal acknowledges that municipal infrastructure—roads, bridges, water and wastewater systems—underpins public safety, economic vitality and quality of life in Ontario's rural and small urban communities;

WHEREAS the Ontario Community Infrastructure Fund (OCIF) was created in 2015 to assist small and rural municipalities facing infrastructure deficits that exceed their local revenue capacities;

WHEREAS in 2022 the Government of Ontario committed to increase the annual OCIF envelope from \$100 million to \$400 million over a five-year term, with that commitment scheduled to expire at the end of fiscal 2026;

WHEREAS fixed funding levels amid rising labour, materials and climate resilience costs have eroded the purchasing power of the \$400 million envelope, jeopardizing municipalities' ability to deliver and sustain essential services without incurring unsustainable debt;

WHEREAS predictable, multi-year funding indexed to real-world cost drivers is critical for municipalities to develop, finance and execute long-term asset management plans, reduce emergency repairs and leverage complementary federal and private infrastructure financing;

WHEREAS the Township of Edwardsburgh Cardinal requires a steadfast provincial partner to extend and enhance OCIF beyond 2026, ensuring infrastructure resilience, fiscal sustainability and equitable access for all small and rural municipalities;

NOW THEREFORE BE IT RESOLVED THAT

1. The Township of Edwardsburgh Cardinal calls upon the Government of Ontario to extend the annual OCIF envelope at not less than \$400 million beyond its current five-year term ending in 2026, with no reductions in subsequent provincial budgets.
2. The Province be requested to index the total annual OCIF envelope—and each individual municipal allocation—to the Ontario Consumer Price Index (CPI), calculated on a calendar-year basis and disbursed in the first quarter of each fiscal year.
3. The Ministry of Infrastructure establish a new five-year OCIF funding framework that guarantees annual envelopes and allocation percentages by municipality, enabling long-term capital planning and stable cash-flow management.
4. The Province undertake a formal review of the OCIF allocation formula at least once every four years, incorporating current municipal asset management data, demographic projections, climate resilience metrics and rural equity considerations.
5. A dedicated contingency reserve equal to 5 percent of the annual OCIF envelope be created within the fund to address extraordinary cost escalations, emergency repairs or project overruns without reallocating core funding.



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6. The Ministry of Infrastructure publish an annual OCIF performance report—including program disbursements, allocation adjustments and reserve expenditures—in a transparent, publicly accessible online dashboard.
7. The Clerk of the Township of Edwardsburgh Cardinal forward this resolution to:
 - The Honourable Doug Ford, Premier of Ontario
 - The Honourable Kinga Surma, Minister of Infrastructure
 - The Honourable Rob Flack, Minister of Municipal Affairs and Housing
 - The Honourable Francois-Phillipe Champagne, Minister of Finance
 - Association of Municipalities of Ontario (AMO)
 - Ontario Small Urban Municipalities (OSUM)
 - Federation of Canadian Municipalities (FCM)
 - The United Counties of Leeds and Grenville
 - All upper- and lower-tier municipalities in Ontario

If you have any questions, please contact me at the email address below.

Sincerely,

Natalie Charette
Interim Clerk
clerk@twpec.ca

From: ca.office (MECP) <ca.office@ontario.ca>

Sent: November 7, 2025 4:28 PM

To: ca.office (MECP) <ca.office@ontario.ca>

Subject: Consultation on the proposed boundaries for the regional consolidation of Ontario's conservation authorities

You don't often get email from ca.office@ontario.ca. [Learn why this is important](#)

** This message is being sent on behalf of Chloe Stuart, Assistant Deputy Minister, Land and Water Division, MECP and Hassaan Basit, Chief Conservation Executive, MECP **

Greetings,

We are writing to notify you of a policy proposal available for comment on the [Environmental Registry of Ontario](#) at posting #025-1257 which is part of the government's actions to improve conservation authorities.

We are seeking feedback on proposed boundaries for the consolidation Ontario's 36 conservation authorities into regional conservation authorities, and the criteria applied to inform the proposed boundaries. The policy proposal notice includes maps depicting the proposed boundaries for the regional conservation authorities and discussion questions relevant to the planning for the future state.

The province's decision on the number and configuration of regional conservation authorities will be finalized following further technical analysis and consideration of the feedback received during this consultation phase. The province is also planning to consult further, at a future date, on potential amendments to the *Conservation Authorities Act* and regulations under the Act, to enable the consolidation of conservation authorities.

No changes are proposed to the overall extent of conservation authority jurisdiction within the province, and under consolidation, the new regional conservation authorities would remain independent organizations operating with municipal governance and oversight, in accordance with requirements under the *Conservation Authorities Act*, as administered by the Ministry of the Environment, Conservation and Parks.

In addition, the important work that conservation authorities do to protect people and property from the risks of flooding and other natural hazards will not change. Regional conservation authorities would continue to deliver provincially mandated programs. These include drinking water source protection under the *Clean Water Act*, managing development and other activities in areas at risk of natural hazards—such as floodplains, shorelines, watercourses, and wetlands—and providing flood forecasting and warning services. Conservation authorities would continue to manage their lands and recreational trails, providing Ontarians access to local natural areas and outdoor activities. Regional conservation authorities would also continue to be able to provide additional municipal and other watershed programs and services set out under the *Conservation Authorities Act*. Existing conservation authority board members would continue to serve until the expiration of their terms next year, with changes to governance and structure to be initiated following municipal elections in October 2026.

This proposal is part of broader action that Ontario is proposing to take to improve the conservation authority system to reduce duplicative costs, free-up resources, and better align the work of conservation authorities with provincial priorities on housing, infrastructure, the economy and climate resilience. These actions include the creation of the Ontario Provincial Conservation Agency to

provide centralized leadership and oversight of conservation authorities, proposed by the Government on November 6, 2025, in [Bill 68, Plan to Protect Ontario Act \(Budget Measures\), 2025](#).

To learn more about this proposal, a virtual information session for municipalities will be held on **Tuesday, November 18, 2025, at 2pm**. To register for this session, please email ca.office@ontario.ca.

The Environmental Registry comment period for posting #025-1257 will close at 11:59pm on December 22, 2025. Comments may be submitted through the Registry or by email to the conservation authorities section team at the Ministry of the Environment, Conservation and Parks, via ca.office@ontario.ca.

Thank you,

Chloe Stuart
ADM, Land and Water Division
Ministry of the Environment, Conservation and Parks

Hassaan Basit
Chief Conservation Executive
Office of the Chief Conservation Executive



Taking pride in strengthening Ontario, its places and its people

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